



PERMIT REVISION

RÉVISION À UN PERMIS

Date of Issuance:
Date de délivrance:

08-Mar-2012

Application No / Demande n° : **PA12-00154**
Permit No / Permis n° : **1108637**

2006 Building Code Review as amended

Permission is Hereby Given To / Le présent permis est délivré à

Property Owner(s) / Propriétaire(s)

DCR PHOENIX DEVELOPMENT CORPORATION LIMITED

Location / Lieu :

209 HUNTSVILLE DR Kanata

Lot Number / Numéro du lot :

2 ##

Permit Type / Type de permis :

Revised

Project Description /
Description du projet :

Revision to Permit 1108637 - Construct a 2 Storey Single
with attached garage Model: 35-3 2009 A

Model / Modèle :

35-3 2009 A

Please contact the Inspector noted below prior to commencing construction /
Veuillez communiquer avec l'inspecteur mentionné ci-dessous avant de commencer les travaux

Building Inspector/ Inspecteur en bâtiment

TOOR, HARRY

Ext./Poste 33281

Issued under the authority of /
Délivrance autorisée par

Arlene Grégoire

Chief Building Official /
Chef du service du bâtiment

The owner hereby, covenants and agrees with the Corporation of the City of Ottawa, that the owner will abide by and conform to the conditions and stipulations, in consideration of the above Permit. The owner hereby agrees to indemnify and save harmless the said Corporation of the City of Ottawa, and all the Officers, Servants and Agents thereof, from all claims, demands and damages, arising out of or incurred by reason of the execution of the work above referred to, or by reason of Permit above granted.

Le propriétaire soussigné, arrête et conviens avec la Ville d'Ottawa de se conformer aux conditions et aux clauses du permis ci-dessus, en contrepartie de sa délivrance. Le propriétaire conviens également d'indemniser la Ville d'Ottawa et ses dirigeants, employés et mandataires des réclamations, exigences et poursuites en dommages-intérêts liés à l'exécution des travaux mentionnés ci-dessus ou à la délivrance dudit permis.

Witness my hand this date:

March 08, 2012

Ce dont atteste ma signature en date du:

08 mars, 2012

Issued To:

Approved Online / Approuvé en ligne

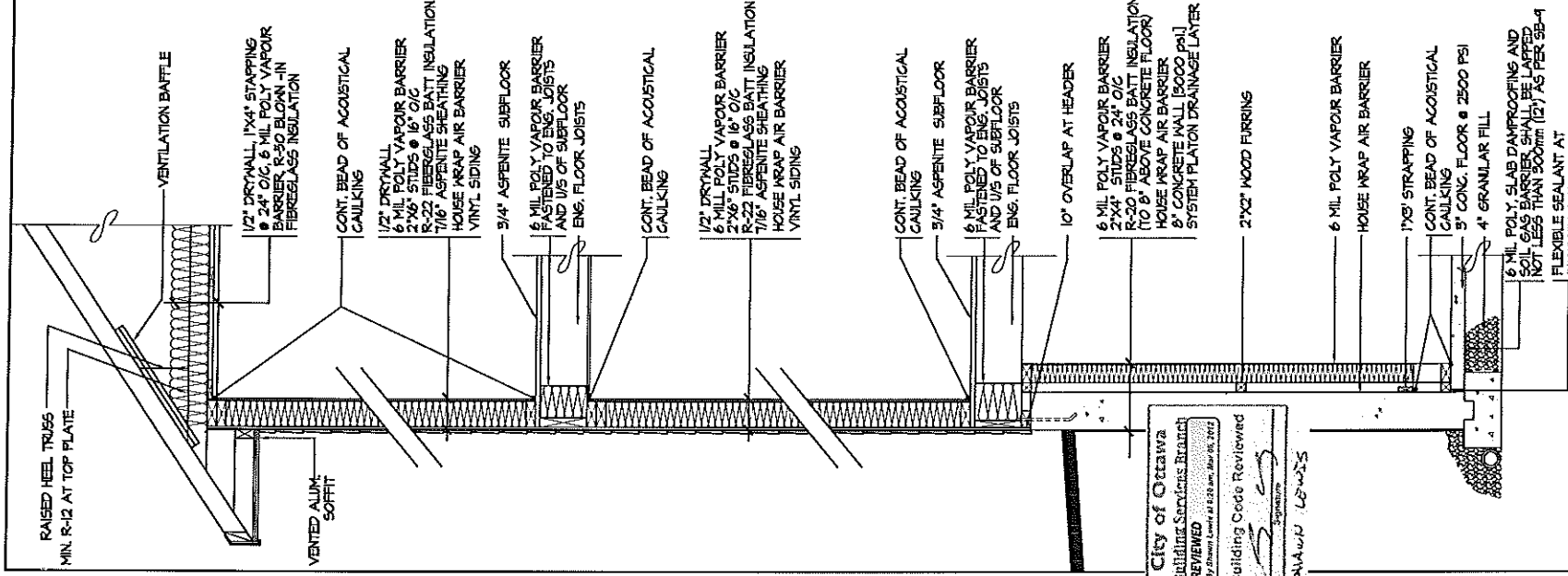
Délivré à:

(Please Print / En caractères d'imprimerie)

Signature of owner or authorized agent
Signature du propriétaire ou de l'agent autorisé

POST THIS PERMIT IN A CONSPICUOUS PLACE
PRIÈRE D'AFFICHER EN UN ENDROIT BIEN EN VUE

Original / Originale

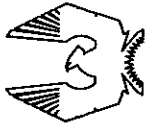


City of Ottawa
Building Services Branch
REVIEWED
By: [Signature] Date: 11/13/12
Building Code Reviewed
By: [Signature] Date: 11/13/12

SHAWN LEWIS

TYP. DETAIL SECTION

FOR SIDING APPLICATION



PHOENIX HOMES

ALL MODELS-2012

DETAIL SECTION AND NOTES
FOR SB-9 AND SB-12
OF THE OBC

NOTES:

MECHANICAL
SPACE HEATING EQUIPMENT AS PER COMPLIANCE 1" SEE TABLE BELOW
THERMAL INSULATION AS PER OBC 4.25.2
SEE PRESCRIPTIVE COMPLIANCE PACKAGE BELOW
AIR BARRIERS AS PER OBC 9.25.3
ALL JOINTS TO HAVE A MIN. OVERLAP OF 4"
ALL FASTENERS PER MANUFACTURER'S SPECIFICATIONS
ALL PENETRATIONS PER OBC 9.25.4
ALL PENETRATIONS SEALED TO MAINTAIN A CONTINUOUS AIR BARRIER
VARIOUS BARRIER AS PER OBC 9.25.4
BASEMENT FLOOR SLAB

ALL STRUCTURAL/MECHANICAL PENETRATIONS TO BE SEALED
USING ACOUSTICAL CAULKING

PRESCRIPTIVE COMPLIANCE PACKAGE
[OBC 2012 SUPPLEMENTARY STANDARD 98-12]

RATIO OF GROSS AREA OF GLAZING TO PERIPHERAL WALLS
ARE LESS THAN 1/8

1. CEILING WITH ATTIC SPACE - MIN. (RSI 0.24) R20

2. CEILING WITHOUT ATTIC SPACE - MIN. (RSI 0.46) R41

3. EXPOSED FLOOR - MIN. (RSI 0.46) R41

4. WALLS ABOVE GRADE - MIN. (RSI 0.97) R22

5. BASEMENT WALLS - MIN. (RSI 0.35) R20

6. EDGE OF BELOW GRADE SLAB

(LESS THAN OR EQUAL TO 24" B.G.) - MIN. (RSI 1.16) R10

1. HEATED SLAB

(OR SLAB LESS THAN OR EQUAL TO 24" B.G.) - MIN. (RSI 1.16) R10

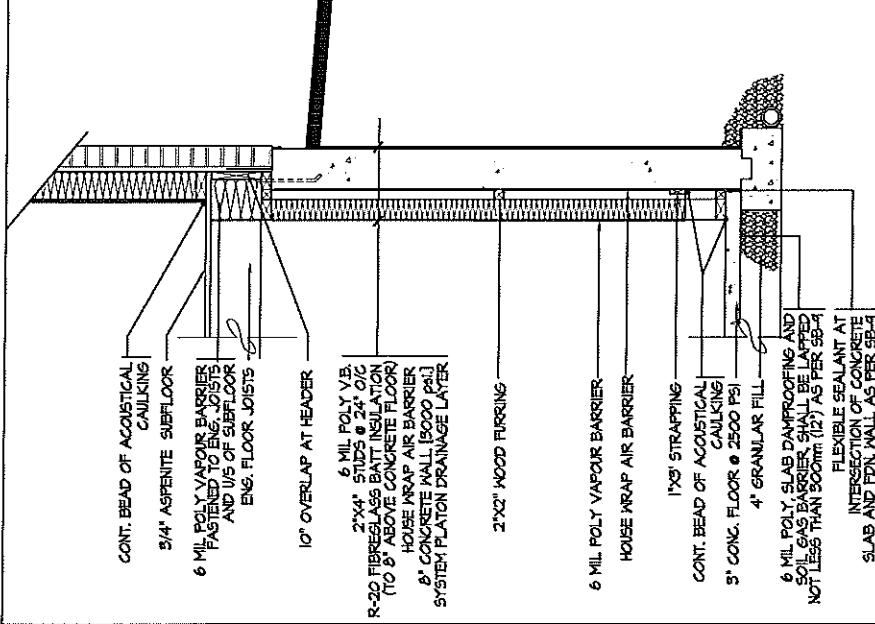
8. WINDOWS & SLIDING GLASS DOORS - MAX. U VALUE OF 1.9

10. SPACE HEATING EQUIPMENT - MIN. AFE OF 92%

11. HWY - MIN. EFFICIENCY OF 55%

12. DOMESTIC HOT WATER HEATER, MIN. EF. OF 0.62%

NOTES FROM OBC SB-4 SECTION 9.3 (SEALING THE PERIMETER & PENETRATIONS):
(1) A FLOOR-ON-GROUND SHALL BE SEALED AROUND ITS PERIMETER TO THE INNER
SURFACES OF ADJACENT WALL USING FLEXIBLE SEALANT.
(2) ALL PENETRATIONS OF A FLOOR-ON-GROUND BY PIPES OR OTHER OBJECTS
SHALL BE SEALED AGAINST SOIL GAS LEAKAGE
(3) ALL PENETRATIONS OF A FLOOR-ON-GROUND THAT ARE REQUIRED TO DRAIN
WATER FROM THE FLOOR SURFACE SHALL BE SEALED IN A MANNER THAT
PREVENTS THE UPWARD FLOW OF SOIL GAS WITHOUT PREVENTING THE DOWNWARD
FLOW OF LIQUID WATER



PART TYP. DETAIL SECTION

FOR BRICK VENEER APPLICATION

File number: SB9-SB12	drawn by: TL								
date: JAN. 2012	scale: 1/2"=1'-0"								
sheet no: 1	of 1								
<table border="1"> <tr> <th>No.</th> <th>Description</th> <th>Date</th> <th>By</th> </tr> <tr> <td>1</td> <td>OBC SB-4 & SB-12 COMPLIANCE PACKAGE</td> <td>JAN-12</td> <td>TL</td> </tr> </table>		No.	Description	Date	By	1	OBC SB-4 & SB-12 COMPLIANCE PACKAGE	JAN-12	TL
No.	Description	Date	By						
1	OBC SB-4 & SB-12 COMPLIANCE PACKAGE	JAN-12	TL						

CITY OF-VILLE DE OTTAWA

□ NEW SUBMISSION □ RE-SUBMISSION □ MODEL CHANGE □ MODEL CHANGE PERMIT #

N.S. Denjke

City of Ottawa
Building Services Branch
March 01, 2012
Zoning Reviewed
[Signature]

LEGEND

SWALE @ 2.0%

SWALE AND DIRECTION OF FLOW AND GRADE
PROPOSED ELEVATION
EXISTING ELEVATION

127.55
127.45

127.55(S)

127.55(W)

127.55(N)

127.55(E)

127.55(S)

94.74(D)

94.74

103.32

FF= 106.80

TF=106.20

USF=105.90

TERRACING

SIDESLOPE RATIO

1.5:1

1.0%

DC

DEPRESSED CURB AT SIDEWALK

PROPOSED 1.8m CONCRETE SIDEWALK

MAJOR OVERLAND FLOW

PROPOSED RETAINING WALL

PROPOSED NOISE BARRIER WALL

PROPOSED PONDING AREA

PROPOSED HYDRANT LOCATION

PROPOSED ROAD CATCHBASIN

PROPOSED CURB INLET ROAD CATCHBASIN

PROPOSED REARYARD CATCHBASIN

PROPOSED REARYARD CATCHBASIN

PROPOSED VALVE & VALVE BOX

PROPOSED INSULATION

PROPOSED SERVICE LOCATION

PROPOSED SERVICE LOCATION

PROPOSED SERVICE LOCATION

PROPOSED SERVICE LOCATION

PROPOSED SERVICE LOCATION

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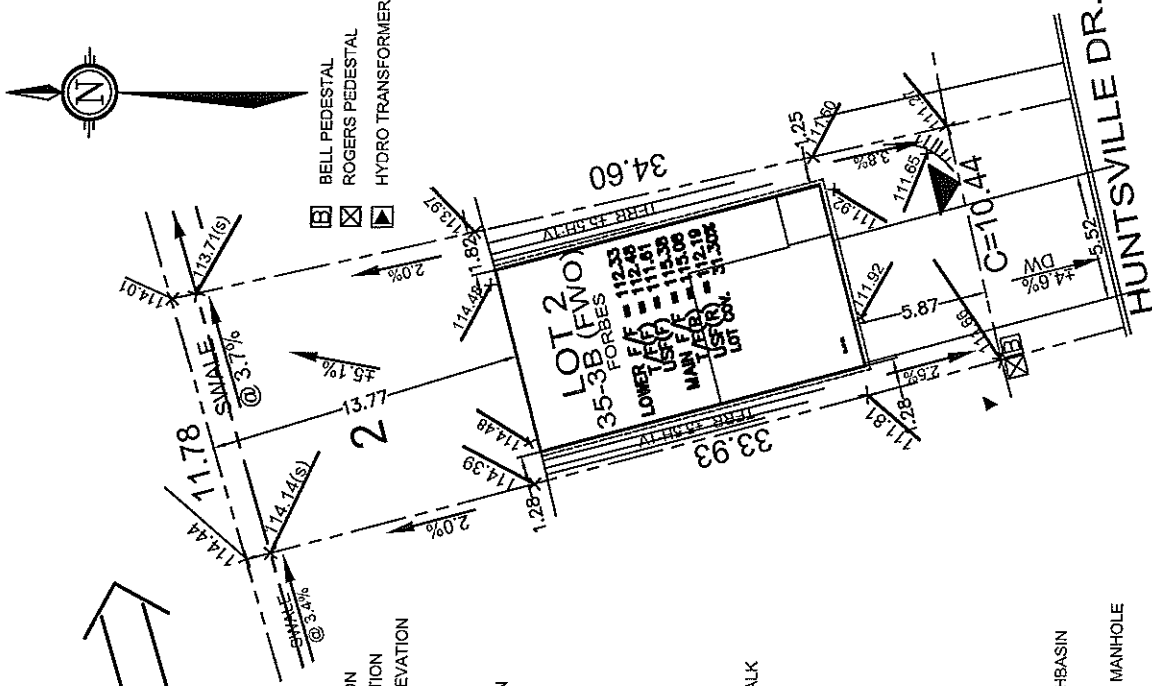
PROPOSED SERVICE LOCATION

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PROPOSED SERVICE LOCATION



ELEVATIONS SHOWN HEREON ARE FOR SITE GRADING PLAN SUBMISSION.

Owner/Applicant

DCR/PHOENIX HOMES

Telephone # 723-9227

Plan # 4M-

Lot # 2 HERITAGE HILLS

Block # Unit #

Conc. #

Civic Address: 209 HUNTSVILLE DR.

Bldg. Ht. m

Lot coverage 31.30 %

Scale 1:250

ELEVATIONS

Step footings N/A

Underside footing SEE ABOVE

Top of foundation SEE ABOVE

CHECKED/APPROVED BY: TLM/MAK ENG.

NOV. 2011 REV.1 NOV22-11

REV.2 FEB10-12

LOWER F/F= 112.33
T/F(F)= 112.48
USF(F)= 111.61
MAIN F/F= 115.38
T/F(R)= 115.08
USF(R)= 112.19
LOT COV. 31.30%

LOT 2 SITE/GRADING PLAN
HERITAGE HILLS
(9 FT POUR FDN)

PLEASE NOTE: THIS APPLICATION EXPIRES 6(SIX) MONTHS AFTER DATE RECEIVED

Application No:

OFFICE USE ONLY: Civic Address:

Circ Date Circ Date Application Received

Works Division Approval
Zoning Approval
UPO Approval
Date: Date: Date:

City of Ottawa
Building Services Branch

REVIEWED

By Sharon Lewis at 5:20 am, Mar 05, 2012

Building Code Reviewed

Signature

SHARON LEWIS

MATCH EXISTING ELEVATIONS WITH ABUTTING PRIVATE PROPERTY.

Slope from specified house
grade to front or rear of lot
shall be 2% min. and 7% max.
Grading over 7% shall be
Terraced.

Grading around the foundation
should be 0.15m min. below top
of foundation grade.

LEGEND

SWALE @ 2.0%
FLOW AND GRADE
PROPOSED ELEVATION
EXISTING ELEVATION
PROPOSED SWALE ELEVATION
PROPOSED TOP OF WALL ELEVATION
PROPOSED BOTTOM OF WALL ELEVATION
PROPOSED TOP OF NOISE WALL ELEVATION
PROPOSED BOTTOM OF NOISE WALL ELEVATION
PROPOSED DITCH ELEVATION

PROPOSED TERRACE ELEVATION
PROPOSED FINISHED FLOOR ELEVATION
TOP OF FOUNDATION WALL ELEVATION
UNDERSIDE OF FOOTING ELEVATION
TERRACING
SIDESLOPE RATIO
SLOPE

DEPRESSED CURB AT SIDEWALK
PROPOSED 1.8m CONCRETE SIDEWALK
MAJOR OVERLAND FLOW
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PROPOSED NOISE BARRIER WALL
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PROPOSED CURB INLET ROAD CATCHBASIN
PROPOSED REARYARD CATCHBASIN
PROPOSED REARYARD CATCHBASIN MANHOLE
PROPOSED VALVE & VALVE BOX

▲ SERVICE LOCATION
PROPOSED INSULATION

ELEVATIONS SHOWN HEREON ARE FOR SITE GRADING
PLAN SUBMISSION.

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DCR/PHOENIX HOMES

Telephone # 723-9227

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Underside footing SEE ABOVE m

Top of foundation SEE ABOVE m

CHECKED/APPROVED BY: T.L.MAK ENG.

NOV 1 2011

REV.1 NOV22-11

REV.2 FEB16-12

William S. Beveridge

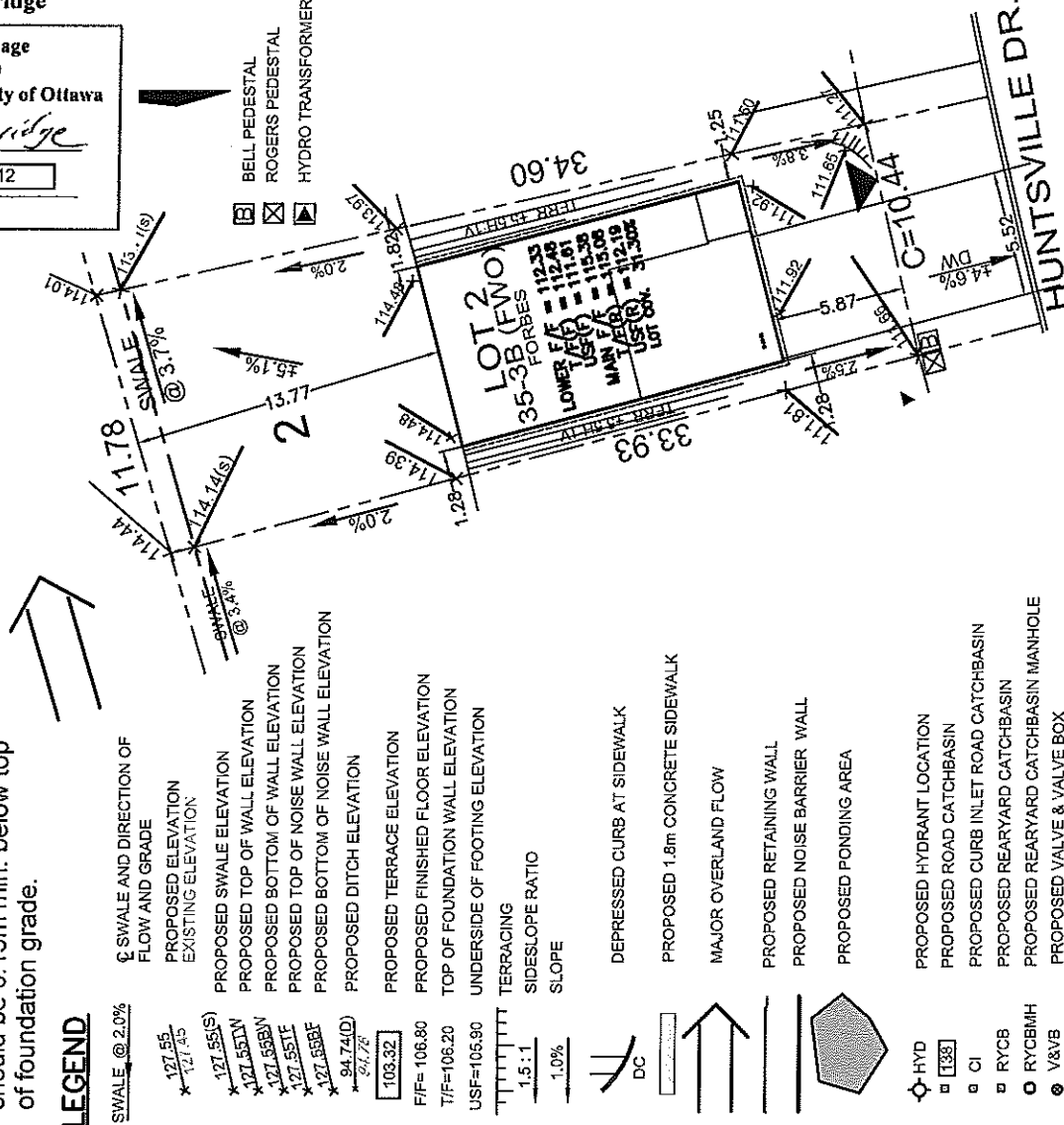
Grading & Drainage APPROVED

Development Review - City of Ottawa

Signed: *W.S. Beveridge*

Date: March 07, 2012

CITY OF-VILLE DE
OTTAWA
SUBMISSION □ MODEL CHANGE □ MODEL C



LOWER F/F= 112.33
T/F(F)= 112.48
USF(F)= 111.61
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