

Consultants Final Lot Grading Certification Letter



April 30, 2024

File No. 231437

Town of Innisfil

2101 Innisfil Beach Road

Innisfil, ON L9S 1A1

Attention: Fabian Van Romberg, Development Inspector:

Re: Municipal Address: 1425 Stovell Crescent
Lot or Block No.: Lot 34
Registered Plan No.: 2021-1170
Certification of building and final lot grading
Bellaire Properties Inc.

I have inspected the complete lot grading and building elevations on the above lot, and do hereby certify that:

- The lot grading and building elevations on the above referenced lot are:
 - ☒ In conformity with the approved grading and site plans
 - ☐ Not in conformity with the approved plan, but have been constructed in accordance to sound engineering principles and vary from the approved plan as shown on the attached "as-built" plan, signed and stamped by the undersigned, subject to approval by the Town of Innisfil.
- The water service "curb-stop" is located in the grassed portion of the front yard, is accessible, and is flush with finished grade.

HUSSON Limited Name of Engineering Firm Carmen Sframeli, P. Eng. Professional Engineer's Name	
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ENGINEERING + MANAGEMENT

P 905.709.5825

200 CACHET WOODS COURT, SUITE 204
MARKHAM, ON L6C 0Z8

HUSSON.CA

ZONE DESIGNATION R2-15	PERMITTED	PROVIDED
LOT AREA (sq m)	335.00	348.00
LOT FRONTAGE (m)	11.500	11.600
FRONT YARD SETBACK TO DWELLING (m)	4.50	6.56
FRONT YARD SETBACK TO GARAGE (m)	6.00	6.00
ONE INTERIOR SIDE YARD SETBACK (m)	0.60	0.72
OTHER INTERIOR SIDE YARD SETBACK (m)	1.20	1.33
REAR YARD SETBACK (m)	6.00	8.66
LOT COVERAGE (%)	40.00	38.89
BUILDING HEIGHT (m)	11.00	8.88
LANDSCAPED OPEN SPACE (%)	30.00	49.67
FRONT YARD LANDSCAPED OPEN SPACE (%)	40.00	54.46

MODEL NO.		MANITOU 2480B
HOUSE STYLE (i.e. walkout, bungalow etc.)		2 STOREY
ADJACENT MODEL	EAST	N/A
	WEST	BUCKHORN 1800B
	NORTH	SUPERIOR 3615A
	SOUTH	MANITOU 2480B
FIREBREAK LOT		NO

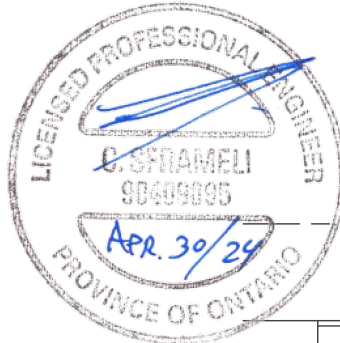
	SINGLE CATCHBASIN
	DOUBLE CATCHBASIN
	SANITARY MH
	STORM MH
	SANITARY SERVICE CONNECTION
	STORM SERVICE CONNECTION
	WATER SERVICE CONNECTION
	FLOW DIRECTION
	ROOF DRAIN
	ENGINEERED FILL
000.00	EXISTING ELEVATION
000.00	PROPOSED ELEVATION
FFF	FINISHED 1ST FLOOR
TW	TOP OF FOUNDATION WALL
FS	FINISHED SLAB
USF	U/S FOOTING
RUSF	REAR U/S FOOTING
TWG	TOP OF GARAGE FOUNDATION WALL
USFG	U/S FOOTING GARAGE
	SUMP PUMP
	VALVE AND BOX
	HYDRANT AND VALVE
	BELL PEDESTAL
	CABLE PEDESTAL
	UNDERGROUND PEDESTAL
	HYDRO TRANSFORMER
	STREETLIGHT
	STREETLIGHT PEDESTAL
	HYDRO SERVICE CONNECTION
	SUPER MAILBOX
	MUNICIPAL ADDRESS
	SLOPE 3:1 MAXIMUM
	FOOTINGS LOWERED TO MINIMUM 1.22m FROST PROTECTION

ELEVATION: 286.399
ELEVATION IS BASED ON BENCHMARK
No. 0011931U463S HAVING AN
ELEVATION OF 286.399 METRES.
LOCATION: TOWNSHIP OF CHURCHILL
UNITED CHURCH, TABLET IN NORTH
STONE FOUNDATION WALL OF TOWER,
23cm FROM NORTHWEST CORNER
AND 1.62m BELOW BRICKWORK

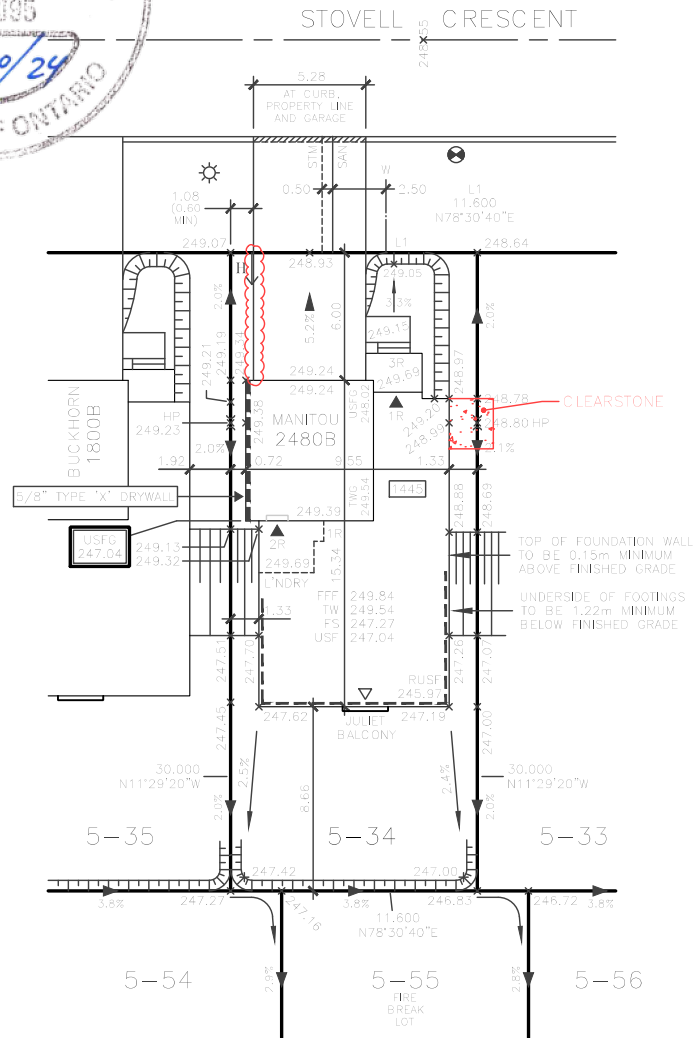
56 PENNSYLVANIA AVE.
UNIT 1
CONCORD, ONTARIO
L4K 3V9
TEL 905 660-9393
FAX 905 660-9419
adci@bellnet.ca

WATER SERVICE AT P/L		SANITARY SERVICE AT P/L		STORM SERVICE AT P/L	
DEPTH	INVERT	DEPTH	INVERT	DEPTH	INVERT
Min 1.70	Min 247.18	2.775	246.155	2.68	246.25

LEO ARIEMMA	7561	
NAME	SIGNATURE	LICENCE NUMBER



11.6 m
38 foot
LOT



2	AS-BUILT	AP 30 '24	BJJ
—	ISSUED	SE 02 '21	TP
NO.	REVISIONS	DATE	INITIAL

LEO ARIEMMA
LICENCE
7561

DESIGNATIONS AND SPECIFICATIONS ARE THE PROPERTY OF THE ARCHITECT AND CANNOT BE REPRODUCED WITHOUT HIS APPROVAL

CONTRACTOR SHALL CHECK AND VERIFY DIMENSIONS ON THE SITE AND REPORT DISCREPANCIES TO THE ARCHITECT

PLANS MUST NOT BE SCALED

DATE: APRIL 30, 2024

SCALE: 1:250
DATE: APR 2024
DRAWN: T.P.
DESIGNED: T.P.

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