



BELLAIRE PROPERTIES INC. (CARSON’S CREEK)  
PURCHASER EXTRAS

**LOT # 085 P.E #008** – Model - SUPERIOR - 2CAR - 3615 - PHASE 5

Attention Trades...

The following items below are Purchaser Extras, please make sure that they are done on time and properly complete. Any outstanding items will be Back Charged. If you have any questions please call Roberto Ruiz. Make sure that you review ALL of the items on the Purchaser Extras.

Please be advised that Purchase Orders will come at a later date.

**\*\*\*Also, it is very important to speak to Roberto Ruiz before starting on site \*\***

TRADE: ITEMS TO BE COMPLETED

Internazionale Electric	#1
Pipecon	#2
Weston Flooring	#3, #4, #5,#6, #7
North York Tile	#4, #5, #7, #10, #12, #13, #14, #16, #17, #18, #19, #20, #21, #22, #23
Barrie Trim	#6,#9, #24
Miranda Painting	#8
Metropolitan	#11, #15

Date: Feb.-10-2023  
From: Lormel Homes  
Site Clerk: Jai Fitzgerald  
Site Tel: 905-775-3633  
Site Fax: 905-775-9083

**NOTE:** If more information is needed please call Roberto Ruiz cell-416-688-9324  
If more information needed on quotes or changes, please call Zachary 905-832-2023 ext. 224



Schedule B-3 – Purchaser’s Extras  
forming part of the Agreement of Purchase and Sale



VENDOR: BELLAIRE PROPERTIES INC.

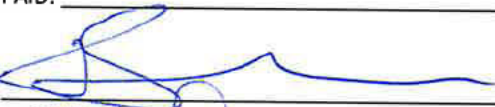

PURCHASER(S): Indira Kubeer & Neil Govinda Kubeer  
LOT NUMBER: 085      PHASE: 5  
MODEL: Superior – 3615 sqft 2 Car  
P.E.#: 008

It is understood and agreed that no requests for changes, additions or deletions will be accepted by the Vendor for the above extras after the date of acceptance of this order

No.	DESCRIPTION
1.	Provide and install one (1) additional electrical receptacle in the kitchen area for future wine cooler, as per sketch.
2.	Provide and install one (1) additional water line for future freezer in kitchen area, as per sketch.
3.	Provide and install option 133 vinyl/laminate flooring at the main hallway, living room, dining room and family room in lieu of standard hardwood.
4.	Provide and install option 133 vinyl/laminate flooring in the kitchen/breakfast area in lieu of level 1 floor tiles.
5.	Provide and install option 133 vinyl/laminate flooring at lower level throughout, including lower level foyer, (except for lower level bathroom and mechanical room) in lieu of level 1 carpet.
6.	Provide and install option 133 vinyl/laminate flooring throughout upper level (2 <sup>nd</sup> floor) except for tiled areas in lieu of level 1 carpet.
7.	Provide and install option 133 vinyl/laminate flooring at powder room in lieu of level 1 floor tiles.
8.	Provide stain to stairs, handrail and posts etc. (to complement the colour of vinyl/laminate flooring) from main level to lower level and from main level to upper level (2 <sup>nd</sup> floor) in lieu of standard. Price is based on metal pickets
9.	Provide and install level 3 trim package (baseboards & casings ) throughout the entire home in lieu of level 1. <i>6 PK.</i>
10.	Provide and install level 4 floor tiles in the foyer (main level) and
	Net upgrades continued on page 2
Extra's Subtotal:	
H.S.T.	
New Total:	
Less Bonus Package (if Applicable)	
TOTAL:	
Net upgrades continued on page 2	
	TOTAL

The above extras and upgrades are to be included during the construction of the above house for the above named purchaser subject to the following conditions:

- The Vendor will undertake to install the above extras but will not be liable to the purchaser if for any reason the work covered by the extra is not carried out. In that event, the price of the extra shall be refunded to the purchaser without any interest.
- It is understood and agreed that if the transaction of Purchase and Sale is not completed for any reason whatsoever, the total cost of this extra is not refundable.

PAID: \_\_\_\_\_  
  
PURCHASER  
  
PURCHASER

TERMS: CASH OR CHEQUE IN ADVANCE  
**File Copy for**  
BELLAI RE PROPERTIES INC.  
**Construction**  
VENDOR  
**Office**  
(Original verified at Head Office)



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VENDOR: BELLAIRE PROPERTIES INC.

PURCHASER(S): Indira Kubeer & Neil Govinda Kubeer

LOT NUMBER: 085      PHASE: 5

MODEL: Superior – 3615 sqft 2 Car

P.E.#: 008

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No.	DESCRIPTION
	Net upgrades continued from page 1
11.	Provide and install frameless glass (clear) shower door with 6" d-handle chrome for shared bathroom shower enclosure in lieu of standard opening with curtain rod.
12.	Provide and install level 5 floor tiles in the shared bathroom in lieu of level 1 floor tiles. *Note: Tiles to be installed stacked.
13.	Provide and install level 4 shower floor mosaics and upgrade grout for shared bathroom shower enclosure in lieu of standard.
14.	Provide and install level 5 floor tiles on wall in the shared bath shower enclosure walls in lieu of level 1 wall tiles. *Note: Tiles to be installed stacked.
15.	Provide and install frameless glass (clear) bathtub enclosure - screen & door 24"x 58" with upgrade door hardware 6"d-handle chrome for 2nd ensuite bathroom tub enclosure.
16.	Provide and install level 5 floor tiles in the 2 <sup>nd</sup> ensuite (bdm 4) bathroom floor in lieu of level 1 floor tiles. *Note: Tiles to be installed stacked.
17.	Provide and install level 5 floor tiles on wall in the 2 <sup>nd</sup> ensuite (bdm 4) bathroom tub enclosure walls in lieu of level 1 wall tiles. *Note: Tiles to be installed stacked.
18.	Provide and install level 7 floor tiles in the primary ensuite bathroom floor in lieu of level 1 floor tiles.
19.	Provide and install level 7 floor tiles on wall in the primary ensuite bathroom shower enclosure walls in lieu of level 1 wall tiles.
	Net upgrades continued on page 3
Extra's Subtotal: H.S.T. New Total: Less Bonus Package (if Applicable) TOTAL: Net upgrades continued on page 3	
	TOTAL

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- The Vendor will undertake to install the above extras but will not be liable to the purchaser if for any reason the work covered by the extra is not carried out. In that event, the price of the extra shall be refunded to the purchaser without any interest.
- It is understood and agreed that if the transaction of Purchase and Sale is not completed for any reason whatsoever, the total cost of this extra is not refundable.

PAID: \_\_\_\_\_ TERMS: CASH OR CHEQUE IN ADVANCE

PURCHASER

PURCHASER

BELLAIRE PROPERTIES INC.

Per: \_\_\_\_\_

VENDOR

File Copy for

Construction

Office

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No.	DESCRIPTION
	Net upgrades continued from page 2
20.	Provide and install level 4 shower floor mosaics and upgrade grout in the primary ensuite shower enclosure.
21.	Provide and install Level 1 - floor tile on shower wall in LOWER LEVEL, in lieu of Level 1 wall tiles
22.	Provide and install level 4 shower floor mosaics and upgrade grout in the lower level bathroom shower enclosure.
23.	Provide and install upgrade grout colour for the shower/tub walls for the primary ensuite bathroom, shared bathroom, 2nd ensuite (bdrm 4), and lower level bath in lieu of standard grout colour.
24.	Provide and install option 3 interior levers (with matching coloured hinges & door stops) throughout the entire home in lieu of standard. *Note: All exterior gripsets and interior trim to remain standard
25.	
Extra's Subtotal:	
H.S.T.	
New Total:	
Less Bonus Package (if Applicable)	
TOTAL:	
AMOUNT ADDED TO THE PURCHASE PRICE AS AN ADJUSTMENT ON CLOSING	
	TOTAL

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- The Vendor will undertake to install the above extras but will not be liable to the purchaser if for any reason the work covered by the extra is not carried out. In that event, the price of the extra shall be refunded to the purchaser without any interest.
- It is understood and agreed that if the transaction of Purchase and Sale is not completed for any reason whatsoever, the total cost of this extra is not refundable.

PAID: \_\_\_\_\_  
PURCHASER  
PURCHASER

TERMS: CASH OR CHEQUE IN ADVANCE

BELLAIRE PROPERTIES INC.

PAID: \_\_\_\_\_

VENDOR

File Copy for Construction Office

(Original verified at Head Office)