



LORMEL DEVELOPMENTS (BRADFORD) LTD.
PURCHASER EXTRAS

LOT - 100 P.E #002 – KIMBERLEY - 3020 (CORNER)

Attention Trades...

The following items below are Purchaser Extras, please make sure that they are done on time and properly complete. Any outstanding items will be Back Charged. If you have any questions please call Roberto Ruiz. Make sure that you review ALL of the items on the Purchaser Extras.

Please be advised that Purchase Orders will come at a later date.

***Also it is very important to speak to Roberto Ruiz before starting on site **

TRADE:	ITEMS TO BE COMPLETED
Pipecon	#1, #5, #12
Internazionale Electric	#1, #4, #5, #9
Kingswood Heating	#1, #3, #5
Liberty	#1, #5, #6, #7, #8, #9, #12
Allstar Carpentry	#2, #3, #5, #10, #11, #12, #13
Tofino	#3, #10, #11
National Fire Place	#4
Brown Window	#11, #13
North York Tile	#12
Metropolitan	#12

Date: January 05, 2021
From: Lormel Homes
Site Trailer – Jai Fitzgerald
Tel: 905-775-3633
Site Trailer Fax: 905-775-9083

NOTE: If more information is needed please call Roberto Ruiz cell-416-688-9324
If more information needed on quotes or changes, please call Zachary 905-832-2023 ext. 224



Schedule B-3 – Purchaser’s Extras

forming part of the Agreement of Purchase and Sale



VENDOR:

LORMEL DEVELOPMENTS (BRADFORD) LTD.

PURCHASER(S): Vince Zammuto and Veronica Porco-Zammuto

LOT NUMBER: Lot 100 PHASE: 3

MODEL: Kimberley 3020

P.E.#: 002

CORNER

It is understood and agreed that no requests for changes, additions or deletions will be accepted by the Vendor for the above extras after the date of acceptance of this order.

No.	DESCRIPTION	PRICE
1.	Relocate the laundry connections and the laundry tub to the basement. Location as per sketch	
2.	Purchaser requests to that the laundry room is not sunken - to remain as the same level as the rest of the main floor. The Purchaser udnerstands and acknowledges that by doing so - the door from house to the garage may be affected and cannot be installed.	
3.	Delete trimmed archway between the kitchen and main hallway; between dinette and family room. Provide a trimmed opening as wide as possible between the family room and kitchen. In lieu fo a solid wall between the dining room and family room, provide for trimmed opening - to be as wide as possible. (wb)	
4.	Relocate the fireplace, as per sketch	
5.	In lieu of peninsula in kitchen, provide and install L-shaped kitchen with island, (approximately 6.8ft of upper and lower cabinetry added on stove wall. Relocate the sink to the island. Dishwasher to be located on Stove wall. Note - Purchase will be installing a 36" stove/hood fan. Provide and install counterdepth fridge enclosoure, as per sketch. Cost includes buider's standard cabinetry and granite top.	
6	Island to be 2x9 with extended flat bar top (3x9). Cost includes the Builders standard cabinetry and granite top	
7.	Provide desk between fridge enclosure and the rear wall. Desk to have two pull out drawers and completed with granite top from Builders's standard samples	
8.	In lieu of upper and lowers on original fridge wall, provide and install 5ft of pantry (2ft deep)	
9	Kitchen island is fixed, therefore in addition to standard, provide and install two electrical outlets in the island. (outlet to be on the rear side of the island) Purchaser may be proceeding with a waterfall countertop. Confirmation of locations will be provided upon final review of kitchen layout.	
10	Relocate the door from the master bedroom closet to the master bedroom, as per sketch	
Brown R50		
H.S.T.		
New Total:		
Less Bonus Package (if Applicable)		
TOTAL:		
Net upgrades continued on page 2		
TOTAL		

The above extras and upgrades are to be included during the construction of the above house for the above named purchaser subject to the following terms and conditions:

- The Vendor will undertake to install the above extras but will not be liable to the purchaser if for any reason the work covered by the extra is not carried out. In that event, the price of the extra shall be refunded to the purchaser without any interest.
- It is understood and agreed that if the transaction of Purchase and Sale is not completed for any reason whatsoever, the total cost of this extra is not refundable.

PAYD:

PURCHASER

PURCHASER

File Copy for Construction Office

(original verified at Head Office)

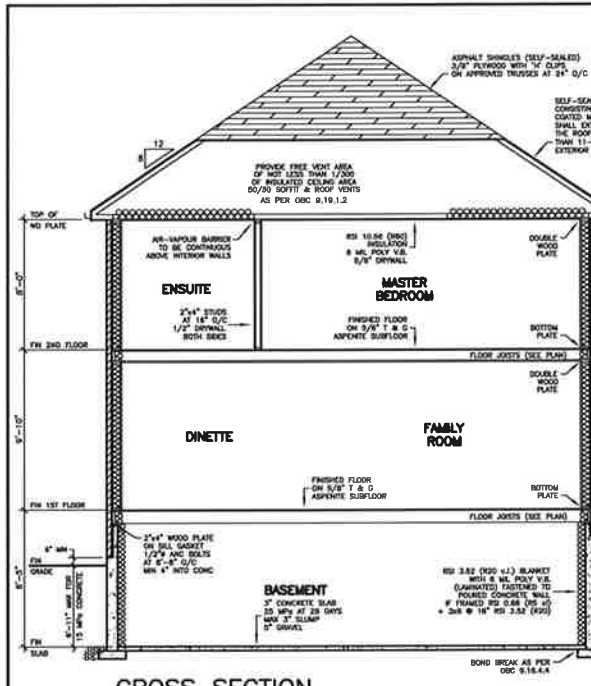
TERMS: CASH OR CHEQUE IN ADVANCE

PURCHASER

LORMEL DEVELOPMENTS (BRADFORD) LTD.

PURCHASER

Per: VENDOR



CROSS SECTION

CEILING HEIGHTS OF ROOMS OR SPACES IN RESIDENTIAL OCCUPANCIES AND LIVES/WORK UNITS SHALL CONFORM TO TABLE 9.3.3.1. AREAS IN ROOMS OR SPACES OTHER THAN CEILING HEIGHTS IS NOT LESS THAN THE MINIMUM SPECIFIED IN TABLE 9.3.3.1. SHALL BE CONTIGUOUS WITH THE ENTRY OR ENTRIES TO THOSE ROOMS OR SPACES. [CBC 9.3.3.1]

CONCEALED SPACES IN INTERIOR WALLS, CEILINGS AND CEILING SPACES SHALL BE SEPARATED BY FIRE BLOCKS FROM CONCEALED SPACES IN EXTERIOR WALLS AND ATTIC OR ROOF SPACES. [CBC 9.18.1.1.(1)]

SMOKE ALARMS CONFORMING TO CANULC-5551, "SMOKE ALARMS", SHALL BE INSTALLED IN EACH DWELLING UNIT IN CONFORMANCE WITH CBC 9.10.10.

THE MINIMUM DEPTH OF FOUNDATIONS BELOW FINISHED GRADE LEVEL SHALL BE IN ACCORDANCE WITH TABLE 9.12.2.1.

DRAIN TIES AND DRAIN PIPS FOR FOUNDATION DRAINAGE SHALL CONFORM TO THE ENTIRE SUBSECTION. [CBC 9.18.1.3]

FOOTINGS SHALL REST ON UNDISTURBED SOIL, ROCK OR COMPACTED GRANULAR FILL. [CBC 9.12.2.2]

WHERE THE TOP OF A FOUNDATION WALL IS REDUCED IN THICKNESS TO PERMIT THE INSTALLATION OF A MASONRY EXTERIOR FINISH, THE REDUCED SECTION SHALL BE (A) NOT LESS THAN 80 mm THICK, AND (B) TIED TO THE MAIN WALL WITH STEEL REINFORCING BARS, EACH BAR NOT LESS THAN 10 mm DIAMETER, VERTICALLY AND 300 mm O.C. HORIZONTALLY. [CBC 9.18.1.4.(2)]

WHERE THE TOP OF A FOUNDATION WALL IS REDUCED IN THICKNESS TO PERMIT THE INSTALLATION OF A MASONRY EXTERIOR FINISH, THE REDUCED SECTION SHALL BE (A) NOT LESS THAN 80 mm THICK, AND (B) TIED TO THE MAIN WALL WITH STEEL REINFORCING BARS, EACH BAR NOT LESS THAN 10 mm DIAMETER, VERTICALLY AND 300 mm O.C. HORIZONTALLY. [CBC 9.18.1.4.(2)]

WALL CEILING AND FLOOR SPACINGS ALLED SPACE FROM UNLIMITED SPACE, THE EXTERIOR OR THE INTERIOR SHALL BE PROVIDED WITH THERMAL INSULATION CONFORMING TO SUBSECTION 9.25.1. AN AIR BARRIER SYSTEM CONFORMING TO SUBSECTION 9.25.3. AND A VAPOR BARRIER CONFORMING TO SUBSECTION 9.25.4. AND CONSTRUCTED IN SUCH A WAY THAT THE PROPERTIES AND RESISTANCE TO AIR AND VAPOR TRANSMISSIONS SHALL BE NOT LESS THAN 200 mm AND UNIFORM GRADE LEVEL, EXCEPT WHEN IT IS APPLIED OVER CONCRETE OR MASONRY. [CBC 9.28.1.4]

STUCCO SHALL BE NOT LESS THAN 200 mm AND UNIFORM GRADE LEVEL, EXCEPT WHEN IT IS APPLIED OVER CONCRETE OR MASONRY. [CBC 9.28.1.4]

EMBOSSINGS FOR RECTANGULAR TREADS RISE MAX. 230 mm, MIN. 120 mm RISE MAX. 200 mm, MIN. 120 mm TREAD DEPTH MAX. 305 mm, MIN. 230 mm [CBC 9.4.3.4.3]

A HANDRAIL SHALL BE PROVIDED (A) ON AT LEAST ONE SIDE OF STAIRS OR RAMP (B) ON BOTH SIDES OF CURVED STAIRS OR RAMP (C) ON ANY WALKING SURFACE OF STAIRS WITHIN DWELLING UNITS, AND (D) ON ANY WALKING SURFACE OF A SINGLE DWELLING UNIT OR (E) EXTERIOR STAIRS HAVING NOT MORE THAN 3 RISERS AND SERVING A SINGLE DWELLING UNIT. [CBC 9.8.7.1]

STRUCTURAL LEGEND J1 DENOTES 9 1/2" 84000818" O/C WITH 3/4" OSB SUBFLOOR.

EAVE PROTECTION FOR SHINGLES AND SHAKES TO CONFORM WITH CBC 9.26.5

SELF-SEALING CONCRETE MEMBRANE CONSISTING OF MODIFIED BITUMINOUS COATED MATERIAL SHALL EXTEND A MINIMUM OF 2'-11" UP THE ROOF SLOPE TO A LINE NOT LESS THAN 11-3/4" ABOVE FINISH FACE OF EXTERIOR WALL

STARTER STRIP OF ROOF SHINGLES REQUIRED

ALUMINUM SOFFIT, FASCIA AND EAVESTRAUGHING SOFFIT VENTED

4" FACE BRICK AND 3/4" O/C VENT VENTED TO EXTERIOR THROUGH SHINGLING 1" AIR SPACE AND SHINGLES TO OVERLAP (ALL JOINTS TO BE SEALED TO PROVIDE CONTINUOUS AIR BARRIER) 1/2" BRICKS 2x4" STUDS AT 16" O/C VAPOR BARRIER ON BARRIERS SHINGLES OR LAPPED AT LEAST 2" AND CLAMPED 1/2" CORNELL JOINT TIED AND SANGED

2x4" WOOD PLATE ON BULL GASKET 1/2" AIR SPACE AT 4" O/C MIN. 4" INTO CONC

FINISHED FLOOR ON 5/8" T & G ASPHALT SUBFLOOR

2x4" STUDS AT 16" O/C 1/2" DRYWALL BOTH SIDES

ENSUITE

MASTER BEDROOM

DINETTE

FAMILY ROOM

BASMENT

3" CONCRETE SLAB 20 MPa AT 28 DAYS 5" GRAVEL

2x4" WOOD PLATE ON BULL GASKET 1/2" AIR SPACE AT 4" O/C MIN. 4" INTO CONC

FINISHED FLOOR ON 5/8" T & G ASPHALT SUBFLOOR

2x4" STUDS AT 16" O/C 1/2" DRYWALL BOTH SIDES

ENSUITE

MASTER BEDROOM

DINETTE

FAMILY ROOM

BASMENT

3" CONCRETE SLAB 20 MPa AT 28 DAYS 5" GRAVEL

2x4" WOOD PLATE ON BULL GASKET 1/2" AIR SPACE AT 4" O/C MIN. 4" INTO CONC

FINISHED FLOOR ON 5/8" T & G ASPHALT SUBFLOOR

2x4" STUDS AT 16" O/C 1/2" DRYWALL BOTH SIDES

ENSUITE

MASTER BEDROOM

DINETTE

FAMILY ROOM

BASMENT

3" CONCRETE SLAB 20 MPa AT 28 DAYS 5" GRAVEL

2x4" WOOD PLATE ON BULL GASKET 1/2" AIR SPACE AT 4" O/C MIN. 4" INTO CONC

FINISHED FLOOR ON 5/8" T & G ASPHALT SUBFLOOR

2x4" STUDS AT 16" O/C 1/2" DRYWALL BOTH SIDES

ENSUITE

MASTER BEDROOM

DINETTE

FAMILY ROOM

BASMENT

3" CONCRETE SLAB 20 MPa AT 28 DAYS 5" GRAVEL

2x4" WOOD PLATE ON BULL GASKET 1/2" AIR SPACE AT 4" O/C MIN. 4" INTO CONC

FINISHED FLOOR ON 5/8" T & G ASPHALT SUBFLOOR

2x4" STUDS AT 16" O/C 1/2" DRYWALL BOTH SIDES

ENSUITE

MASTER BEDROOM

EAVE PROTECTION FOR SHINGLES AND SHAKES TO CONFORM WITH CBC 9.26.5

SELF-SEALING CONCRETE MEMBRANE CONSISTING OF MODIFIED BITUMINOUS COATED MATERIAL SHALL EXTEND A MINIMUM OF 2'-11" UP THE ROOF SLOPE TO A LINE NOT LESS THAN 11-3/4" ABOVE FINISH FACE OF EXTERIOR WALL

STARTER STRIP OF ROOF SHINGLES REQUIRED

ALUMINUM SOFFIT, FASCIA AND EAVESTRAUGHING SOFFIT VENTED

4" FACE BRICK AND 3/4" O/C VENT VENTED TO EXTERIOR THROUGH SHINGLING 1" AIR SPACE AND SHINGLES TO OVERLAP (ALL JOINTS TO BE SEALED TO PROVIDE CONTINUOUS AIR BARRIER) 1/2" BRICKS 2x4" STUDS AT 16" O/C VAPOR BARRIER ON BARRIERS SHINGLES OR LAPPED AT LEAST 2" AND CLAMPED 1/2" CORNELL JOINT TIED AND SANGED

2x4" WOOD PLATE ON BULL GASKET 1/2" AIR SPACE AT 4" O/C MIN. 4" INTO CONC

FINISHED FLOOR ON 5/8" T & G ASPHALT SUBFLOOR

2x4" STUDS AT 16" O/C 1/2" DRYWALL BOTH SIDES

ENSUITE

MASTER BEDROOM

DINETTE

FAMILY ROOM

BASMENT

3" CONCRETE SLAB 20 MPa AT 28 DAYS 5" GRAVEL

2x4" WOOD PLATE ON BULL GASKET 1/2" AIR SPACE AT 4" O/C MIN. 4" INTO CONC

FINISHED FLOOR ON 5/8" T & G ASPHALT SUBFLOOR

2x4" STUDS AT 16" O/C 1/2" DRYWALL BOTH SIDES

ENSUITE

MASTER BEDROOM

DINETTE

FAMILY ROOM

BASMENT

3" CONCRETE SLAB 20 MPa AT 28 DAYS 5" GRAVEL

2x4" WOOD PLATE ON BULL GASKET 1/2" AIR SPACE AT 4" O/C MIN. 4" INTO CONC

FINISHED FLOOR ON 5/8" T & G ASPHALT SUBFLOOR

2x4" STUDS AT 16" O/C 1/2" DRYWALL BOTH SIDES

ENSUITE

MASTER BEDROOM

DINETTE

FAMILY ROOM

BASMENT

3" CONCRETE SLAB 20 MPa AT 28 DAYS 5" GRAVEL

2x4" WOOD PLATE ON BULL GASKET 1/2" AIR SPACE AT 4" O/C MIN. 4" INTO CONC

FINISHED FLOOR ON 5/8" T & G ASPHALT SUBFLOOR

2x4" STUDS AT 16" O/C 1/2" DRYWALL BOTH SIDES

ENSUITE

MASTER BEDROOM

DINETTE

FAMILY ROOM

BASMENT

3" CONCRETE SLAB 20 MPa AT 28 DAYS 5" GRAVEL

2x4" WOOD PLATE ON BULL GASKET 1/2" AIR SPACE AT 4" O/C MIN. 4" INTO CONC

FINISHED FLOOR ON 5/8" T & G ASPHALT SUBFLOOR

2x4" STUDS AT 16" O/C 1/2" DRYWALL BOTH SIDES

ENSUITE

MASTER BEDROOM

EAVE PROTECTION FOR SHINGLES AND SHAKES TO CONFORM WITH CBC 9.26.5

SELF-SEALING CONCRETE MEMBRANE CONSISTING OF MODIFIED BITUMINOUS COATED MATERIAL SHALL EXTEND A MINIMUM OF 2'-11" UP THE ROOF SLOPE TO A LINE NOT LESS THAN 11-3/4" ABOVE FINISH FACE OF EXTERIOR WALL

STARTER STRIP OF ROOF SHINGLES REQUIRED

ALUMINUM SOFFIT, FASCIA AND EAVESTRAUGHING SOFFIT VENTED

4" FACE BRICK AND 3/4" O/C VENT VENTED TO EXTERIOR THROUGH SHINGLING 1" AIR SPACE AND SHINGLES TO OVERLAP (ALL JOINTS TO BE SEALED TO PROVIDE CONTINUOUS AIR BARRIER) 1/2" BRICKS 2x4" STUDS AT 16" O/C VAPOR BARRIER ON BARRIERS SHINGLES OR LAPPED AT LEAST 2" AND CLAMPED 1/2" CORNELL JOINT TIED AND SANGED

2x4" WOOD PLATE ON BULL GASKET 1/2" AIR SPACE AT 4" O/C MIN. 4" INTO CONC

FINISHED FLOOR ON 5/8" T & G ASPHALT SUBFLOOR

2x4" STUDS AT 16" O/C 1/2" DRYWALL BOTH SIDES

ENSUITE

MASTER BEDROOM

DINETTE

FAMILY ROOM

BASMENT

3" CONCRETE SLAB 20 MPa AT 28 DAYS 5" GRAVEL

2x4" WOOD PLATE ON BULL GASKET 1/2" AIR SPACE AT 4" O/C MIN. 4" INTO CONC

FINISHED FLOOR ON 5/8" T & G ASPHALT SUBFLOOR

2x4" STUDS AT 16" O/C 1/2" DRYWALL BOTH SIDES

ENSUITE

MASTER BEDROOM

DINETTE

FAMILY ROOM

BASMENT

3" CONCRETE SLAB 20 MPa AT 28 DAYS 5" GRAVEL

2x4" WOOD PLATE ON BULL GASKET 1/2" AIR SPACE AT 4" O/C MIN. 4" INTO CONC

FINISHED FLOOR ON 5/8" T & G ASPHALT SUBFLOOR

2x4" STUDS AT 16" O/C 1/2" DRYWALL BOTH SIDES

ENSUITE

MASTER BEDROOM

DINETTE

FAMILY ROOM

BASMENT

3" CONCRETE SLAB 20 MPa AT 28 DAYS 5" GRAVEL

2x4" WOOD PLATE ON BULL GASKET 1/2" AIR SPACE AT 4" O/C MIN. 4" INTO CONC

FINISHED FLOOR ON 5/8" T & G ASPHALT SUBFLOOR

2x4" STUDS AT 16" O/C 1/2" DRYWALL BOTH SIDES

ENSUITE

MASTER BEDROOM

DINETTE

FAMILY ROOM

BASMENT

3" CONCRETE SLAB 20 MPa AT 28 DAYS 5" GRAVEL

2x4" WOOD PLATE ON BULL GASKET 1/2" AIR SPACE AT 4" O/C MIN. 4" INTO CONC

FINISHED FLOOR ON 5/8" T & G ASPHALT SUBFLOOR

2x4" STUDS AT 16" O/C 1/2" DRYWALL BOTH SIDES

ENSUITE

MASTER BEDROOM

EAVE PROTECTION FOR SHINGLES AND SHAKES TO CONFORM WITH CBC 9.26.5

SELF-SEALING CONCRETE MEMBRANE CONSISTING OF MODIFIED BITUMINOUS COATED MATERIAL SHALL EXTEND A MINIMUM OF 2'-11" UP THE ROOF SLOPE TO A LINE NOT LESS THAN 11-3/4" ABOVE FINISH FACE OF EXTERIOR WALL

STARTER STRIP OF ROOF SHINGLES REQUIRED

ALUMINUM SOFFIT, FASCIA AND EAVESTRAUGHING SOFFIT VENTED

4" FACE BRICK AND 3/4" O/C VENT VENTED TO EXTERIOR THROUGH SHINGLING 1" AIR SPACE AND SHINGLES TO OVERLAP (ALL JOINTS TO BE SEALED TO PROVIDE CONTINUOUS AIR BARRIER) 1/2" BRICKS 2x4" STUDS AT 16" O/C VAPOR BARRIER ON BARRIERS SHINGLES OR LAPPED AT LEAST 2" AND CLAMPED 1/2" CORNELL JOINT TIED AND SANGED

2x4" WOOD PLATE ON BULL GASKET 1/2" AIR SPACE AT 4" O/C MIN. 4" INTO CONC

FINISHED FLOOR ON 5/8" T & G ASPHALT SUBFLOOR

2x4" STUDS AT 16" O/C 1/2" DRYWALL BOTH SIDES

ENSUITE

MASTER BEDROOM

DINETTE

FAMILY ROOM

BASMENT

3" CONCRETE SLAB 20 MPa AT 28 DAYS 5" GRAVEL

2x4" WOOD PLATE ON BULL GASKET 1/2" AIR SPACE AT 4" O/C MIN. 4" INTO CONC

FINISHED FLOOR ON 5/8" T & G ASPHALT SUBFLOOR

2x4" STUDS AT 16" O/C 1/2" DRYWALL BOTH SIDES

ENSUITE

MASTER BEDROOM

DINETTE

FAMILY ROOM

BASMENT

3" CONCRETE SLAB 20 MPa AT 28 DAYS 5" GRAVEL

2x4" WOOD PLATE ON BULL GASKET 1/2" AIR SPACE AT 4" O/C MIN. 4" INTO CONC

FINISHED FLOOR ON 5/8" T & G ASPHALT SUBFLOOR

2x4" STUDS AT 16" O/C 1/2" DRYWALL BOTH SIDES

ENSUITE

MASTER BEDROOM

DINETTE

FAMILY ROOM

BASMENT

3" CONCRETE SLAB 20 MPa AT 28 DAYS 5" GRAVEL

2x4" WOOD PLATE ON BULL GASKET 1/2" AIR SPACE AT 4" O/C MIN. 4" INTO CONC

FINISHED FLOOR ON 5/8" T & G ASPHALT SUBFLOOR

2x4" STUDS AT 16" O/C 1/2" DRYWALL BOTH SIDES

ENSUITE

MASTER BEDROOM

DINETTE

FAMILY ROOM

BASMENT

3" CONCRETE SLAB 20 MPa AT 28 DAYS 5" GRAVEL

2x4" WOOD PLATE ON BULL GASKET 1/2" AIR SPACE AT 4" O/C MIN. 4" INTO CONC

FINISHED FLOOR ON 5/8" T & G ASPHALT SUBFLOOR

2x4" STUDS AT 16" O/C 1/2" DRYWALL BOTH SIDES

ENSUITE

MASTER BEDROOM

EAVE PROTECTION FOR SHINGLES AND SHAKES TO CONFORM WITH CBC 9.26.5

SELF-SEALING CONCRETE MEMBRANE CONSISTING OF MODIFIED BITUMINOUS COATED MATERIAL SHALL EXTEND A MINIMUM OF 2'-11" UP THE ROOF SLOPE TO A LINE NOT LESS THAN 11-3/4" ABOVE FINISH FACE OF EXTERIOR WALL

STARTER STRIP OF ROOF SHINGLES REQUIRED

ALUMINUM SOFFIT, FASCIA AND EAVESTRAUGHING SOFFIT VENTED

4" FACE BRICK AND 3/4" O/C VENT VENTED TO EXTERIOR THROUGH SHINGLING 1" AIR SPACE AND SHINGLES TO OVERLAP (ALL JOINTS TO BE SEALED TO PROVIDE CONTINUOUS AIR BARRIER) 1/2" BRICKS 2x4" STUDS AT 16" O/C VAPOR BARRIER ON BARRIERS SHINGLES OR LAPPED AT LEAST 2" AND CLAMPED 1/2" CORNELL JOINT TIED AND SANGED

2x4" WOOD PLATE ON BULL GASKET 1/2" AIR SPACE AT 4" O/C MIN. 4" INTO CONC

FINISHED FLOOR ON 5/8" T & G ASPHALT SUBFLOOR

2x4" STUDS AT 16" O/C 1/2" DRYWALL BOTH SIDES

ENSUITE

MASTER BEDROOM

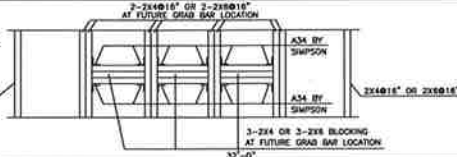
DINETTE

FAMILY ROOM

BASMENT

DETAIL OF STUD WALL CONSTRUCTION AT FUTURE GRAB BAR LOCATION

2x4@16" OR 2x6@16"



EXHAUST DUCTS CONNECTED TO LAUNDRY DRYING EQUIPMENT SHALL BE:
(A) INDEPENDENT OF OTHER EXHAUST DUCTS;
(B) DESIGNED AND INSTALLED SO THAT THE ENTIRE DUCT CAN BE CLEANED; AND
(C) CONSTRUCTED OF MATERIAL THAT IS SMOOTH AND CORROSION-RESISTANT. [IRC 9.2.3.2(7)]

THE COMPRESSIVE STRENGTH OF UNREINFORCED CONCRETE AFTER 28 DAYS SHALL BE NOT LESS THAN:
(A) 35 MPa FOR GARAGE FLOORS, CARPORT FLOORS AND ALL EXTERIOR FLOORS;
(B) 20 MPa FOR INTERIOR FLOORS; AND
(C) 25 MPa FOR GARAGE AND CARPORT FLOORS AND EXTERIOR STEPS SHALL HAVE AN OBTAINMENT OF 5 TO 10. [IRC 9.2.3.1.2]

IF WOOD OR SHEET STEEL WALL STUDS ENCLOSE THE MAIN BATHROOM IN A DWELLING UNIT, REINFORCEMENT SHALL BE INSTALLED TO PERMIT THE FUTURE INSTALLATION OF A GRAB BAR IN CONFORMANCE WITH IRC 9.2.3.3.

WINDOWS, DOORS AND SKYLIGHTS SHALL CONFORM TO IRC 9.0.7.

A DOOR BETWEEN AN ATTACHED OR BUILT-IN GARAGE AND A DWELLING UNIT SHALL BE TIGHT-FITTING AND WEATHERSTRIPPED TO PROVIDE AN EFFECTIVE BARRIER AGAINST THE PASSAGE OF GASES AND EXHAUST FUMES AND SHALL BE FITTED WITH A SELF-CLOSING DEVICE. [IRC 9.10.15.13]

A HANDRAIL SHALL BE PROVIDED:
(A) ON AT LEAST ONE SIDE OF STAIRS OR RAMPS LESS THAN 1,100 mm IN WIDTH;
(B) ON BOTH SIDES OF CURVED STAIRS OR RAMPS OF ANY WIDTH, EXCEPT CURVED STAIRS WITHIN DWELLING UNITS; AND
(C) ON 2 SIDES OF STAIRS OR RAMPS 1,100 mm IN WIDTH OR GREATER.
HANDRAILS ARE NOT REQUIRED FOR:
(A) INTERIOR STAIRS HAVING NOT MORE THAN 2 RISERS AND SERVING A SINGLE DWELLING UNIT; OR
(B) EXTERIOR STAIRS HAVING NOT MORE THAN 3 RISERS AND SERVING A SINGLE DWELLING UNIT. [IRC 9.0.7.1.1]

THE HEIGHT OF HANDRAILS ON STAIRS AND RAMPS SHALL BE NOT LESS THAN 865 mm AND NOT MORE THAN 915 mm. [IRC 9.0.7.1.2]

GUARDS SHALL CONFORM TO IRC 9.0.8.1 AND SHALL RESIST LOADS IN CONFORMANCE WITH TABLE 9.0.8.2.

WHERE A GARAGE IS ATTACHED TO OR BUILT INTO A BUILDING OF RESIDENTIAL OCCUPANCY, (A) AN AIR BARRIER SYSTEM IN CONFORMANCE WITH IRC 9.0.3.3.3 SHALL BE INSTALLED BETWEEN THE GARAGE AND THE REMAINDER OF THE BUILDING TO PROVIDE AN EFFECTIVE BARRIER TO GAS AND EXHAUST FUMES; AND
(B) EVERY DOOR BETWEEN THE GARAGE AND THE REMAINDER OF THE BUILDING SHALL CONFORM TO IRC 9.10.15.16.

A DOOR BETWEEN AN ATTACHED OR BUILT-IN GARAGE AND A DWELLING UNIT SHALL BE TIGHT-FITTING AND WEATHERSTRIPPED TO PROVIDE AN EFFECTIVE BARRIER AGAINST THE PASSAGE OF GASES AND EXHAUST FUMES AND SHALL BE FITTED WITH A SELF-CLOSING DEVICE. [IRC 9.10.15.16]

FACTORY-BUILT FIREPLACES AND THEIR INSTALLATION SHALL CONFORM TO CANULC-9010-M, "FACTORY-BUILT FIREPLACES". [IRC 9.2.2.8.1]

LAUNDRY FACILITIES OR A SPACE FOR LAUNDRY FACILITIES SHALL BE PROVIDED IN EVERY DWELLING UNIT OR GROUPED CLOSET IN THE BUILDING IN A LOCATION CONVENIENTLY ACCESSIBLE TO OCCUPANTS OF EVERY DWELLING UNIT. [IRC 9.10.1.1.2]

A CLOTHES DRYER EXHAUST DUCT SYSTEM SHALL CONFORM TO PART 6. [IRC 9.3.2.1.1]

AN EXHAUST AIR INTAKE SHALL BE INSTALLED IN EACH KITCHEN, BATHROOM AND WATER CLOSET ROOM. [IRC 9.3.2.3.3(2)]

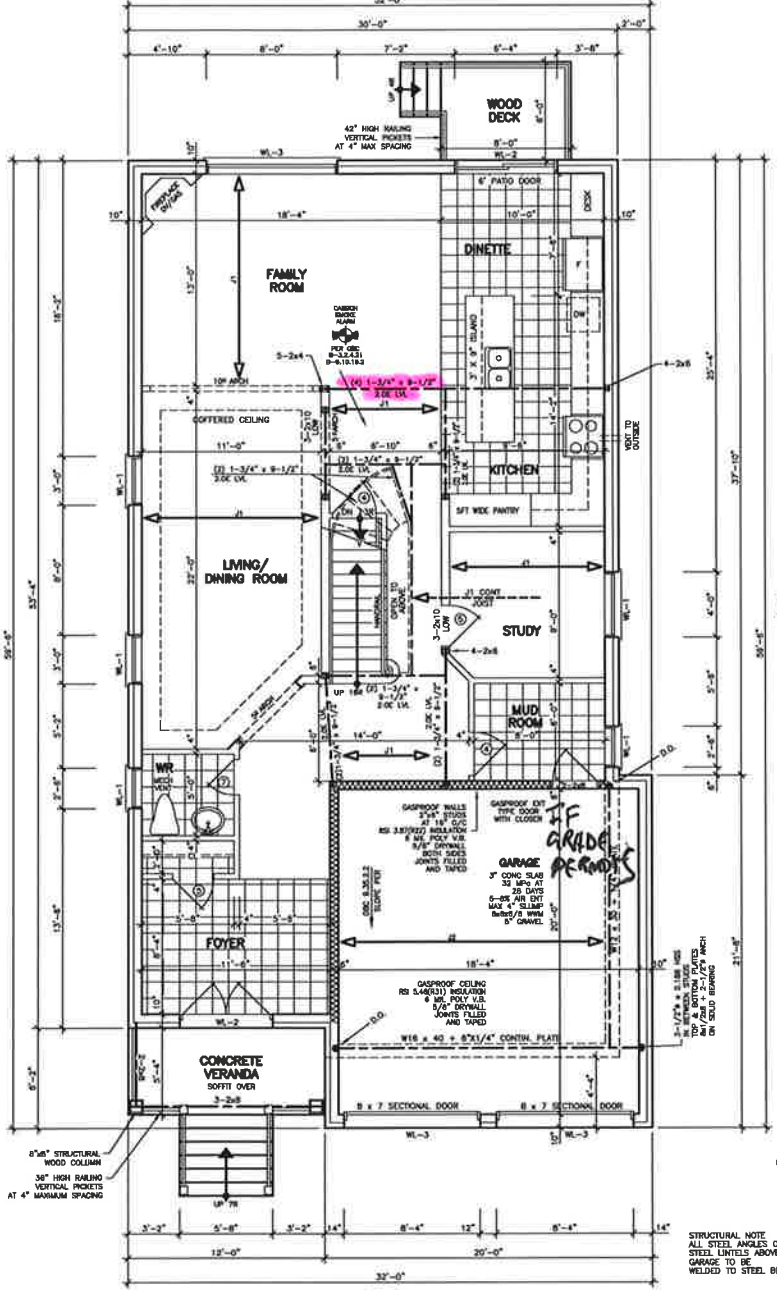
EXCEPT FOR CLOTHES DRYERS, EXHAUST OUTLETS SHALL BE FITTED WITH SCREENS OF MESH NOT LARGER THAN 15 mm, EXCEPT WHERE CLIMATE CONDITIONS MAY REQUIRE LARGER OPENINGS. [IRC 9.3.2.3.3(2)(10)]

THE DESIGN, CONSTRUCTION AND INSTALLATION, INCLUDING THE PROVISION OF COMBUSTION AIR, OF SOLID-FUEL-BURNING APPLIANCES AND EQUIPMENT, INCLUDING STOVES, COOK TOPS AND SPACE HEATERS, SHALL CONFORM TO CANULC-9010-M, "FACTORY-BUILT FIREPLACES". [IRC 9.3.3.1.2]

A LIGHTING OUTLET WITH FIXTURE CONTROLLED BY A WALL SWITCH SHALL BE PROVIDED IN KITCHENS, LIVING ROOMS, LAUNDRY ROOMS, DINING ROOMS, BATHROOMS, WATER-CLOSET ROOMS, VESTIBULES AND HALLWAYS, AS WELL AS IN BEDROOMS AND LIVING ROOMS THAT ARE NOT PROVIDED WITH A RECEPTACLE THAT IS CONTROLLED BY A WALL SWITCH. [IRC 9.3.4.2.3]

3-WAY WALL SWITCHES LOCATED AT THE HEAD AND FOOT OF EVERY STAIRWAY SHALL BE PROVIDED TO CONTROL, AT LEAST ONE LIGHTING OUTLET WITH FIXTURE FOR STAIRWAYS WITH 4 OR MORE RISERS IN DWELLING UNITS. [IRC 9.3.4.2.3(2)]

A LIGHTING OUTLET WITH FIXTURE SHALL BE PROVIDED FOR AN ATTACHED, BUILT-IN OR DETACHED GARAGE OR CARPORT. [IRC 9.3.4.2.6]



STRUCTURAL LEGEND
J1 DENOTES 1/2 18400918" O/C WITH 3/4" OSB SUBFLOOR.
J2 DENOTES 1/2 18600912" O/C WITH 3/4" OSB SUBFLOOR.

FIRST FLOOR PLAN 'C'

SPECIFIED DESIGN SNOW LOADS SHALL CONFORM TO IRC 9.4.2.3.

ATTICS AND ROOF SPACES SHALL CONFORM TO IRC 9.4.2.4.

IF WOOD OR SHEET STEEL WALL STUDS ENCLOSE THE MAIN BATHROOM IN A DWELLING UNIT, REINFORCEMENT SHALL BE INSTALLED TO PERMIT THE FUTURE INSTALLATION OF A GRAB BAR IN CONFORMANCE WITH IRC 9.2.3.3.

GLASS OTHER THAN SAFETY GLASS SHALL NOT BE USED FOR A SHOWER OR BATH TUB ENCLOSURE. [IRC 9.10.1.4.1]

THE MINIMUM WINDOW GLASS AREA FOR ROOMS IN BUILDINGS OF RESIDENTIAL OCCUPANCY THAT ARE USED FOR SLEEPING SHALL CONFORM TO TABLE 9.0.2.3.

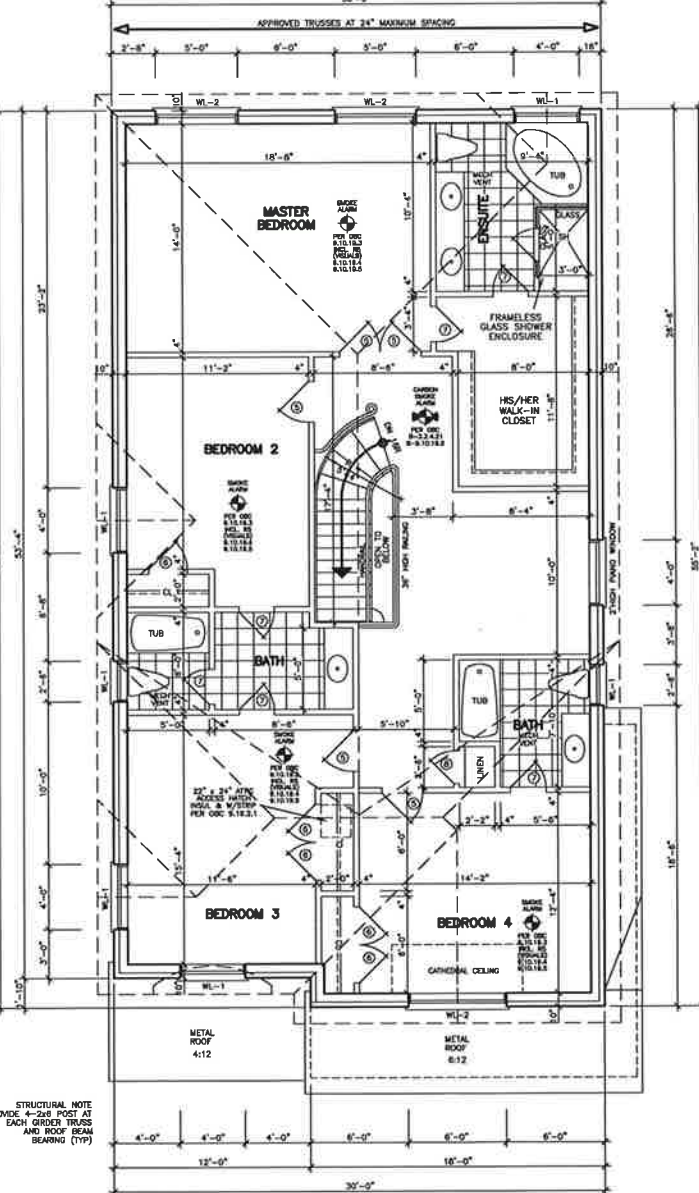
WINDOWS, DOORS AND SKYLIGHTS SHALL CONFORM TO IRC 9.0.7.

CHANGES FOR RECTANGULAR THREADS
SIZE MAX. 200 mm, MIN. 120 mm
RUN MAX. 300 mm, MIN. 210 mm
PITCH DEPTH MAX. 300 mm, MIN. 230 mm
[IRC 9.8.4.2]

EVERY ATTIC OR ROOF SPACE SHALL BE PROVIDED WITH AN ACCESS HATCH WITH A MINIMUM AREA OF 0.32 m² AND WITH NO DIMENSION LESS THAN 240 mm. ACCESS HATCHES SHALL BE FITTED WITH DOORS OR COVERS. [IRC 9.10.1.3.1]

WOOD ROOF TRUSSES SHALL CONFORM TO IRC 9.2.3.13.1.

ROOFS AND OTHER PLATFORMS THAT EFFECTIVELY SERVE AS ROOFS WITH RESPECT TO ACCUMULATION OR ORANGE OF PRECIPITATION SHALL BE PROTECTED WITH ROOFING, INCLUDING FLASHING, INSTALLED TO SHED RAIN EFFECTIVELY AND PREVENT WATER, DUE TO ICE DAMMING, FROM ENTERING THE ROOF. [IRC 9.2.3.1.1]



STRUCTURAL NOTE
PROVIDE 4x24 POST AT EACH GIRDED TRUSS AND ROOF BEAM BEARING (TYP)

SECOND FLOOR PLAN 'C'

38' LOT

REVISIONS

#	DATE

ABOVE-GRADE MASONRY SHALL BE IN ACCORDANCE WITH O.B.C. SECTION 9.20

WOOD FRAME CONSTRUCTION SHALL BE IN ACCORDANCE WITH O.B.C. SECTION 9.23

FLOOR AREAS AND COVERAGE 'A'

1st FLOOR	=	1348.22	SF
	=	125.25	SM
2nd FLOOR	=	1692.22	SF
	=	157.21	SM
(-OPENINGS)	=	-11.33	SF
	=	-1.05	SM
TOTAL	=	3028.11	SF
	=	281.41	SM
COVERAGE	=	1818.33	SF
	=	168.92	SM



ALL DIMENSIONS & SPECIFICATIONS ARE THE PROPERTY OF THE ARCHITECT AND CANNOT BE USED OR REPRODUCED WITHOUT THE ARCHITECT'S PERMISSION. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCIES TO THE ARCHITECT. DIMENSIONS MUST BE SOLID.

ARCHITECTURAL DESIGN INC.

56 PENNSYLVANIA AVE.
UNIT 1
CONCORD, ONT. L4K 3J9
TEL 905 680-8992
FAX 905 680-9416

LOT 100B KIMBERLEY MODEL 3020

PROJECT
PROPOSED
TWO STOREY DWELLING
FOR: LORMEL HOMES
AT: BRADFORD

DRAWING
FIRST AND SECOND
FLOOR PLANS

DATE	SEP '20	PROJECT NO.	19-64
DRAWN	N.L.	DRAWING NO.	A-3
CHECKED			
SCALE	3/16"=1'-0"		

FINISHED GRADE'S PROFILE LINE TO GROUND
AND DOES NOT REFLECT EXACT ELEVATION.

TYPES OF GLASS AND PROTECTION OF GLASS
SHALL BE IN ACCORDANCE WITH
OSC 9.1.1.4.

RESISTANCE TO FORCED ENTRY SHALL BE
PROVIDED FOR DOORS IN ACCORDANCE WITH
OSC 9.7.2.2 AND FOR WINDOWS IN
ACCORDANCE WITH OSC 9.7.3.3.

GUARDS SHALL CONFORM TO OSC 9.8.8.1
AND SHALL RESIST LOADS IN CONFORMANCE
WITH TABLE 9.8.8.2.

GLASS IN GUARDS CONFORM TO OSC
SECTION 9.8.8.1.

THE MAXIMUM AGGREGATE AREA OF
UNPROTECTED OPENINGS IN AN EXPOSING
BUILDING FACE SHALL CONFORM TO
TABLE 9.10.14.4.

FOR BUILDINGS CONTAINING ONLY DWELLING
UNITS, CONSTRUCTION OF EXPOSING BUILDING
FACES SHALL CONFORM TO OSC 9.10.15.5.

EVERY WINDOW WELL SHALL BE DRAINED TO
THE FOOTING LEVEL OR OTHER SUITABLE
LOCATION. [OSC 9.14.6.3]

WHERE STEP FOOTINGS ARE USED, THE
VERTICAL DISTANCE BETWEEN THE HORIZONTAL
PORTIONS SHALL NOT EXCEED 800 mm
AND THE HORIZONTAL DISTANCE BETWEEN
PORTIONS SHALL BE NOT LESS THAN 800 mm.
[OSC 9.15.3.3]

THE THICKNESS AND HEIGHT OF FOUNDATION
WALLS MADE OF UNREINFORCED CONCRETE
BLOCKS OR SOLID CONCRETE AND SUBJECT
TO LATERAL EARTH PRESSURE SHALL
CONFORM TO TABLE 9.15.4.2.2. FOR WALLS
NOT EXCEEDING 2.5 m in UNSUPPORTED
HEIGHT. [OSC 9.15.4.2]

EXTERIOR FOUNDATION WALLS SHALL EXTEND
NOT LESS THAN 150 mm ABOVE FINISHED
GROUND LEVEL. [OSC 9.15.4.6]

VENTING FOR ROOF SPACES SHALL CONFORM
TO OSC 9.19.1.2.

THE UNRESTRICTED ROOF VENT AREA SHALL
BE NOT LESS THAN 1/100 OF THE INSULATED
CEILING AREA, WHERE THE ROOF SLOPE IS
LESS THAN 1 IN 4. OR IN ROOFS THAT ARE
CONSTRUCTED WITH ROOF JOISTS, THE
UNRESTRICTED VENT AREA SHALL BE NOT
LESS THAN 1/150 OF THE INSULATED
CEILING AREA. [OSC 9.19.1.2]

FLASHING SHALL BE INSTALLED IN MASONRY
AND MASONRY VENEER WALLS IN
CONFORMANCE WITH OSC 9.20.1.3.1(1).

THROUGHWALL FLASHING SHALL BE PROVIDED
IN A MASONRY VENEER WALL SUCH THAT ANY
WATER WHICH ACCUMULATES IN THE AIR
SPACE WILL BE DIRECTED TO THE EXTERIOR
OF THE BUILDING. [OSC 9.20.1.3.1(2)]

WATER HOLES THAT ARE SPACED NOT MORE
THAN 800 mm APART SHALL BE PROVIDED
AT THE BOTTOM OF CHIMNEYS OR AIR SPACES
IN MASONRY VENEER WALLS AND ABOVE
LATELID WINDOW AND DOOR OPENINGS.
[OSC 9.20.1.3.4]

A CHIMNEY FLUE SHALL EXTEND NOT LESS
THAN 800 mm ABOVE THE HIGHEST POINT
AT WHICH THE CHIMNEY COMES IN CONTACT
WITH THE ROOF, AND SHALL EXTEND NOT
LESS THAN 800 mm ABOVE THE HIGHEST
ROOF SURFACE OR STRUCTURE WITHIN 3 m
OF THE CHIMNEY. [OSC 9.21.4.4]

THE SLOPE OF ROOF SURFACES, ON WHICH
ROOF DRAINAGE MAY BE APPLIED, SHALL
CONFORM TO OSC 9.22.3.1.

FLASHING SHALL BE INSTALLED AT ALL
INTERSECTIONS LISTED OSC 9.23.4.

WHERE SLOPING SURFACES OF SHINGLED
ROOFS INTERSECT TO FORM A VALLEY, THE
VALLEY SHALL BE FLASHED IN CONFORMANCE
WITH OSC 9.23.4.2.

AN EXTERIOR LIGHTING OUTLET WITH PICTURE
CONTROLLED BY A WALL SWITCH LOCATED
WITHIN THE BUILDING SHALL BE PROVIDED
AT EVERY ENTRANCE TO BUILDINGS OF
RESIDENTIAL OCCUPANCY. [OSC 9.24.2.1]

REFER TO LOT GRADING / SITE PLAN
FOR REQUIRED NUMBER OF EXTERIOR STEPS,
DOOR BETWEEN GARAGE AND DWELLING,
DECK OR BASEMENT WALKOUT CONDITION.

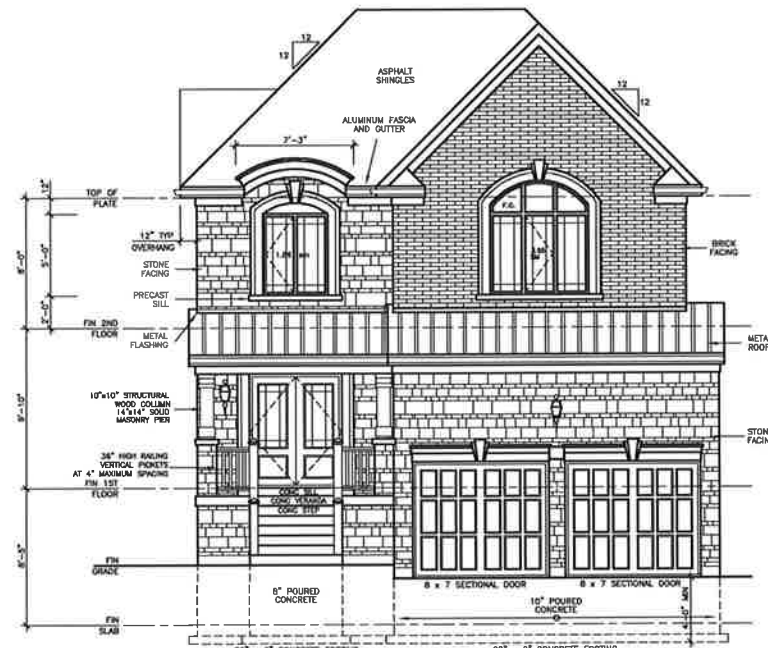
EVERY SURFACE TO WHICH ACCESS IS
PROVIDED, FOR OTHER THAN MAINTENANCE
PURPOSES, SHALL BE PROTECTED BY A
RAIL IN CONFORMANCE WITH OSC 9.8.8.
ON EACH SIDE THAT IS NOT PROTECTED BY
A WALL FOR THE LENGTH WHERE:
(A) THERE IS A DIFFERENCE IN ELEVATION
OF MORE THAN 600 mm. OR
(B) THE ADJACENT SURFACE WITHIN 1.2 m
OF THE WALKING SURFACE HAS A SLOPE
OF MORE THAN 1 IN 2. [OSC 9.8.8.1(1)]

FOR BUILDINGS CONTAINING ONLY DWELLING
UNITS, EACH EXPOSING BUILDING FACE
AND ANY EXTERIOR WALL LOCATED ABOVE AN
EXPOSING BUILDING FACE THAT ENCLOSES
AN ATTIC OR ROOF SPACE SHALL:

(A) HAVE A FIRE RESISTANCE RATING OF NOT
LESS THAN 45 MIN WHERE THE LIMITING
DISTANCE IS LESS THAN 1.2 m. BUT NOT
LESS THAN 0.6 m. OR

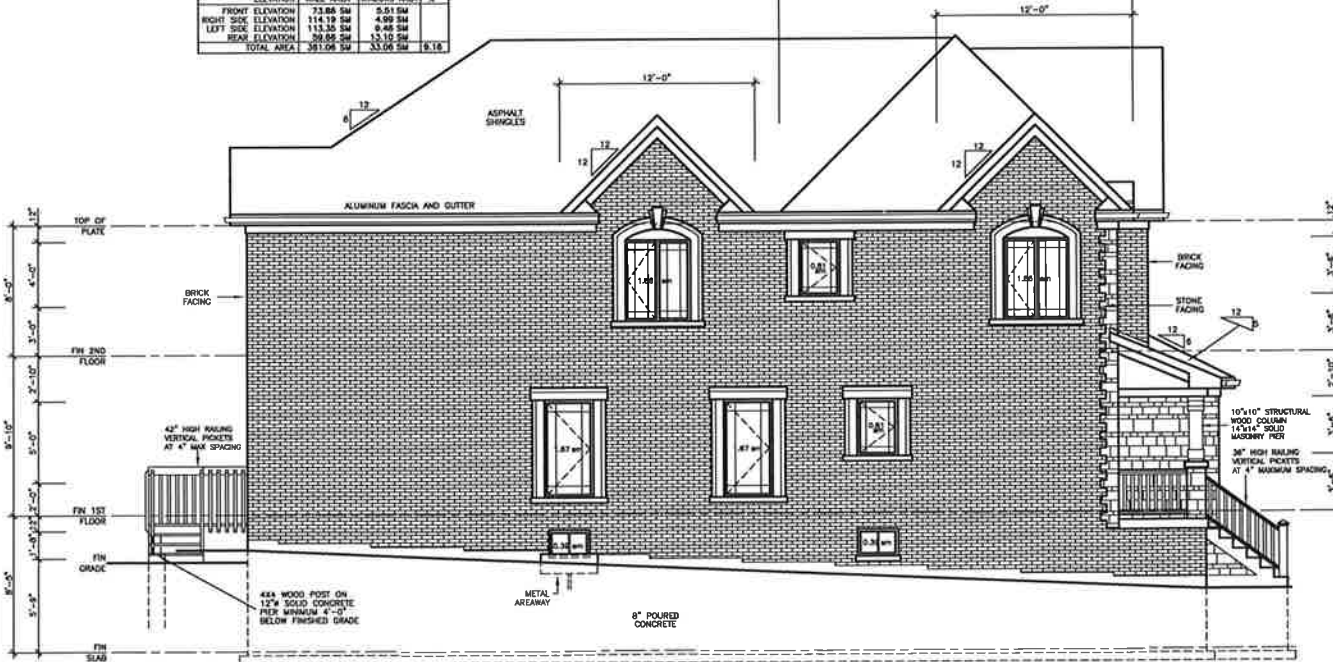
(B) HAVE A FIRE RESISTANCE RATING OF NOT
LESS THAN 45 MIN AND ALSO BE CLAD
WITH NONCOMBUSTIBLE MATERIAL WHERE
THE LIMITING DISTANCE IS LESS THAN
0.6 m. [OSC 9.10.15.8 (2)]

ALLOWABLE UNPROTECTED OPENINGS	
LIMITING DISTANCE	34.45 FT 10.50 M
MAXIMUM PERCENTAGE	40.00 %
TOTAL WALL AREA	1148.52 SF 106.67 SM
ALLOWABLE OPENINGS	459.29 SF 42.67 SM
ACTUAL OPENINGS	101.31 SF 9.41 SM



WALLS AND WINDOWS AREA	
ELEVATION	WALL AREA
FRONT ELEVATION	73.86 SM
RIGHT SIDE ELEVATION	114.19 SM
LEFT SIDE ELEVATION	113.35 SM
REAR ELEVATION	20.88 SM
TOTAL AREA	381.06 SM 9.16

FRONT ELEVATION 'C'



LEFT SIDE ELEVATION 'C'

38' LOT

REVISIONS

#	DATE

Lormel
HOMES



ALL DIMENSIONS AND NOTATIONS ARE THE PROPERTY
OF THE ARCHITECT AND SHALL BE USED OR
REPRODUCED WITHOUT HIS APPROVAL.
THE CONTRACTOR SHALL CHECK AND VERIFY ALL
DIMENSIONS ON THE JOB AND REPORT ANY
DISCREPANCIES TO THE ARCHITECT.
DIMENSIONS MUST NOT BE SCALED.

ARCHITECTURAL
DESIGN INC.

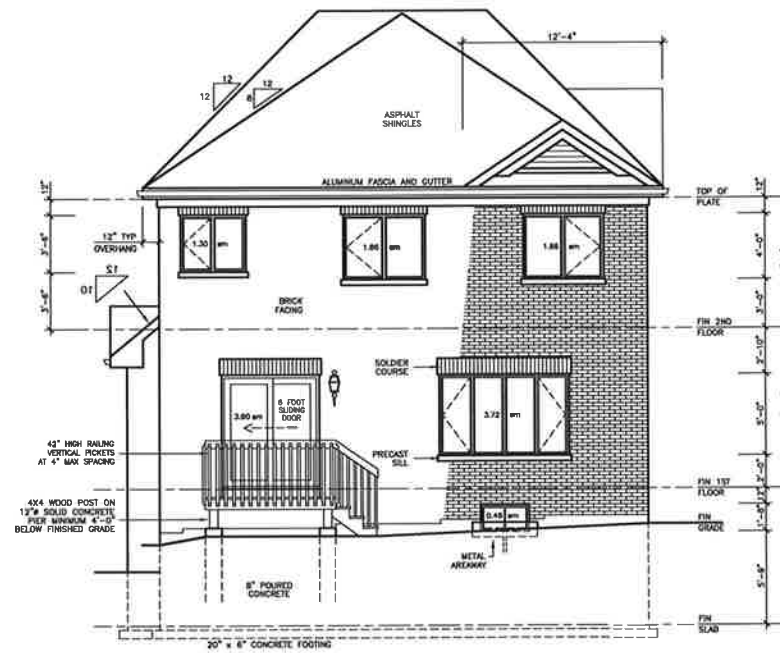
56 PENNSYLVANIA AVE.
UNIT 1
CONCORD, ONT. L4K 3V9
TEL 905 880-9593
FAX 905 880-9418

LOT 100B
KIMBERLEY
MODEL 3020

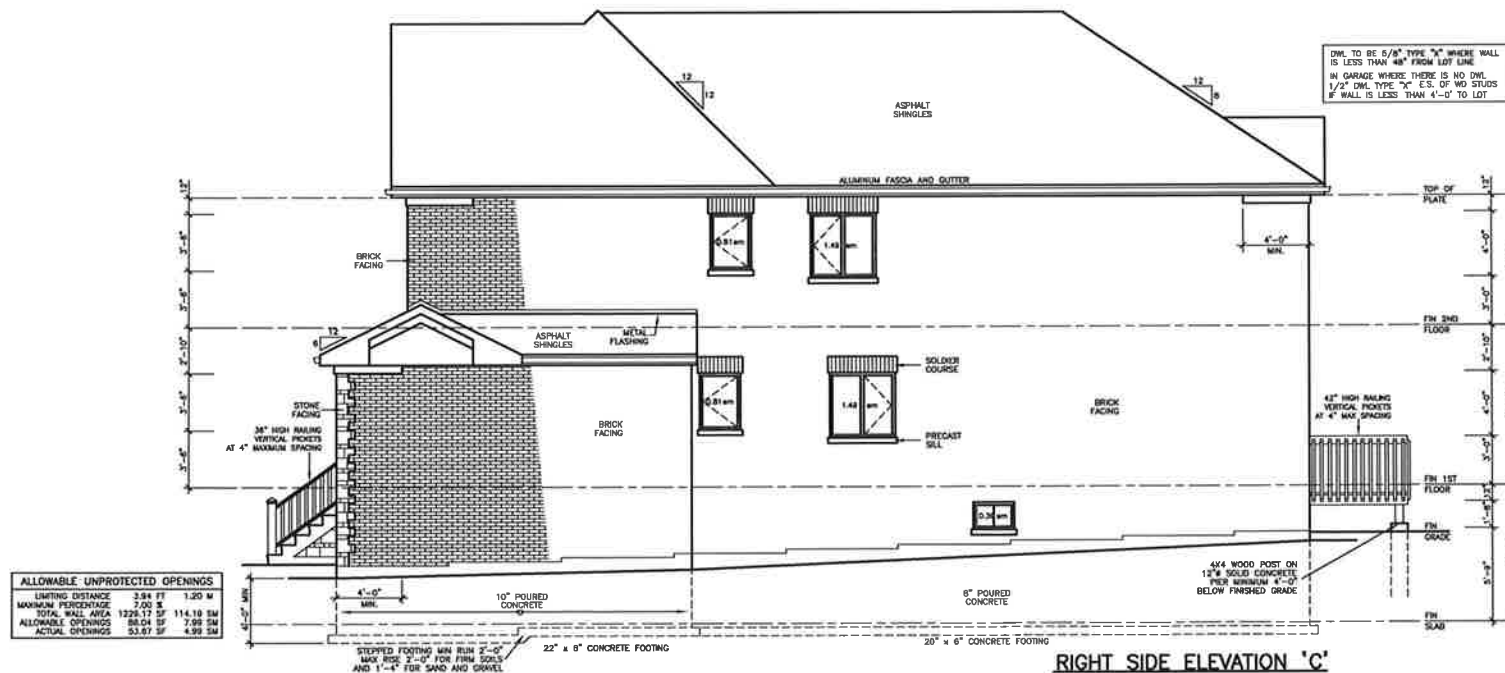
PROJECT
PROPOSED
TWO STOREY DWELLING
FOR: LORMEL HOMES
AT: BRADFORD

DRAWING
FRONT AND LEFT
SIDE ELEVATIONS 'C'

DATE	SEP '20	PROJECT NO.	19-64
DRAWN	N.L.	DRAWING NO.	A-4
CHECKED			
SCALE	3/16"=1'-0"		



REAR ELEVATION 'C'



ALLOWABLE UNPROTECTED OPENINGS		
LIMITING DISTANCE	3.94 FT	1.20 M
MAXIMUM PERCENTAGE	7.00 %	
TOTAL WALL AREA	1229.17 SF	114.10 SA
ALLOWABLE OPENINGS	86.04 SF	7.99 SA
ACTUAL OPENINGS	53.67 SF	4.99 SA

RIGHT SIDE ELEVATION 'C'

[illegible]

Lormer
HOMES



ALL DIMENSIONS & SPECIFICATIONS ARE THE PROPERTY
OF THE ARCHITECT AND CANNOT BE USED OR
REPRODUCED WITHOUT HIS APPROVAL.

THE CONTRACTORS SHALL CHECK AND VERIFY ALL
DIMENSIONS ON THE SITE AND REPORT ANY
DISCREPANCIES TO THE ARCHITECT.

DRAWINGS MUST NOT BE SCALED.

**ARCHITECTURAL
DESIGN INC.**



36 PENNSYLVANIA AVE.
UNIT 1
CONCORD, ONT. L4K 3V8
TEL 905 660-9393
FAX 905 660-9410

LOT 100B
KIMBERLEY
MODEL 3020

PROJECT
PROPOSED
TWO STOREY DWELLING
FOR: LORMEL HOMES
AT: BRADFORD

DRAWING
RIGHT AND REAR
SIDE ELEVATIONS 'C'

DATE	SEP '20	PROJECT NO.	19-6
DRAWN	N.L.	DRAWING NO.	A-5
CHECKED			
SCALE	3/16"=1'-0"		



LIBERTY
KITCHEN CABINETRY

131B CARLAUREN RD., WOODBRIDGE, ONTARIO L4L 8A8
TEL: (905) 856-7678 • FAX: (905) 856-7379
www.libertycustomcabinetry.com

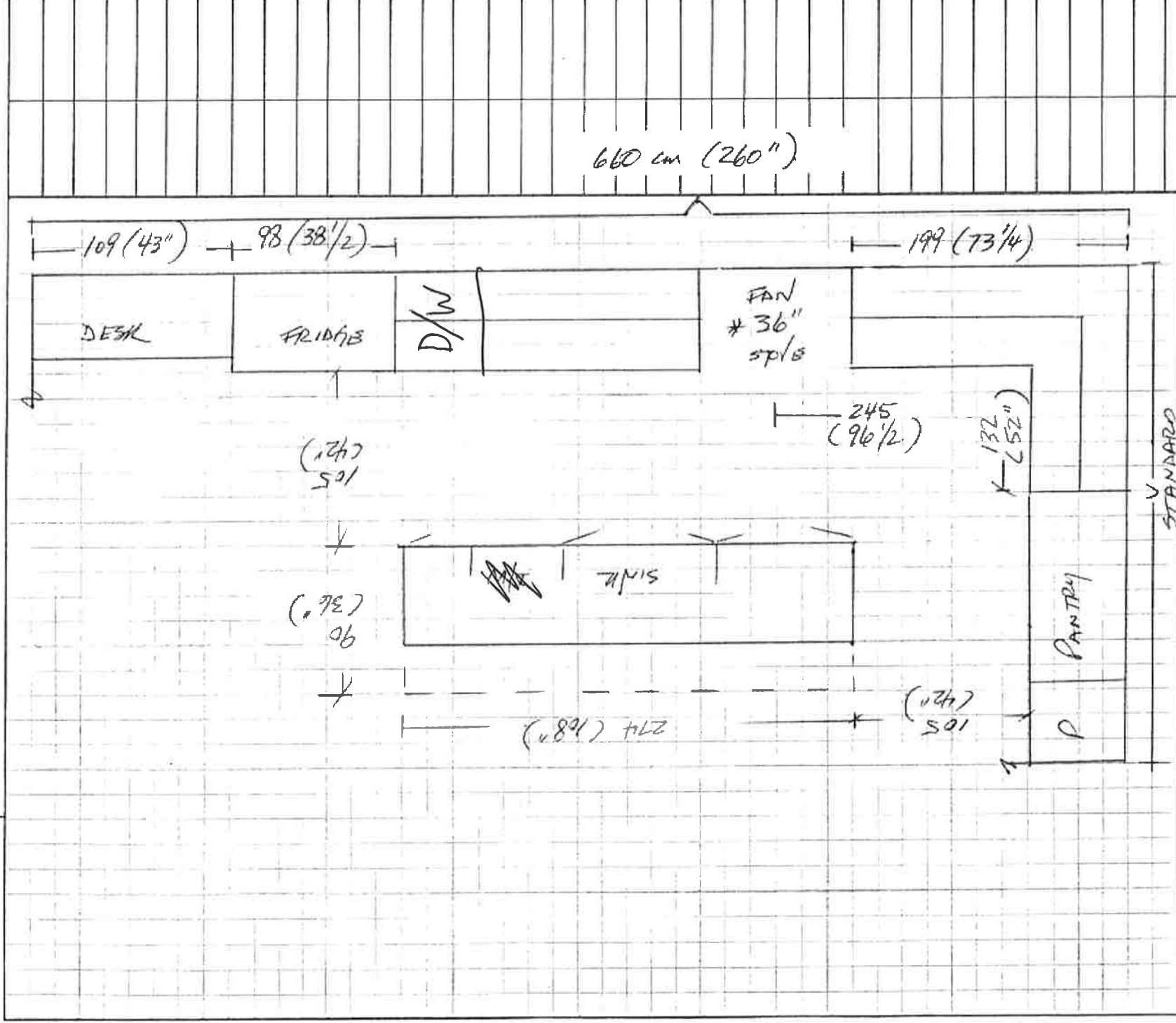
QUOTATION

DATE _____
JOB NO. _____

TO: LOREME

SHIP TO: BRANTFORD

TYPE OF CABINETS:	FINISH OF CABINETS:	HARDWARE:	COUNTERTOP:	INSTALLATION: ☐ WITH ☐ WITHOUT
HOUSE TYPE:	REMARKS:	LOT # <u>100</u>		



All prices subject to confirmation from head office.
Goods delivered shall be checked and inspected on
delivery. We shall not be responsible for any claims or
complaints after this inspection.

All agreements are contingent upon strikes, accidents, and
delays beyond our control.
Please provide our installer with template for sinkholes or
\$100.00 will be charged for callback.

ACCEPTED DATE: _____ TERMS: _____ TOTAL \$ _____
LAYOUT THOROUGHLY EXPLAINED AND FULLY UNDERSTOOD

CUSTOMER SIGNATURE

SALESMAN'S SIGNATURE