

	PLANNING DEPARTMENT COMPLIES WITH ZONING BY-LAW: <b>2010-050</b> DATE REVIEWED: <b>Nov 25, 2020</b> REVIEWED BY: <i>C. DeFeuter</i>	ENGINEERING REVIEW <input checked="" type="checkbox"/> ACCEPTED <input type="checkbox"/> ACCEPTED AS NOTED <input type="checkbox"/> REQUIRES RE-SUBMISSION	THIS PLAN HAS BEEN REVIEWED WITH RESPECT TO GENERAL CONFORMANCE WITH THE OVERALL LOT GRADING PLAN AND OUR APPROVAL OF THIS PLAN FOR NO OTHER REASON. WE ACCEPT NO RESPONSIBILITY FOR THE ACCURACY OF THE ELEVATIONS AND DIMENSIONS PROVIDED BY OTHERS. November 26, 2020 DATE (TOWN OF BRADFORD WEST GWILLIMBURY USE ONLY)																								
	<b>LEGEND</b> [Symbol] SINGLE CATCHBASIN [Symbol] DOUBLE CATCHBASIN [Symbol] SANITARY MH [Symbol] STORM MH [Symbol] SANITARY SERVICE [Symbol] STORM SERVICE [Symbol] WATER SERVICE [Symbol] GAS SERVICE [Symbol] HYDRO SERVICE [Symbol] CABLE SERVICE [Symbol] FLOW DIRECTION * ENGINEERED FILL 000.00 EXISTING ELEVATION 000.00 PROPOSED ELEVATION SW 000.00 SWALE ELEVATION FT FINISHED 1ST FLOOR TWG TOP OF FOUNDATION WALL TWG TOP OF WALL IN GARAGE FS FINISHED SLAB USF U/S FOOTING FUSF FRONT U/S FOOTING SPO SUMP PUMP [Symbol] HYDRANT AND VALVE [Symbol] VALVE AND BOX [Symbol] BELL PEDESTAL [Symbol] CABLE PEDESTAL [Symbol] HYDRO TRANSFORMER [Symbol] LIGHT STANDARD [Symbol] SUPER MAILBOX [Symbol] DOWNSPOUT [Symbol] MUNICIPAL ADDRESS [Symbol] SLOPE 3:1 MAXIMUM [Symbol] FOOTINGS LOWERED FOR 1.22m FROST PROTECTION	<b>STRUCTURE</b> MODEL NAME: KIMBERLEY 3020 C HOUSE STYLE (walkout, bungalow etc): TWO STOREY ADJACENT MODEL: EAST N/A, WEST N/A, NORTH N/A, SOUTH ROSEMOUNT 2800 A FIREBREAK LOT: NO <b>SERVICING CHECK BOX</b> SERVICE YES/NO DEPTH AT P/L INVERT AT P/L WATER YES 1.7 NOTE: CONTRACTOR TO CONFIRM STORM AND SANITARY LATERAL INVERTS PRIOR TO COMMENCEMENT OF CONSTRUCTION.	<b>ZONING INFORMATION</b> ZONE DESIGNATION: R1-2(H1) FRONT YARD SETBACK (m): 6.0, 6.00 FRONT YARD SETBACK (m) OTHER PORTIONS OF DWELLING: 3.0, 6.22 INTERIOR SIDE YARD SETBACK (m): 1.2, 1.50 EXTERIOR SIDE YARD SETBACK (m): 4.2, 10.57 REAR YARD SETBACK (m): 7.5, 11.05 GARAGE INTERIOR WIDTH (m): 5.4, 5.59 GARAGE INTERIOR LENGTH (m): 6.0, 6.10 GARAGE PROJECTION (m): 3.0, 1.88	<b>SITE INFORMATION</b> THIS PLAN IS BASED ON PLAN OF SUBDIVISION OF PART OF LOT 14, CONCESSION 8 GEOGRAPHIC TOWNSHIP OF GWILLIMBURY AND ALL OF BLOCK 131 REGISTERED PLAN 51M-962 TOWN OF BRADFORD WEST GWILLIMBURY COUNTY OF SIMCOE SURVEY PREPARED BY HUNT SURVEYS INC., O.L.S. DATED MAY 11, 2016 THE BUILDER SHALL BE RESPONSIBLE FOR VERIFICATION OF HOUSE TYPE AND FRONT ELEVATION PRIOR TO COMMENCEMENT OF CONSTRUCTION																							
		<b>BENCHMARK:</b> CONCRETE CULVERT UNDER HIGHWAY No. 88, 1.8km WEST OF POST OFFICE, TABLET IN WEST FACE OF CULVERT, 30cm FROM NORTH END, 1.02m BELOW TOP, 11.0m NORTH OF CENTRELINE OF ROAD, 1.2m BELOW ROAD LEVEL, 4.3m SOUTHEAST OF TELEPHONE POLE No. 256-JP, HAVING AN ELEVATION OF 249.431m. <b>ELEVATION: 249.431</b>																									
<b>ARCHITECTURAL DESIGN INC.</b> 56 PENNSYLVANIA AVE. UNIT 1 CONCORD, ONT. L4K 3V9 TEL 905 660-9393 FAX 905 660-9419  LEO ARIENMA LICENCE 7561 ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE ARCHITECT AND CANNOT BE USED OR REPRODUCED WITHOUT HIS APPROVAL. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS ON THE SITE AND REPORT ANY DISCREPANCIES TO THE ARCHITECT. DRAWINGS MUST NOT BE SCALED.	<b>ARCHITECTURAL CONTROL</b> <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Approved as Noted MARTIN ASSOCIATES 266K-2 This approval is for architectural control review only as defined by the applicable Community Control Guidelines and does not constitute compliance or approval of any other purpose. Date: 17.09.2020 DETAIL A: TW 266.80, BW 266.48, TW 266.80, BW 266.42, TW 266.78 CURB STOP TO BE RELOCATED TO A MINIMUM 0.30m AWAY FROM EDGE OF DRIVEWAY AT BUILDER'S EXPENSE																										
<b>PROJECT</b> PROPOSED DWELLING FOR: LORMEL HOMES AT: 264 CHELSEA CRESCENT BRADFORD, ONTARIO THE PROPOSED LOT GRADING IS APPROVED AS BEING IN GENERAL CONFORMITY WITH THE OVERALL APPROVED GRADING PLAN FOR THIS SUBDIVISION. COMPANY NAME: <i>Cole Engineering</i> APPROVED BY: <i>Daniel Ma</i> SIGNATURE: <i>Daniel Ma</i> DATE: <i>Sept. 11, 2020</i>	<b>REVIEWED</b> BUILDING DEPARTMENT REVIEWED BY: <i>Helwin Jhu</i> INSPECTOR: <i>Helwin Jhu</i> PERMIT NO.: PRBD202001452 DATE: Dec. 2, 2020 CONSULTATION INSTRUCTION SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE STATUTORY REGULATIONS. THE REVIEWED DOCUMENTS MUST BE KEPT ON SITE AT ALL TIMES. INSPECTION REQUEST EMAIL: BUILDINGINSPECTIONS@TOWNOFBWG.COM INSPECTION REQUEST FAX: (905) 778-2035 INSPECTION REQUEST TELEPHONE: (905) 778-2055 EXT. 1500																										
	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td>MAX BUILDING HEIGHT: 11.00 m</td> <td>LOT AREA: 797.52 m<sup>2</sup></td> <td>SAN INVERT: 263.21 m</td> </tr> <tr> <td>BUILDING HEIGHT: 8.48 m</td> <td>LOT FRONTAGE: 21.833 m</td> <td>STM INVERT: 263.59 m</td> </tr> <tr> <td>AVERAGE GRADE: 267.06 m</td> <td>LOT COVERAGE: 22.07 %</td> <td>DESIGNED: TP</td> </tr> <tr> <td>4</td> <td></td> <td>DRAWN: TP</td> </tr> <tr> <td>3</td> <td></td> <td>DATE: SEP 2020</td> </tr> <tr> <td>2 REVISED PER COLE ENGINEERING REVIEW</td> <td>SE 08 20</td> <td>SCALE: 1:250</td> </tr> <tr> <td>1 ISSUED</td> <td>SE 01 20</td> <td>PLAN: 51M-1087</td> </tr> <tr> <td>No</td> <td>Revision</td> <td>Date</td> </tr> </table>			MAX BUILDING HEIGHT: 11.00 m	LOT AREA: 797.52 m <sup>2</sup>	SAN INVERT: 263.21 m	BUILDING HEIGHT: 8.48 m	LOT FRONTAGE: 21.833 m	STM INVERT: 263.59 m	AVERAGE GRADE: 267.06 m	LOT COVERAGE: 22.07 %	DESIGNED: TP	4		DRAWN: TP	3		DATE: SEP 2020	2 REVISED PER COLE ENGINEERING REVIEW	SE 08 20	SCALE: 1:250	1 ISSUED	SE 01 20	PLAN: 51M-1087	No	Revision	Date
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