

SITE COPY

	PLANNING DEPARTMENT	ENGINEERING REVIEW	THIS PLAN HAS BEEN REVIEWED WITH RESPECT TO GENERAL CONFORMANCE WITH THE OVERALL LOT GRADING PLAN AND OUR APPROVAL OF THIS PLAN FOR NO OTHER REASON. WE ACCEPT NO RESPONSIBILITY FOR THE ACCURACY OF THE ELEVATIONS AND DIMENSIONS PROVIDED BY OTHERS.
	COMPLIES WITH ZONING BY-LAW: 2010-050	<input checked="" type="checkbox"/> ACCEPTED	
	DATE REVIEWED: Nov 25, 2020	<input type="checkbox"/> ACCEPTED AS NOTED	
	REVIEWED BY: <i>C Cole</i>	<input type="checkbox"/> REQUIRES RE-SUBMISSION	

DATE: **November 26, 2020** REVIEWED BY: *[Signature]*
(TOWN OF BRADFORD WEST GWILLIMBURY USE ONLY)

- ### LEGEND
- SINGLE CATCHBASIN
 - DOUBLE CATCHBASIN
 - SANITARY MH
 - STORM MH
 - SANITARY SERVICE
 - STORM SERVICE
 - WATER SERVICE
 - GAS SERVICE
 - HYDRO SERVICE
 - CABLE SERVICE
 - FLOW DIRECTION
 - * ENGINEERED FILL
 - 000.00 EXISTING ELEVATION
 - 000.00 PROPOSED ELEVATION
 - SW 000.00 SWALE ELEVATION
 - FTT FINISHED 1ST FLOOR
 - TW TOP OF FOUNDATION WALL
 - TWG TOP OF WALL IN GARAGE
 - FS FINISHED SLAB
 - USF U/S FOOTING
 - FUSF FRONT U/S FOOTING
 - SPO SUMP PUMP
 - HYDRANT AND VALVE
 - VALVE AND BOX
 - ⊠ BELL PEDESTAL
 - △ CABLE PEDESTAL
 - ⊞ HYDRO TRANSFORMER
 - ⊙ LIGHT STANDARD
 - ⊞ SUPER MAILBOX
 - ↓ DOWNSPOUT
 - 1234 MUNICIPAL ADDRESS
 - SLOPE 3:1 MAXIMUM
 - FOOTINGS LOWERED FOR 1.22m FROST PROTECTION

STRUCTURE	
MODEL NAME	KIMBERLEY 3020 C
HOUSE STYLE (walkout, bungalow etc.)	TWO STOREY
ADJACENT MODEL	EAST N/A WEST N/A NORTH N/A SOUTH ROSEMOUNT 2800 A
FIREBREAK LOT	NO
SERVICING CHECK BOX	
SERVICE	YES/NO DEPTH AT P/L INVERT AT P/L
WATER	YES 1.7

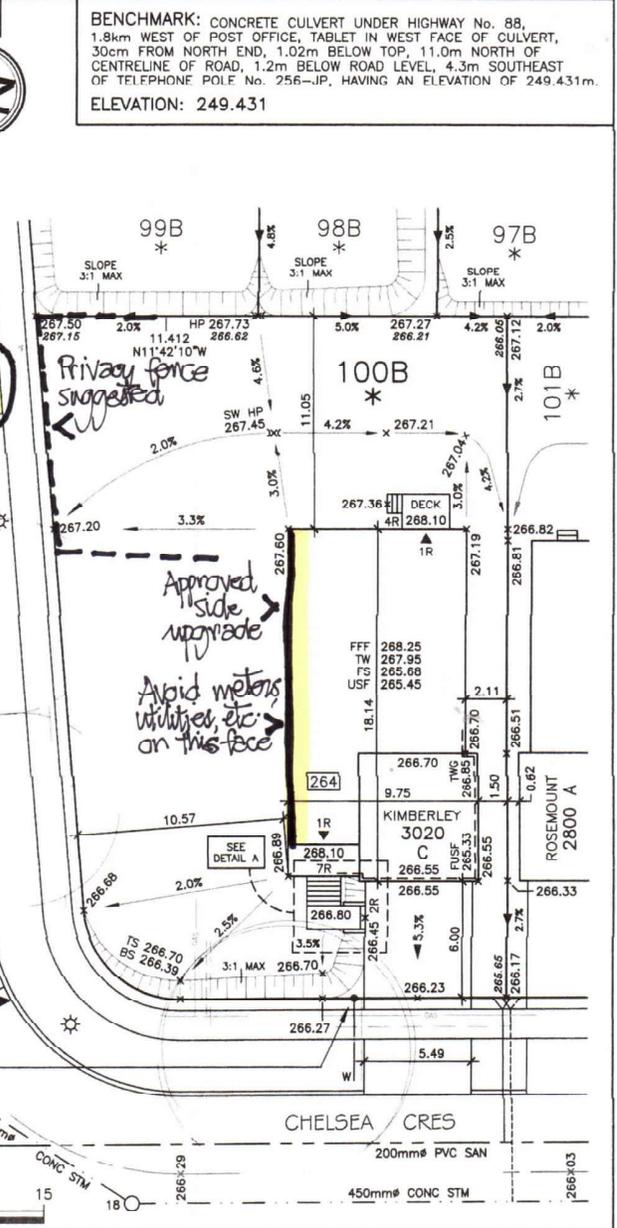
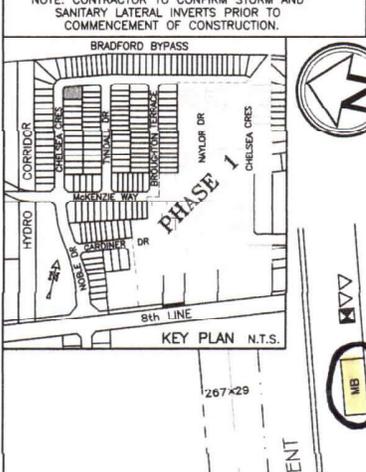
ZONING INFORMATION		PERMITTED	PROVIDED
ZONE DESIGNATION	R1-2(H1)	6.0	6.00
FRONT YARD SETBACK (m)	FRONT FACE OF GARAGE	3.0	6.22
INTERIOR SIDE YARD SETBACK (m)		1.2	1.50
EXTERIOR SIDE YARD SETBACK (m)		4.2	10.57
REAR YARD SETBACK (m)		7.5	11.05
GARAGE INTERIOR WIDTH (m)		5.4	5.59
GARAGE INTERIOR LENGTH (m)		6.0	6.10
GARAGE PROJECTION (m)		3.0	1.88

SITE INFORMATION

THIS PLAN IS BASED ON PART OF SUBDIVISION OF LOT 14, CONCESSION B GEOGRAPHIC TOWNSHIP OF GWILLIMBURY AND ALL OF BLOCK 131 REGISTERED PLAN 51M-962 TOWN OF BRADFORD WEST GWILLIMBURY COUNTY OF SIMCOE

SURVEY PREPARED BY HUNT SURVEYS INC., O.L.S. DATED MAY 11, 2016

THE BUILDER SHALL BE RESPONSIBLE FOR VERIFICATION OF HOUSE TYPE AND FRONT ELEVATION PRIOR TO COMMENCEMENT OF CONSTRUCTION



ARCHITECTURAL DESIGN INC.

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Architect

ONTARIO ASSOCIATION OF ARCHITECTS

LEO ARIENMA
LICENCE 7561

ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE ARCHITECT AND CANNOT BE USED OR REPRODUCED WITHOUT HIS APPROVAL.

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS ON THE SITE AND REPORT ANY DISCREPANCIES TO THE ARCHITECT. DRAWINGS MUST NOT BE SCALED.

PROJECT: PROPOSED DWELLING FOR: LORMEL HOMES AT: 264 CHELSEA CRESCENT BRADFORD, ONTARIO

THE PROPOSED LOT GRADING IS APPROVED AS BEING IN GENERAL CONFORMITY WITH THE OVERALL APPROVED GRADING PLAN FOR THIS SUBDIVISION.

COMPANY NAME: *COLE ENGINEERING*

APPROVED BY: *Daniel Ma*

SIGNATURE: *Daniel Ma*

DATE: *Sept. 11, 2020*

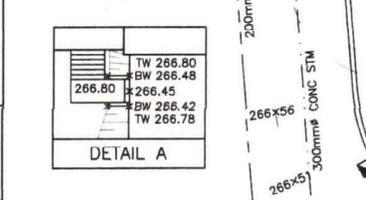
ARCHITECTURAL CONTROL

Approved MARTIN ASSOCIATES 266x2

Approved as Noted

This approval is for architectural control review only as defined by the applicable Community Control Guidelines and does not constitute compliance or approval of any other purpose.

Date: *17.09.2020*



CURB STOP TO BE RELOCATED TO A MINIMUM 0.30m AWAY FROM EDGE OF DRIVEWAY AT BUILDER'S EXPENSE

DEVELOPER: TOWN OF BRADFORD WEST GWILLIMBURY - BUILDING DEPARTMENT

REVIEWED

BUILDER: *[Signature]*

INSPECTOR: *[Signature]*

PERMIT NO.: **PRBD202001452** DATE: **Dec. 2, 2020**

CONSULTOR: CONSTRUCTION SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE STATUTORY REGULATIONS. THE REVIEWED DOCUMENTS MUST BE KEPT ON SITE AT ALL TIMES.

INSPECTION REQUEST EMAIL: BUILDINGINSPECTIONS@TOWNOFBWG.COM
INSPECTION REQUEST FAX: (905) 778-2035
INSPECTION REQUEST TELEPHONE: (905) 778-2055 EXT. 1500

MAX BUILDING HEIGHT: 11.00 m	LOT AREA: 797.52 m ²	SAN INVERT: 263.21 m
BUILDING HEIGHT: 8.48 m	LOT FRONTAGE: 21.833 m	STM INVERT: 263.59 m
AVERAGE GRADE: 267.06 m	LOT COVERAGE: 22.07 %	DESIGNED: TP
4		DRAWN: TP
3		DATE: SEP 2020
2	REVISED PER COLE ENGINEERING REVIEW	SCALE: 1:250
1	ISSUED	PLAN: 51M-1087
No	Revision	Date

SITING & GRADING PLAN

LOT NO: 100
PHASE 2