

ZONING INFORMATION		
ZONE DESIGNATION R2-15	PERMITTED	PROVIDED
LOT AREA (sq m)	335.00	349.88
LOT FRONTAGE (m)	11.500	11.614
FRONT YARD SETBACK TO DWELLING (m)	4.50	6.91
FRONT YARD SETBACK TO GARAGE (m)	6.00	6.00
ONE INTERIOR SIDE YARD SETBACK (m)	0.60	1.25
OTHER INTERIOR SIDE YARD SETBACK (m)	1.20	1.56
REAR YARD SETBACK (m)	6.00	6.98
LOT COVERAGE (%)	40.00	39.69
BUILDING HEIGHT (m)	11.00	8.99
LANDSCAPED OPEN SPACE (%)	30.00	49.72
FRONT YARD LANDSCAPED OPEN SPACE (%)	40.00	54.38

STRUCTURE	
MODEL NO.	FINLAY 2515B
HOUSE STYLE (i.e. walkout, bungalow etc.)	2 STOREY WALKOUT
ADJACENT MODEL	EAST KAHSHE 3000B
	WEST MANITOU 2480A
	NORTH N/A
	SOUTH CARLYLE 2950A
FIREBREAK LOT	NO

LEGEND	
	SINGLE CATCHBASIN
	DOUBLE CATCHBASIN
	SANITARY MH
	STORM MH
	SANITARY SERVICE CONNECTION
	STORM SERVICE CONNECTION
	WATER SERVICE CONNECTION
	FLOW DIRECTION
	ROOF DRAIN
	ENGINEERED FILL
000.00	EXISTING ELEVATION
000.00	PROPOSED ELEVATION
FFF	FINISHED 1ST FLOOR
TW	TOP OF FOUNDATION WALL
FSU	FINISHED SLAB, UPPER LEVEL
FSL	FINISHED SLAB, LOWER LEVEL
USF	U/S FOOTING
FUSF	FRONT U/S FOOTING
RUSF	REAR U/S FOOTING
USFG	U/S FOOTING GARAGE
	VALVE AND BOX
	HYDRANT AND VALVE
	BELL PEDESTAL
	CABLE PEDESTAL
	UNDERGROUND PEDESTAL
	HYDRO TRANSFORMER
	STREETLIGHT
	STREETLIGHT PEDESTAL
	HYDRO SERVICE CONNECTION
	SUPER MAILBOX
	MUNICIPAL ADDRESS
	SLOPE 3:1 MAXIMUM
	FOOTINGS LOWERED TO MAINTAIN 1.22m FROST PROTECTION

GENERAL NOTES
ALL SLOPES TO BE 3:1 MAX
THE BUILDER SHALL BE RESPONSIBLE FOR THE VERIFICATION OF HOUSE TYPE AND ELEVATION, PRIOR TO COMMENCEMENT OF CONSTRUCTION

BENCHMARK
ELEVATION: 286.399
ELEVATION IS BASED ON BENCHMARK No. 0011931U463S HAVING AN ELEVATION OF 286.399 METRES. LOCATION: TOWNSHIP OF CHURCHILL UNITED CHURCH, TABLET IN NORTH STONE FOUNDATION WALL OF TOWER, 23cm FROM NORTHWEST CORNER AND 1.62m BELOW BRICKWORK.

ARCHITECTURAL DESIGN INC.
56 PENNSYLVANIA AVE. UNIT 1 CONCORD, ONTARIO L4K 3V9 TEL 905 660-9393 FAX 905 660-9419 adci@bellnet.ca

SERVICING CHECK BOX					
WATER SERVICE AT P/L		SANITARY SERVICE AT P/L		STORM SERVICE AT P/L	
DEPTH	INVERT	DEPTH	INVERT	DEPTH	INVERT
Min 1.70	Min 245.49	2.805	244.405	2.73	244.48

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THE ARCHITECTURAL PORTION OF THIS PLAN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

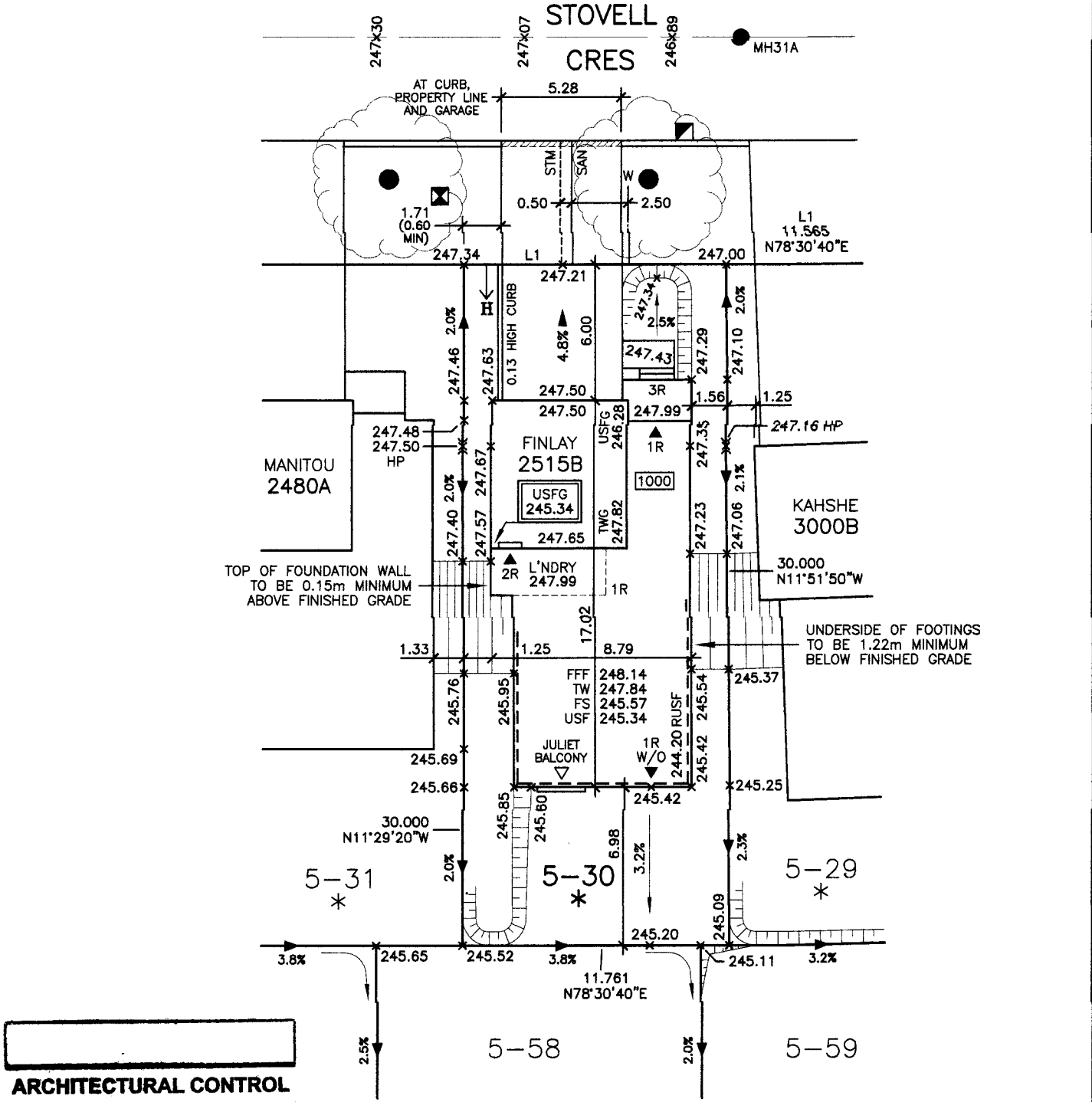
QUALIFICATION INFORMATION

LEO ARIEMMA 7561

NAME SIGNATURE LICENCE NUMBER

THIS IS AN ENGINEERED FILL LOT.
* THE SUITABILITY OF THE FOUNDATION SOIL IS TO BE CONFIRMED BY A GEOTECHNICAL ENGINEER.

KEY PLAN
11.6 m 38 foot LOT



ARCHITECTURAL CONTROL
<input checked="" type="checkbox"/> Approved
<input type="checkbox"/> Approved as Noted
MARTIN ASSOCIATES
This approval is for architectural control review only as defined by the applicable Community Control Guidelines and does not constitute compliance or approval for any other purposes.
Date: 30-11-2021

LICENSED PROFESSIONAL ENGINEER
ISSUED
NO. 24 21
REVISIONS
DATE
INITIAL

ARCHITECTURAL DESIGN INC.
56 PENNSYLVANIA AVE. UNIT 1 CONCORD, ONTARIO L4K 3V9 TEL 905 660-9393 FAX 905 660-9419 adci@bellnet.ca

ARCHITECTURAL ASSOCIATION OF ONTARIO
LEO ARIEMMA LICENCE 7561
ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE ARCHITECT AND CANNOT BE USED OR REPRODUCED WITHOUT HIS APPROVAL
THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS ON THE SITE AND REPORT ANY DISCREPANCIES TO THE ARCHITECT
DRAWINGS MUST NOT BE SCALED

STOVELL CRESCENT
LOT 30, PLAN 51M-1169 PHASE 5, STAGE BELLAIRE PROPERTIES INC. PARCEL P1 - LEFROY TOWN OF INNISFIL
SCALE: 1:250 DATE: NOV 2021 DRAWN: T.P. DESIGNED: T.P.
DRAWING No: A-1

ZONING INFORMATION		
ZONE DESIGNATION R2-15	PERMITTED	PROVIDED
LOT AREA (sq m)	335.00	348.00
LOT FRONTAGE (m)	11.500	11.600
FRONT YARD SETBACK TO DWELLING (m)	4.50	6.56
FRONT YARD SETBACK TO GARAGE (m)	6.00	6.00
ONE INTERIOR SIDE YARD SETBACK (m)	0.60	0.72
OTHER INTERIOR SIDE YARD SETBACK (m)	1.20	1.33
REAR YARD SETBACK (m)	6.00	8.66
LOT COVERAGE (%)	40.00	39.89
BUILDING HEIGHT (m)	11.00	8.86
LANDSCAPED OPEN SPACE (%)	30.00	49.67
FRONT YARD LANDSCAPED OPEN SPACE (%)	40.00	54.46

STRUCTURE	
MODEL NO.	MANITOU 2480A
HOUSE STYLE (i.e. walkout, bungalow etc.)	2 STOREY WALKOUT
ADJACENT MODEL	EAST FINLAY 2515B
	WEST FINLAY 2515B
	NORTH N/A
	SOUTH KAHSE 3000A
FIREBREAK LOT	NO

LEGEND	
	SINGLE CATCHBASIN
	DOUBLE CATCHBASIN
	SANITARY MH
	STORM MH
	SANITARY SERVICE CONNECTION
	STORM SERVICE CONNECTION
	WATER SERVICE CONNECTION
	FLOW DIRECTION
	ROOF DRAIN
	ENGINEERED FILL
000.00	EXISTING ELEVATION
000.00	PROPOSED ELEVATION
FFF	FINISHED 1ST FLOOR
TW	TOP OF FOUNDATION WALL
FSU	FINISHED SLAB, UPPER LEVEL
FSL	FINISHED SLAB, LOWER LEVEL
USF	U/S FOOTING
FUSF	FRONT U/S FOOTING
RUSF	REAR U/S FOOTING
USFG	U/S FOOTING GARAGE
	VALVE AND BOX
	HYDRANT AND VALVE
	BELL PEDESTAL
	CABLE PEDESTAL
	UNDERGROUND PEDESTAL
	HYDRO TRANSFORMER
	STREETLIGHT
	STREETLIGHT PEDESTAL
	HYDRO SERVICE CONNECTION
	SUPER MAILBOX
	MUNICIPAL ADDRESS
	SLOPE 3:1 MAXIMUM
	FOOTINGS LOWERED TO MAINTAIN 1.22m FROST PROTECTION

GENERAL NOTES
ALL SLOPES TO BE 3:1 MAX
THE BUILDER SHALL BE RESPONSIBLE FOR THE VERIFICATION OF HOUSE TYPE AND ELEVATION, PRIOR TO COMMENCEMENT OF CONSTRUCTION

BENCHMARK
ELEVATION: 286.399
ELEVATION IS BASED ON BENCHMARK No. 0011931U463S HAVING AN ELEVATION OF 286.399 METRES. LOCATION: TOWNSHIP OF CHURCHILL UNITED CHURCH, TABLET IN NORTH STONE FOUNDATION WALL OF TOWER, 23cm FROM NORTHWEST CORNER AND 1.62m BELOW BRICKWORK.

ARCHITECTURAL DESIGN INC.
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SERVICING CHECK BOX					
WATER SERVICE AT P/L		SANITARY SERVICE AT P/L		STORM SERVICE AT P/L	
DEPTH	INVERT	DEPTH	INVERT	DEPTH	INVERT
Min 1.70	Min 245.88	2.875	244.755	2.79	244.84

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THE ARCHITECTURAL PORTION OF THIS PLAN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

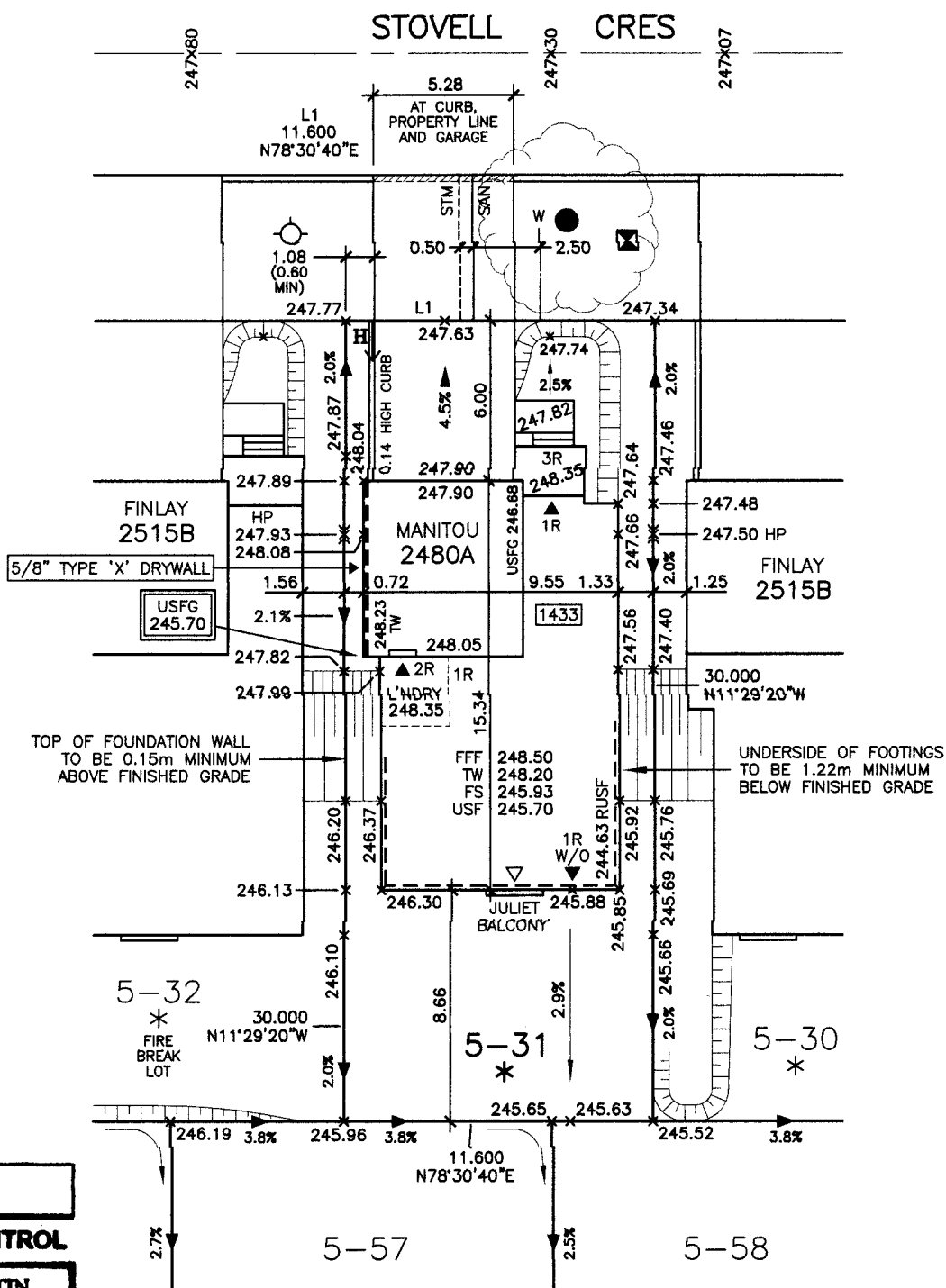
LEO ARIEMMA 7561

NAME SIGNATURE LICENCE NUMBER

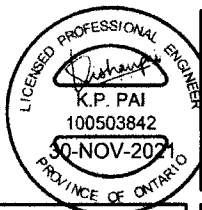
THIS IS AN ENGINEERED FILL LOT.

* THE SUITABILITY OF THE FOUNDATION SOIL IS TO BE CONFIRMED BY A GEOTECHNICAL ENGINEER.

KEY PLAN
11.6 m 38 foot LOT



ARCHITECTURAL CONTROL	
<input checked="" type="checkbox"/> Approved	MARTIN ASSOCIATES
<input type="checkbox"/> Approved as Noted	
This approval is for architectural control review only as defined by the applicable Community Control Guidelines and does not constitute compliance or approval for any other purpose.	
Date: 30-11-2021	



NO.	REVISIONS	DATE	INITIAL
1	MODEL WAS SUPERIOR 3615B	NO 24 21	TP
-	ISSUED	SE 01 21	TP

ONTARIO ASSOCIATION OF ARCHITECTS
LEO ARIEMMA LICENCE 7561
ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE ARCHITECT AND CANNOT BE USED OR REPRODUCED WITHOUT HIS APPROVAL
THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS ON THE SITE AND REPORT ANY DISCREPANCIES TO THE ARCHITECT
DRAWINGS MUST NOT BE SCALED

THE PROPOSED LOT GRADING IS APPROVED AS BEING IN GENERAL CONFORMITY WITH THE OVERALL APPROVED GRADING PLAN FOR THIS SUBDIVISION.
COMPANY NAME: IBI Group
APPROVED BY: Kishan Pai
SIGNATURE: Kishan Pai
DATE: 30-NOV-2021

STOVELL CRESCENT LOT 31, PLAN 51M-1169 PHASE 5, STAGE BELLAIRE PROPERTIES INC. PARCEL P1 - LEFROY TOWN OF INNISFIL
SCALE: 1:250 DATE: SEP 2021 DRAWN: T.P. DESIGNED: T.P.
DRAWING No: A-1

ZONING INFORMATION		
ZONE DESIGNATION R2-15	PERMITTED	PROVIDED
LOT AREA (sq m)	335.00	348.00
LOT FRONTAGE (m)	11.500	11.600
FRONT YARD SETBACK TO DWELLING (m)	4.50	6.91
FRONT YARD SETBACK TO GARAGE (m)	6.00	6.00
ONE INTERIOR SIDE YARD SETBACK (m)	0.60	1.25
OTHER INTERIOR SIDE YARD SETBACK (m)	1.20	1.56
REAR YARD SETBACK (m)	6.00	6.98
LOT COVERAGE (%)	40.00	39.91
BUILDING HEIGHT (m)	11.00	9.05
LANDSCAPED OPEN SPACE (%)	30.00	49.45
FRONT YARD LANDSCAPED OPEN SPACE (%)	40.00	54.45

STRUCTURE	
MODEL NO.	FINLAY 2515B
HOUSE STYLE (i.e. walkout, bungalow etc.)	2 STOREY
ADJACENT MODEL	EAST MANITOU 2480A
	WEST FRASER 2250B
	NORTH BUCKHORN 1800B
	SOUTH N/A
FIREBREAK LOT	YES

LEGEND	
	SINGLE CATCHBASIN
	DOUBLE CATCHBASIN
	SANITARY MH
	STORM MH
	SANITARY SERVICE CONNECTION
	STORM SERVICE CONNECTION
	WATER SERVICE CONNECTION
	FLOW DIRECTION
	ROOF DRAIN
	ENGINEERED FILL
000.00	EXISTING ELEVATION
000.00	PROPOSED ELEVATION
FFF	FINISHED 1ST FLOOR
TW	TOP OF FOUNDATION WALL
FS	FINISHED SLAB
USF	U/S FOOTING
RUSF	REAR U/S FOOTING
TWG	TOP OF GARAGE FOUNDATION WALL
USFG	U/S FOOTING GARAGE
	SUMP PUMP
	VALVE AND BOX
	HYDRANT AND VALVE
	BELL PEDESTAL
	CABLE PEDESTAL
	UNDERGROUND PEDESTAL
	HYDRO TRANSFORMER
	STREETLIGHT
	STREETLIGHT PEDESTAL
	HYDRO SERVICE CONNECTION
	SUPER MAILBOX
	MUNICIPAL ADDRESS
	SLOPE 3:1 MAXIMUM
	FOOTINGS LOWERED TO MAINTAIN 1.22m FROST PROTECTION

GENERAL NOTES
ALL SLOPES TO BE 3:1 MAX
THE BUILDER SHALL BE RESPONSIBLE FOR THE VERIFICATION OF HOUSE TYPE AND ELEVATION, PRIOR TO COMMENCEMENT OF CONSTRUCTION

BENCHMARK
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ELEVATION IS BASED ON BENCHMARK No. 0011931U463S HAVING AN ELEVATION OF 286.399 METRES. LOCATION: TOWNSHIP OF CHURCHILL UNITED CHURCH, TABLET IN NORTH STONE FOUNDATION WALL OF TOWER, 23cm FROM NORTHWEST CORNER AND 1.62m BELOW BRICKWORK.

ARCHITECTURAL DESIGN INC.
56 PENNSYLVANIA AVE. UNIT 1 CONCORD, ONTARIO L4K 3V9 TEL 905 660-9393 FAX 905 660-9419 adci@bellnet.ca

SERVICING CHECK BOX					
WATER SERVICE AT P/L		SANITARY SERVICE AT P/L		STORM SERVICE AT P/L	
DEPTH	INVERT	DEPTH	INVERT	DEPTH	INVERT
Min 1.70	Min 246.32	2.815	245.225	2.72	245.32

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THE ARCHITECTURAL PORTION OF THIS PLAN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

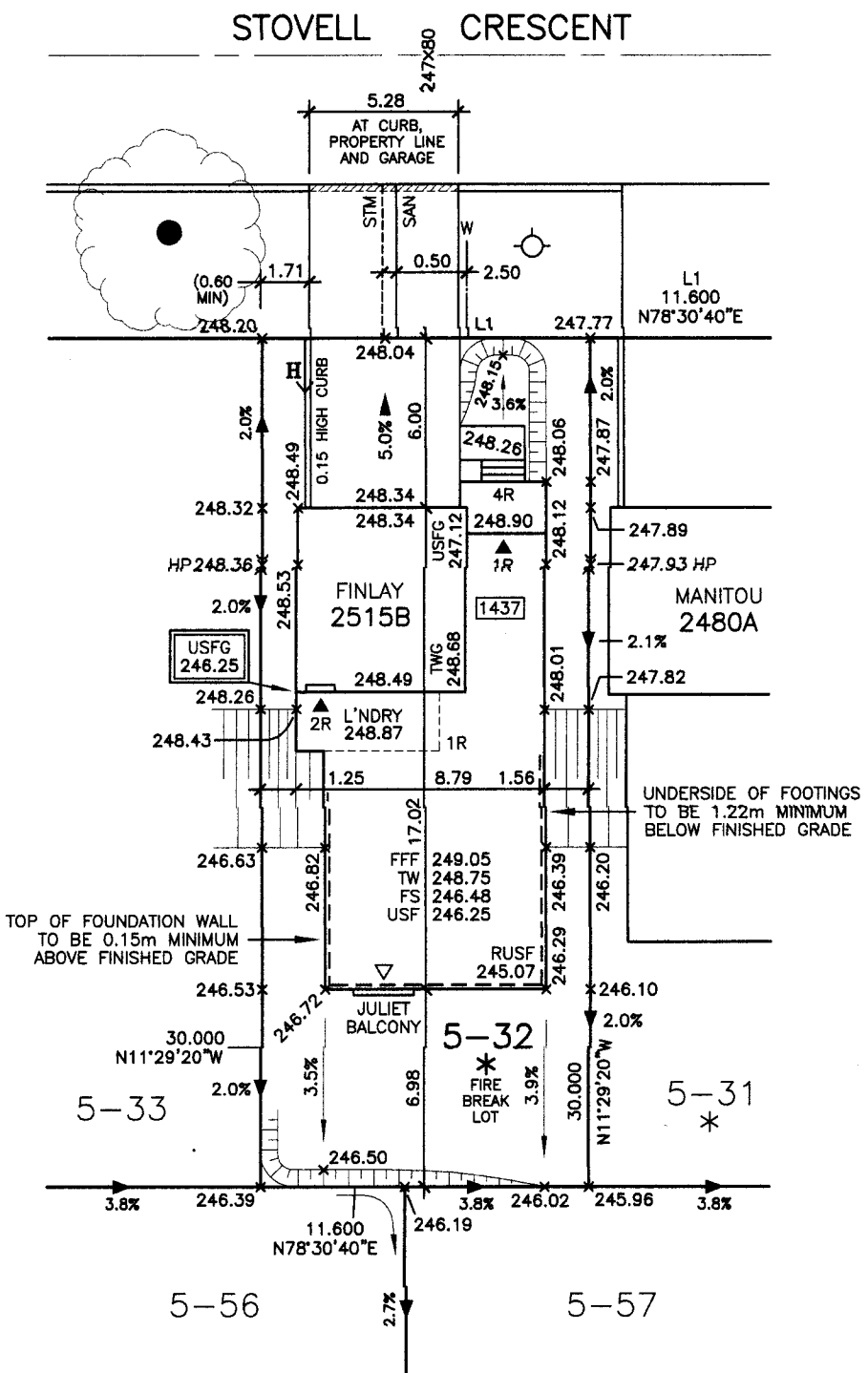
QUALIFICATION INFORMATION

LEO ARIEMMA 7561

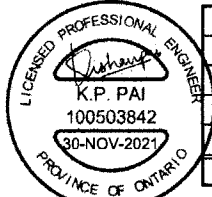
NAME SIGNATURE LICENCE NUMBER

THIS IS AN ENGINEERED FILL LOT.
* THE SUITABILITY OF THE FOUNDATION SOIL IS TO BE CONFIRMED BY A GEOTECHNICAL ENGINEER.

KEY PLAN
11.6 m 38 foot LOT



ARCHITECTURAL CONTROL	
<input checked="" type="checkbox"/> Approved	MARTIN ASSOCIATES
<input type="checkbox"/> Approved as Noted	
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Date:	30-11-2021



NO.	REVISIONS	DATE	INITIAL
1	ISSUED	NO 26 21	TP

ONTARIO ASSOCIATION OF ARCHITECTS
LEO ARIEMMA LICENCE 7561
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DRAWINGS MUST NOT BE SCALED

THE PROPOSED LOT GRADING IS APPROVED AS BEING IN GENERAL CONFORMITY WITH THE OVERALL APPROVED GRADING PLAN FOR THIS SUBDIVISION.
COMPANY NAME: IBI Group
APPROVED BY: Kishan Pai
SIGNATURE: Kishan Pai
DATE: 30-NOV-2021

STOVELL CRESCENT LOT 32, PLAN 51M-1169 PHASE 5, STAGE BELLAIRE PROPERTIES INC. PARCEL P1 - LEFROY TOWN OF INNISFIL
SCALE: 1:250 DATE: NOV 2021 DRAWN: T.P. DESIGNED: T.P.
DRAWING No: A-1

ZONING INFORMATION		
ZONE DESIGNATION R2-15	PERMITTED	PROVIDED
LOT AREA (sq m)	335.00	348.00
LOT FRONTAGE (m)	11.500	11.600
FRONT YARD SETBACK TO DWELLING (m)	4.50	6.97
FRONT YARD SETBACK TO GARAGE (m)	6.00	6.00
ONE INTERIOR SIDE YARD SETBACK (m)	0.60	0.75
OTHER INTERIOR SIDE YARD SETBACK (m)	1.20	1.35
REAR YARD SETBACK (m)	6.00	9.01
LOT COVERAGE (%)	40.00	37.61
BUILDING HEIGHT (m)	11.00	8.60
LANDSCAPED OPEN SPACE (%)	30.00	50.30
FRONT YARD LANDSCAPED OPEN SPACE (%)	40.00	54.76

STRUCTURE	
MODEL NO.	FRASER 2250B
HOUSE STYLE (i.e. walkout, bungalow etc.)	2 STOREY WALKOUT
ADJACENT MODEL	EAST FINLAY 2515B
	WEST MANITOU 2480B
	NORTH N/A
	SOUTH KAHSHI 3000B
FIREBREAK LOT	NO

LEGEND	
	SINGLE CATCHBASIN
	DOUBLE CATCHBASIN
	SANITARY MH
	STORM MH
	SANITARY SERVICE CONNECTION
	STORM SERVICE CONNECTION
	WATER SERVICE CONNECTION
	FLOW DIRECTION
	ROOF DRAIN
	ENGINEERED FILL
000.00	EXISTING ELEVATION
000.00	PROPOSED ELEVATION
FFF	FINISHED 1ST FLOOR
TW	TOP OF FOUNDATION WALL
FSU	FINISHED SLAB, UPPER LEVEL
FSL	FINISHED SLAB, LOWER LEVEL
USF	U/S FOOTING
FUSF	FRONT U/S FOOTING
RUSF	REAR U/S FOOTING
USFG	U/S FOOTING GARAGE
	VALVE AND BOX
	HYDRANT AND VALVE
	BELL PEDESTAL
	CABLE PEDESTAL
	UNDERGROUND PEDESTAL
	HYDRO TRANSFORMER
	STREETLIGHT
	STREETLIGHT PEDESTAL
	HYDRO SERVICE CONNECTION
	SUPER MAILBOX
	MUNICIPAL ADDRESS
	SLOPE 3:1 MAXIMUM
	FOOTINGS LOWERED TO MAINTAIN 1.22m FROST PROTECTION

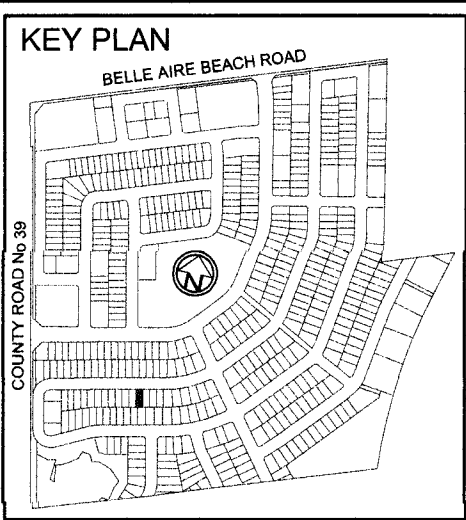
GENERAL NOTES	
ALL SLOPES TO BE 3:1 MAX	
THE BUILDER SHALL BE RESPONSIBLE FOR THE VERIFICATION OF HOUSE TYPE AND ELEVATION, PRIOR TO COMMENCEMENT OF CONSTRUCTION	

BENCHMARK	
ELEVATION: 286.399	
ELEVATION IS BASED ON BENCHMARK NO. 0011931U463S HAVING AN ELEVATION OF 286.399 METRES. LOCATION: TOWNSHIP OF CHURCHILL UNITED CHURCH, TABLET IN NORTH STONE FOUNDATION WALL OF TOWER, 23cm FROM NORTHWEST CORNER AND 1.62m BELOW BRICKWORK.	

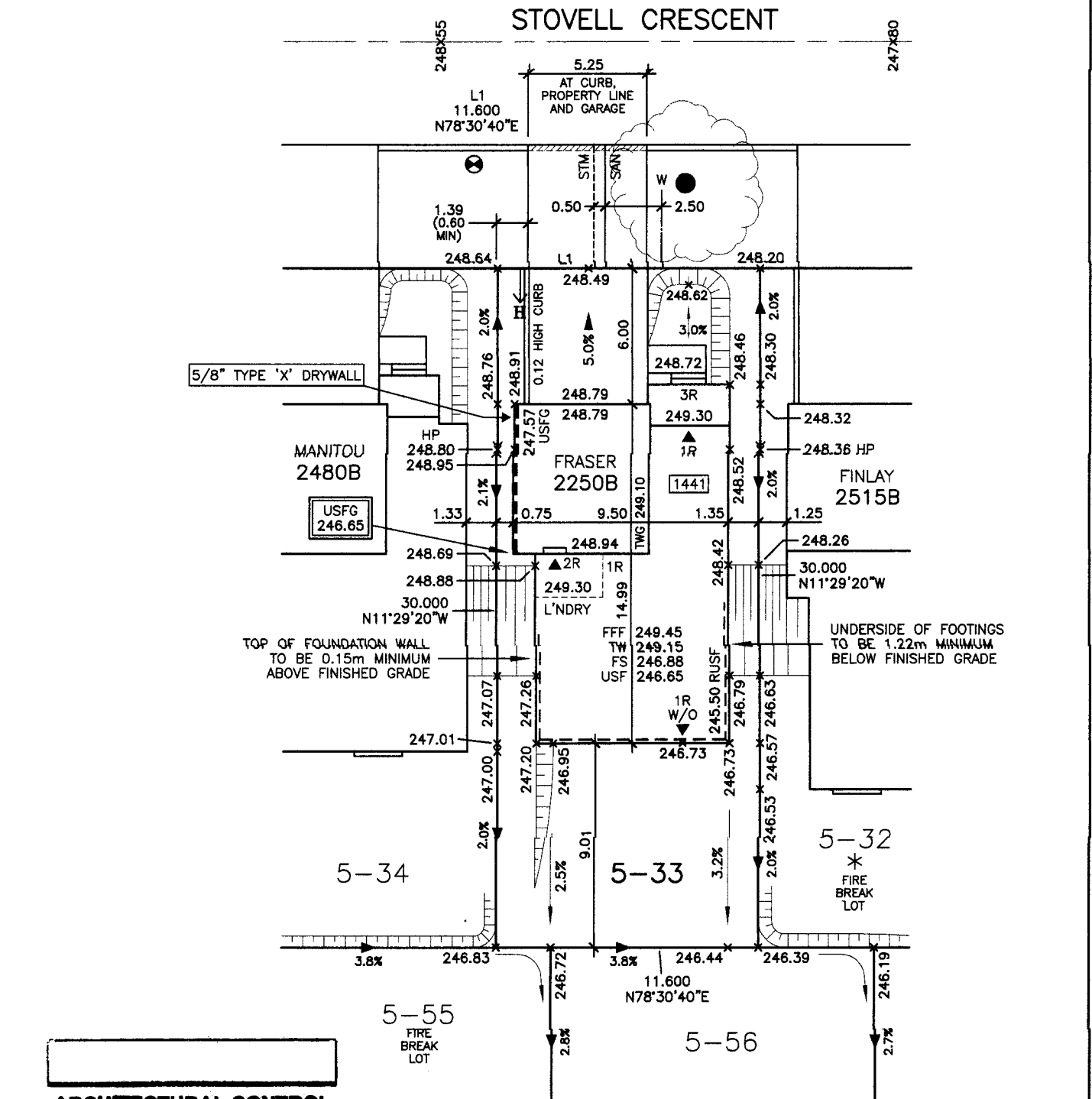
ARCHITECTURAL DESIGN INC.	
56 PENNSYLVANIA AVE. UNIT 1 CONCORD, ONTARIO L4K 3V9 TEL 905 660-9393 FAX 905 660-9419 adci@bellnet.ca	

SERVICING CHECK BOX					
WATER SERVICE AT P/L		SANITARY SERVICE AT P/L		STORM SERVICE AT P/L	
DEPTH	INVERT	DEPTH	INVERT	DEPTH	INVERT
Min 1.70	Min 246.75	2.795	245.695	2.72	245.77

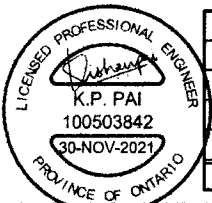
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QUALIFICATION INFORMATION		
LEO ARIEMMA		7561
NAME	SIGNATURE	LICENCE NUMBER



11.6 m
38 foot
LOT



ARCHITECTURAL CONTROL	
<input checked="" type="checkbox"/> Approved	MARTIN ASSOCIATES
<input type="checkbox"/> Approved as Noted	
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Date: 30-11-2021	



ISSUED		NO 29 21	TP
NO.	REVISIONS	DATE	INITIAL

ONTARIO ASSOCIATION OF ARCHITECTS	
LEO ARIEMMA LICENCE 7561	
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COMPANY NAME: IBI Group	
APPROVED BY: Kishan Pai	
SIGNATURE: Kishan Pai	
DATE: 30-NOV-2021	

STOVELL CRESCENT LOT 33, PLAN 51M-1169 PHASE 5, STAGE BELLAIRE PROPERTIES INC. PARCEL P1 - LEFROY TOWN OF INNISFIL	
SCALE: 1:250 DATE: NOV 2021 DRAWN: T.P. DESIGNED: T.P.	DRAWING No: A-1

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FRONT YARD SETBACK TO GARAGE (m)	6.00	6.00
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OTHER INTERIOR SIDE YARD SETBACK (m)	1.20	1.35
REAR YARD SETBACK (m)	6.00	9.01
LOT COVERAGE (%)	40.00	37.61
BUILDING HEIGHT (m)	11.00	9.17
LANDSCAPED OPEN SPACE (%)	30.00	50.30
FRONT YARD LANDSCAPED OPEN SPACE (%)	40.00	54.76

STRUCTURE	
MODEL NO.	FRASER 2250B
HOUSE STYLE (i.e. walkout, bungalow etc.)	2 STOREY
ADJACENT MODEL	EAST MANITOU 2480B
	WEST FINLAY 2515A
	NORTH BUCKHORN 1800A
	SOUTH BUCKHORN 1800B
FIREBREAK LOT	NO

LEGEND	
	SINGLE CATCHBASIN
	DOUBLE CATCHBASIN
	SANITARY MH
	STORM MH
	SANITARY SERVICE CONNECTION
	STORM SERVICE CONNECTION
	WATER SERVICE CONNECTION
	FLOW DIRECTION
	ROOF DRAIN
	ENGINEERED FILL
000.00	EXISTING ELEVATION
000.00	PROPOSED ELEVATION
FFF	FINISHED 1ST FLOOR
TW	TOP OF FOUNDATION WALL
FS	FINISHED SLAB
USF	U/S FOOTING
RUSF	REAR U/S FOOTING
TWG	TOP OF GARAGE FOUNDATION WALL
USFG	U/S FOOTING GARAGE
	SUMP PUMP
	VALVE AND BOX
	HYDRANT AND VALVE
	BELL PEDESTAL
	CABLE PEDESTAL
	UNDERGROUND PEDESTAL
	HYDRO TRANSFORMER
	STREETLIGHT
	STREETLIGHT PEDESTAL
	HYDRO SERVICE CONNECTION
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	MUNICIPAL ADDRESS
	SLOPE 3:1 MAXIMUM
	FOOTINGS LOWERED TO MAINTAIN 1.22m FROST PROTECTION

GENERAL NOTES	
ALL SLOPES TO BE 3:1 MAX	
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ELEVATION: 286.399	
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ARCHITECTURAL DESIGN INC.	
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SERVICING CHECK BOX					
WATER SERVICE AT P/L		SANITARY SERVICE AT P/L		STORM SERVICE AT P/L	
DEPTH	INVERT	DEPTH	INVERT	DEPTH	INVERT
Min 1.70	Min 248.88	1.875	248.785	1.83	248.83

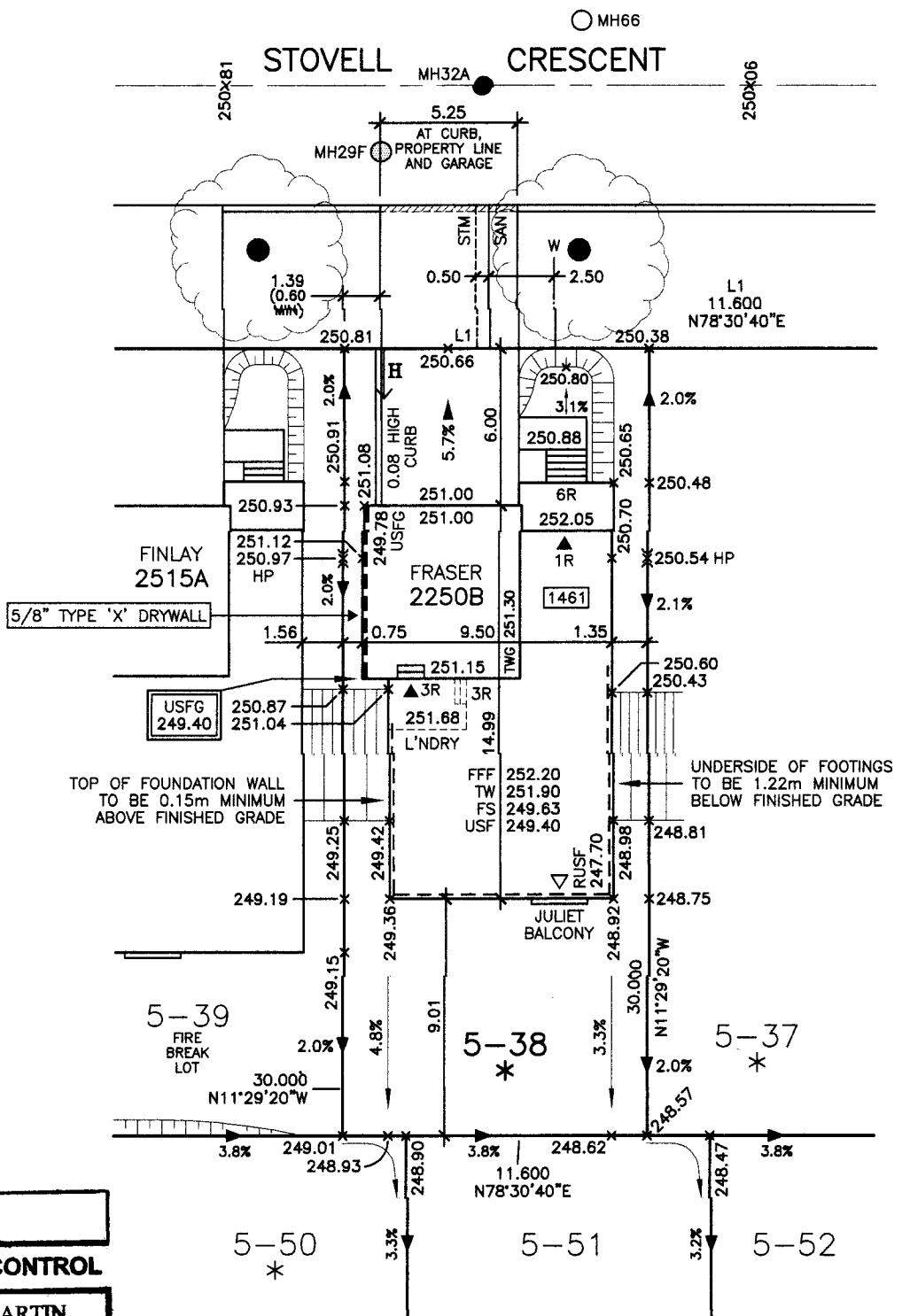
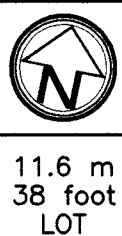
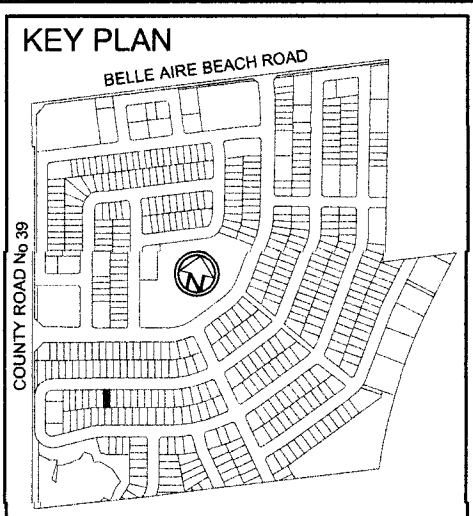
THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THE ARCHITECTURAL PORTION OF THIS PLAN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

LEO ARIEMMA 7561

NAME SIGNATURE LICENCE NUMBER

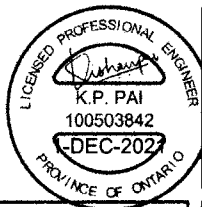
THIS IS AN ENGINEERED FILL LOT.
* THE SUITABILITY OF THE FOUNDATION SOIL IS TO BE CONFIRMED BY A GEOTECHNICAL ENGINEER.



ARCHITECTURAL CONTROL	
<input checked="" type="checkbox"/> Approved	MARTIN ASSOCIATES
<input type="checkbox"/> Approved as Noted	

This approval is for architectural control review only as defined by the applicable Community Control Guidelines and does not constitute compliance or approval for any other purposes.

01-Dec-2021



NO.	REVISIONS	DATE	INITIAL
1	REVISED PER IBI GROUP REVIEW	NO 30 21	TP
-	ISSUED	NO 29 21	TP

ONTARIO ASSOCIATION OF ARCHITECTS	
LEO ARIEMMA LICENCE 7561	
ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE ARCHITECT AND CANNOT BE USED OR REPRODUCED WITHOUT HIS APPROVAL	
THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS ON THE SITE AND REPORT ANY DISCREPANCIES TO THE ARCHITECT	
DRAWINGS MUST NOT BE SCALED	

THE PROPOSED LOT GRADING IS APPROVED AS BEING IN GENERAL CONFORMITY WITH THE OVERALL APPROVED GRADING PLAN FOR THIS SUBDIVISION.	
COMPANY NAME:	IBI Group
APPROVED BY:	Kishan Pai
SIGNATURE:	Kishan Pai
DATE:	1-DEC-2021

STOVELL CRESCENT LOT 38, PLAN 51M-1169 PHASE 5, STAGE BELLAIRE PROPERTIES INC. PARCEL P1 - LEFROY TOWN OF INNISFIL	
SCALE: 1:250 DATE: NOV 2021 DRAWN: T.P. DESIGNED: T.P.	DRAWING No: A-1

ZONING INFORMATION		
ZONE DESIGNATION R2-15	PERMITTED	PROVIDED
LOT AREA (sq m)	335.00	348.00
LOT FRONTAGE (m)	11.500	11.600
FRONT YARD SETBACK TO DWELLING (m)	4.50	6.91
FRONT YARD SETBACK TO GARAGE (m)	6.00	6.00
ONE INTERIOR SIDE YARD SETBACK (m)	0.60	1.25
OTHER INTERIOR SIDE YARD SETBACK (m)	1.20	1.56
REAR YARD SETBACK (m)	6.00	6.98
LOT COVERAGE (%)	40.00	39.91
BUILDING HEIGHT (m)	11.00	9.35
LANDSCAPED OPEN SPACE (%)	30.00	49.45
FRONT YARD LANDSCAPED OPEN SPACE (%)	40.00	54.45

STRUCTURE	
MODEL NO.	FINLAY 2515A
HOUSE STYLE (i.e. walkout, bungalow etc.)	2 STOREY
ADJACENT MODEL	EAST FRASER 2250B
	WEST FINLAY 2515B
	NORTH N/A
	SOUTH FRASER 2250B
FIREBREAK LOT	YES

LEGEND	
	SINGLE CATCHBASIN
	DOUBLE CATCHBASIN
	SANITARY MH
	STORM MH
	SANITARY SERVICE CONNECTION
	STORM SERVICE CONNECTION
	WATER SERVICE CONNECTION
	FLOW DIRECTION
	ROOF DRAIN
	ENGINEERED FILL
000.00	EXISTING ELEVATION
000.00	PROPOSED ELEVATION
FFF	FINISHED 1ST FLOOR
TW	TOP OF FOUNDATION WALL
FS	FINISHED SLAB
USF	U/S FOOTING
RUSF	REAR U/S FOOTING
TWG	TOP OF GARAGE FOUNDATION WALL
USFG	U/S FOOTING GARAGE
	SUMP PUMP
	VALVE AND BOX
	HYDRANT AND VALVE
	BELL PEDESTAL
	CABLE PEDESTAL
	UNDERGROUND PEDESTAL
	HYDRO TRANSFORMER
	STREETLIGHT
	STREETLIGHT PEDESTAL
	HYDRO SERVICE CONNECTION
	SUPER MAILBOX
	MUNICIPAL ADDRESS
	SLOPE 3:1 MAXIMUM
	FOOTINGS LOWERED TO MAINTAIN 1.22m FROST PROTECTION

GENERAL NOTES
ALL SLOPES TO BE 3:1 MAX
THE BUILDER SHALL BE RESPONSIBLE FOR THE VERIFICATION OF HOUSE TYPE AND ELEVATION, PRIOR TO COMMENCEMENT OF CONSTRUCTION

BENCHMARK
ELEVATION: 286.399
ELEVATION IS BASED ON BENCHMARK No. 0011931U463S HAVING AN ELEVATION OF 286.399 METRES. LOCATION: TOWNSHIP OF CHURCHILL UNITED CHURCH, TABLET IN NORTH STONE FOUNDATION WALL OF TOWER, 23cm FROM NORTHWEST CORNER AND 1.62m BELOW BRICKWORK.

ARCHITECTURAL DESIGN INC.
56 PENNSYLVANIA AVE. UNIT 1 CONCORD, ONTARIO L4K 3V9 TEL 905 660-9393 FAX 905 660-9419 adci@bellnet.ca

SERVICING CHECK BOX					
WATER SERVICE AT P/L		SANITARY SERVICE AT P/L		STORM SERVICE AT P/L	
DEPTH	INVERT	DEPTH	INVERT	DEPTH	INVERT
Min 1.70	Min 249.37	2.185	248.905	2.07	249.02

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THE ARCHITECTURAL PORTION OF THIS PLAN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

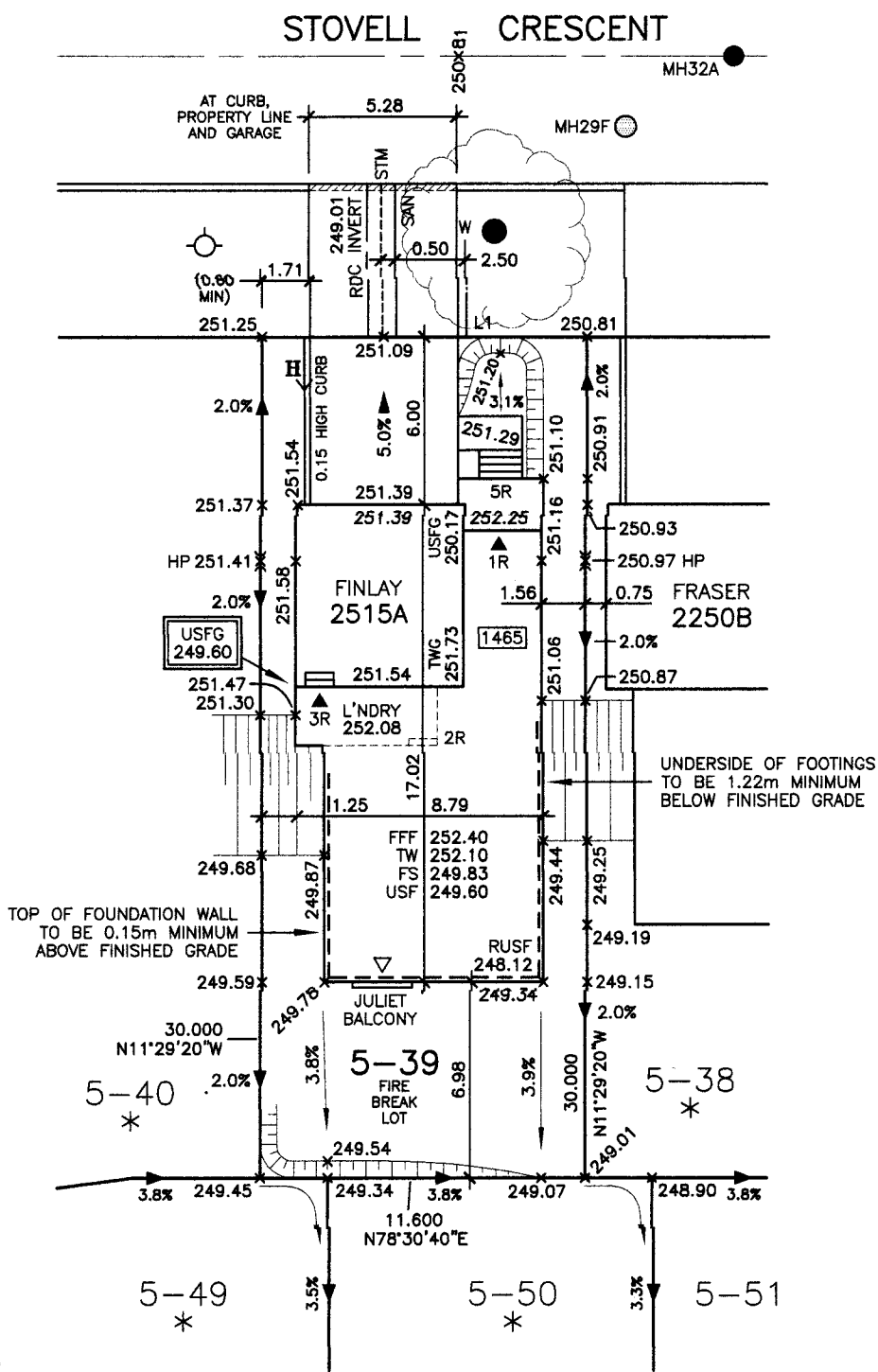
LEO ARIEMMA 7561

NAME SIGNATURE LICENCE NUMBER

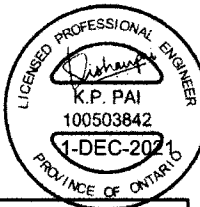
THIS IS AN ENGINEERED FILL LOT.
* THE SUITABILITY OF THE FOUNDATION SOIL IS TO BE CONFIRMED BY A GEOTECHNICAL ENGINEER.

RDC INVERT TO BE FIELD VERIFIED BY THE BUILDER TO ENSURE THAT POSITIVE DRAINAGE CAN BE ACHIEVED PRIOR TO CONSTRUCTION

KEY PLAN
11.6 m 38 foot LOT



ARCHITECTURAL CONTROL	
<input checked="" type="checkbox"/> Approved	MARTIN ASSOCIATES
<input type="checkbox"/> Approved as Noted	
This approval is for architectural control review only as defined by the applicable Community Control Guidelines and does not constitute compliance or approval for any other purposes.	
Date: 01-Dec-2021	



NO.	REVISIONS	DATE	INITIAL
1	REVISED PER IBI GROUP REVIEW	NO 30 21	TP
-	ISSUED	NO 29 21	TP

<p>THE PROPOSED LOT GRADING IS APPROVED AS BEING IN GENERAL CONFORMITY WITH THE OVERALL APPROVED GRADING PLAN FOR THIS SUBDIVISION.</p> <p>COMPANY NAME: IBI Group</p> <p>APPROVED BY: Kishan Pai</p> <p>SIGNATURE: Kishan Pai</p> <p>DATE: 1-DEC-2021</p>	<p>STOVELL CRESCENT LOT 39, PLAN 51M-1169 PHASE 5, STAGE BELLAIRE PROPERTIES INC. PARCEL P1 – LEFROY TOWN OF INNISFIL</p>
<p>SCALE: 1:250</p> <p>DATE: NOV 2021</p> <p>DRAWN: T.P.</p> <p>DESIGNED: T.P.</p>	<p>DRAWING No: A-1</p>

ZONING INFORMATION		
ZONE DESIGNATION R2-15	PERMITTED	PROVIDED
LOT AREA (sq m)	335.00	374.14
LOT FRONTAGE (m)	11.500	11.961
FRONT YARD SETBACK TO DWELLING (m)	4.50	7.18
FRONT YARD SETBACK TO GARAGE (m)	6.00	9.00
ONE INTERIOR SIDE YARD SETBACK (m)	0.60	0.62
OTHER INTERIOR SIDE YARD SETBACK (m)	1.20	1.23
REAR YARD SETBACK (m)	6.00	8.64
LOT COVERAGE (%)	40.00	35.82
BUILDING HEIGHT (m)	11.00	10.40
LANDSCAPED OPEN SPACE (%)	30.00	59.27
FRONT YARD LANDSCAPED OPEN SPACE (%)	40.00	49.96

STRUCTURE	
MODEL NO.	SUPERIOR 3400A
HOUSE STYLE (i.e. walkout, bungalow etc.)	2 STOREY WALK-UP
ADJACENT MODEL	EAST MANITOU 2480A
	WEST MANITOU 2480B
	NORTH MANITOU 2480A
	SOUTH N/A
FIREBREAK LOT	NO

LEGEND	
	SINGLE CATCHBASIN
	DOUBLE CATCHBASIN
	SANITARY MH
	STORM MH
	SANITARY SERVICE CONNECTION
	STORM SERVICE CONNECTION
	WATER SERVICE CONNECTION
	FLOW DIRECTION
	ROOF DRAIN
	ENGINEERED FILL
000.00	EXISTING ELEVATION
000.00	PROPOSED ELEVATION
FFF	FINISHED 1ST FLOOR
TW	TOP OF FOUNDATION WALL
FS	FINISHED SLAB
USF	U/S FOOTING
RUSF	REAR U/S FOOTING
TWG	TOP OF GARAGE FOUNDATION WALL
USFG	U/S FOOTING GARAGE
	SUMP PUMP
	VALVE AND BOX
	HYDRANT AND VALVE
	BELL PEDESTAL
	CABLE PEDESTAL
	UNDERGROUND PEDESTAL
	HYDRO TRANSFORMER
	STREETLIGHT
	STREETLIGHT PEDESTAL
	HYDRO SERVICE CONNECTION
	SUPER MAILBOX
	MUNICIPAL ADDRESS
	SLOPE 3:1 MAXIMUM
	FOOTINGS LOWERED TO MAINTAIN 1.22m FROST PROTECTION

GENERAL NOTES	
ALL SLOPES TO BE 3:1 MAX	
THE BUILDER SHALL BE RESPONSIBLE FOR THE VERIFICATION OF HOUSE TYPE AND ELEVATION, PRIOR TO COMMENCEMENT OF CONSTRUCTION	

BENCHMARK	
ELEVATION: 286.399	
ELEVATION IS BASED ON BENCHMARK No. 0011931U463S HAVING AN ELEVATION OF 286.399 METRES. LOCATION: TOWNSHIP OF CHURCHILL UNITED CHURCH, TABLET IN NORTH STONE FOUNDATION WALL OF TOWER, 23cm FROM NORTHWEST CORNER AND 1.62m BELOW BRICKWORK.	

ARCHITECTURAL DESIGN INC.	
56 PENNSYLVANIA AVE. UNIT 1 CONCORD, ONTARIO L4K 3V9 TEL 905 660-9393 FAX 905 660-9419 adci@bellnet.ca	

SERVICING CHECK BOX					
WATER SERVICE AT P/L		SANITARY SERVICE AT P/L		STORM SERVICE AT P/L	
DEPTH	INVERT	DEPTH	INVERT	DEPTH	INVERT
Min 1.70	Min 247.18	2.975	245.955	2.91	246.02

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THE ARCHITECTURAL PORTION OF THIS PLAN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

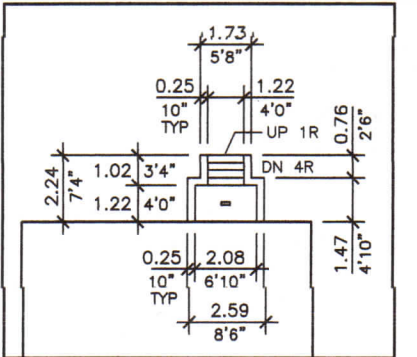
QUALIFICATION INFORMATION

LEO ARIEMMA		7561
NAME	SIGNATURE	LICENCE NUMBER

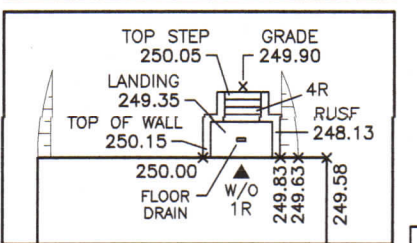
KEY PLAN	
11.6 m 38 foot LOT	

ARCHITECTURAL CONTROL	
<input type="checkbox"/> Approved	MARTIN ASSOCIATES
<input checked="" type="checkbox"/> Approved as Noted	
This approval is for architectural control review only as defined by the applicable Community Control Guidelines and does not constitute compliance or approval for any other purpose.	
30.11.2021 TIV	

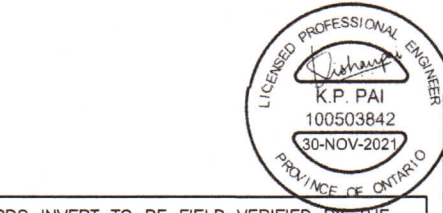
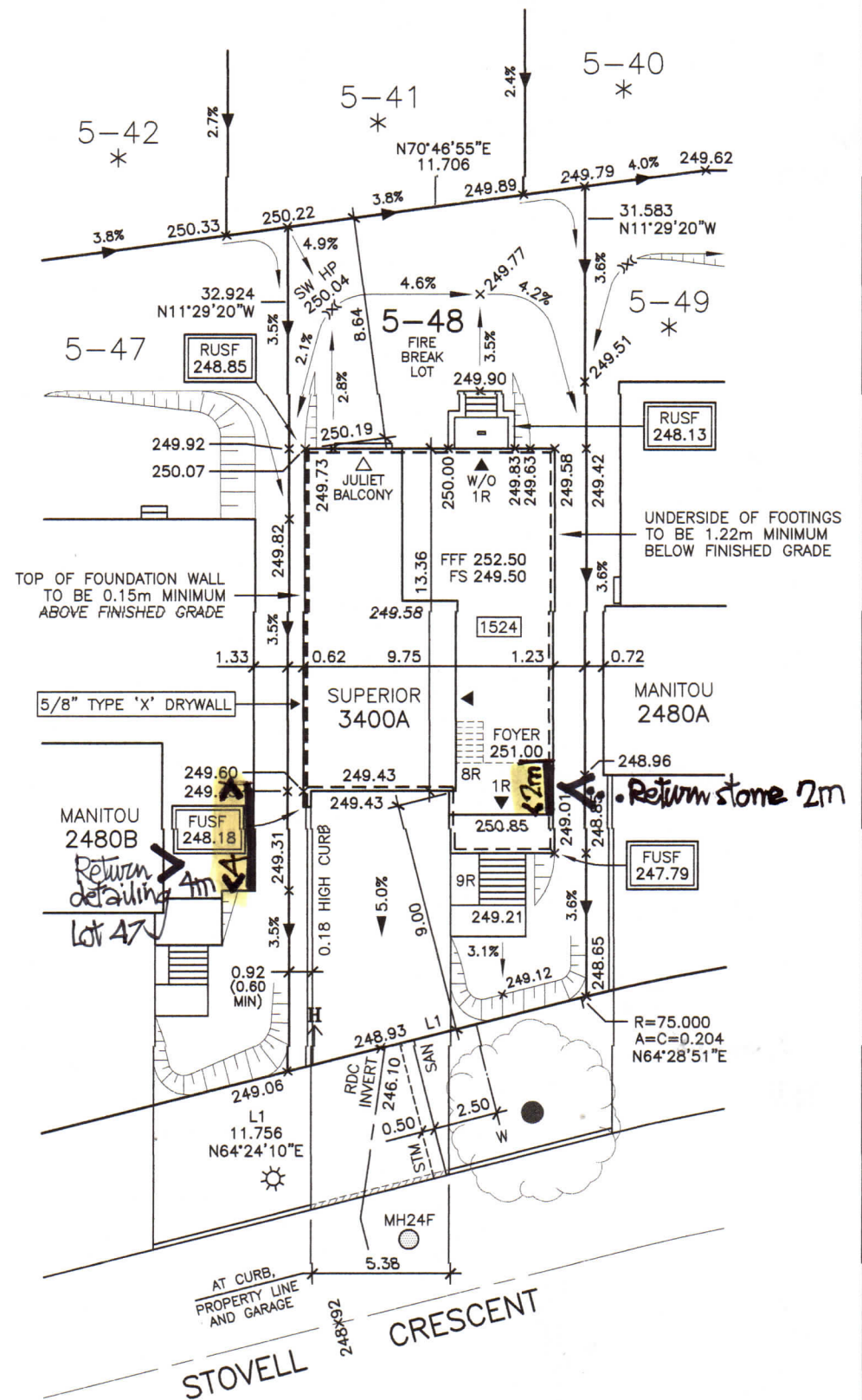
IT IS BUILDERS RESPONSIBILITY TO ENSURE TOP OF FOUNDATION WALL IS AT A MIN. OF 0.15m ABOVE FINISHED GRADE



WALK-UP DETAIL 2



WALK-UP DETAIL 1



RDC INVERT TO BE FIELD VERIFIED BY THE BUILDER TO ENSURE THAT POSITIVE DRAINAGE CAN BE ACHIEVED PRIOR TO CONSTRUCTION

REVISIONS			
NO.	REVISIONS	DATE	INITIAL
1	ISSUED	NO 25 21	TP

THE PROPOSED LOT GRADING IS APPROVED AS BEING IN GENERAL CONFORMITY WITH THE OVERALL APPROVED GRADING PLAN FOR THIS SUBDIVISION.	
COMPANY NAME:	IBI Group
APPROVED BY:	Kishan Pai
SIGNATURE:	Kishan Pai
DATE:	30-NOV-2021

STOVELL CRESCENT LOT 48, PLAN 51M-1169 PHASE 5, STAGE BELLAIRE PROPERTIES INC. PARCEL P1 - LEFROY TOWN OF INNISFIL	
SCALE: 1:250 DATE: NOV 2021 DRAWN: T.P. DESIGNED: T.P.	DRAWING No: A-1

ZONING INFORMATION		
ZONE DESIGNATION R2-5	PERMITTED	PROVIDED
LOT AREA (sq m)	335.00	429.00
LOT FRONTAGE (m)	11.500	11.600
FRONT YARD SETBACK TO DWELLING (m)	4.50	6.56
FRONT YARD SETBACK TO GARAGE (m)	6.00	6.00
ONE INTERIOR SIDE YARD SETBACK (m)	0.60	2.00
OTHER INTERIOR SIDE YARD SETBACK (m)	1.20	2.85
REAR YARD SETBACK (m)	6.00	6.07
LOT COVERAGE (%)	40.00	36.41
BUILDING HEIGHT (m)	10.00	8.23
LANDSCAPED OPEN SPACE (%)	30.00	54.66
FRONT YARD LANDSCAPED OPEN SPACE (%)	40.00	63.05

STRUCTURE	
MODEL NO.	TIMISKAMING 2775A
HOUSE STYLE (i.e. walkout, bungalow etc.)	2 STOREY WALKOUT
ADJACENT MODEL	EAST FRASER 2250B
	WEST N/A
	NORTH SUPERIOR 3615A
	SOUTH NIPISSING 3210A
FIREBREAK LOT	YES

LEGEND	
	SINGLE CATCHBASIN
	DOUBLE CATCHBASIN
	SANITARY MH
	STORM MH
	SANITARY SERVICE CONNECTION
	STORM SERVICE CONNECTION
	WATER SERVICE CONNECTION
	FLOW DIRECTION
	ROOF DRAIN
	ENGINEERED FILL
000.00	EXISTING ELEVATION
000.00	PROPOSED ELEVATION
FFF	FINISHED 1ST FLOOR
TW	TOP OF FOUNDATION WALL
FS	FINISHED SLAB
USF	U/S FOOTING
RUSF	REAR U/S FOOTING
TWG	TOP OF GARAGE FOUNDATION WALL
USFG	U/S FOOTING GARAGE
	SUMP PUMP
	VALVE AND BOX
	HYDRANT AND VALVE
	BELL PEDESTAL
	CABLE PEDESTAL
	UNDERGROUND PEDESTAL
	HYDRO TRANSFORMER
	STREETLIGHT
	STREETLIGHT PEDESTAL
	HYDRO SERVICE CONNECTION
	SUPER MAILBOX
	MUNICIPAL ADDRESS
	SLOPE 3:1 MAXIMUM
	FOOTINGS LOWERED TO MAINTAIN 1.22m FROST PROTECTION

GENERAL NOTES	
ALL SLOPES TO BE 3:1 MAX	
THE BUILDER SHALL BE RESPONSIBLE FOR THE VERIFICATION OF HOUSE TYPE AND ELEVATION, PRIOR TO COMMENCEMENT OF CONSTRUCTION	

BENCHMARK	
ELEVATION: 286.399	
ELEVATION IS BASED ON BENCHMARK No. 0011931U463S HAVING AN ELEVATION OF 286.399 METRES. LOCATION: TOWNSHIP OF CHURCHILL UNITED CHURCH, TABLE IN NORTH STONE FOUNDATION WALL OF TOWER, 23cm FROM NORTHWEST CORNER AND 1.62m BELOW BRICKWORK.	

ARCHITECTURAL DESIGN INC.	
56 PENNSYLVANIA AVE. UNIT 1 CONCORD, ONTARIO L4K 3V9 TEL 905 660-9393 FAX 905 660-9419 adci@bellnet.ca	

SERVICING CHECK BOX					
WATER SERVICE AT P/L		SANITARY SERVICE AT P/L		STORM SERVICE AT P/L	
DEPTH	INVERT	DEPTH	INVERT	DEPTH	INVERT
Min 1.70	Min 243.53	2.755	242.505	2.67	242.59

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THE ARCHITECTURAL PORTION OF THIS PLAN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

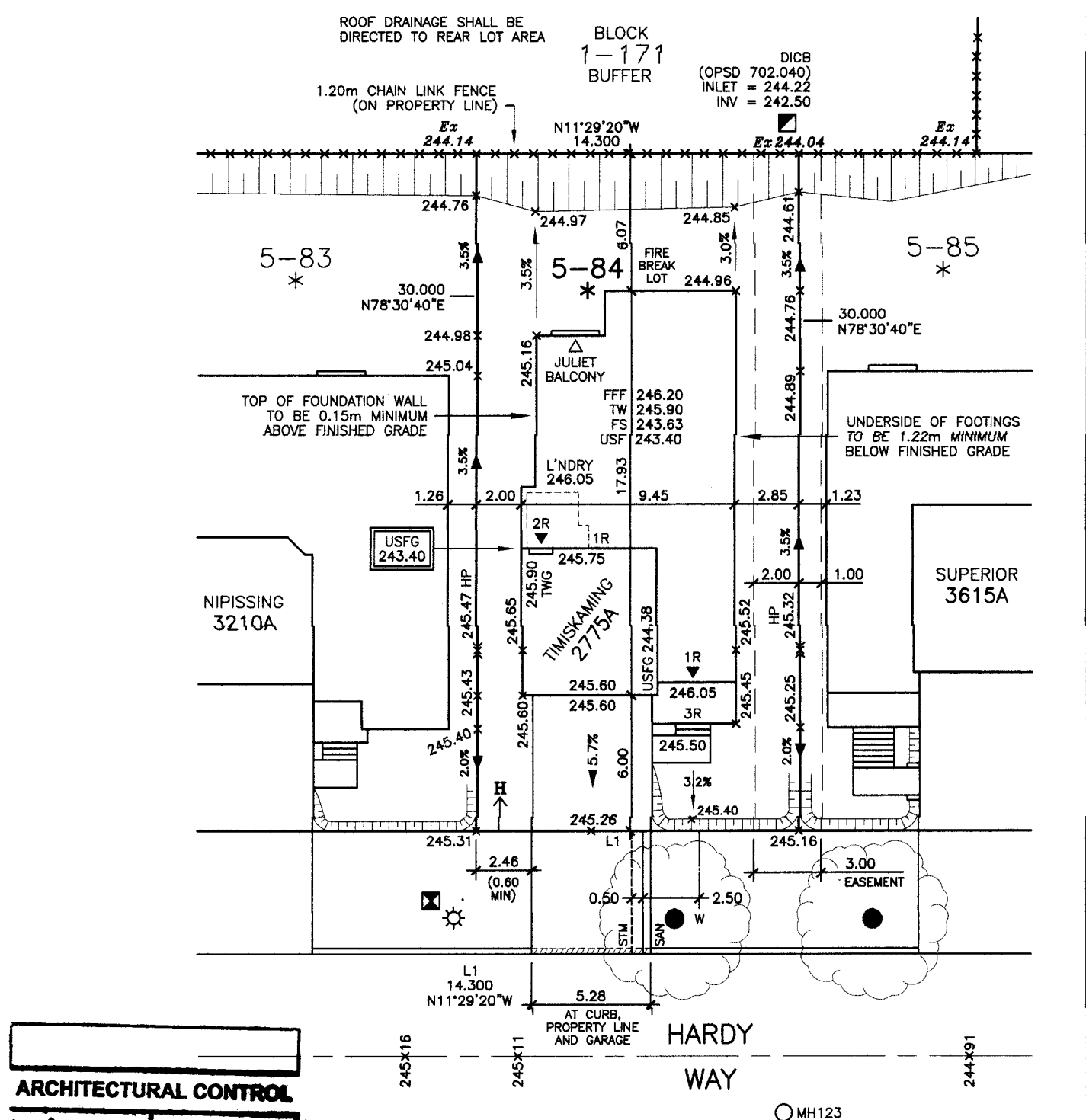
QUALIFICATION INFORMATION

LEO ARIEMMA 7561

NAME SIGNATURE LICENCE NUMBER

THIS IS AN ENGINEERED FILL LOT.
* THE SUITABILITY OF THE FOUNDATION SOIL IS TO BE CONFIRMED BY A GEOTECHNICAL ENGINEER.

KEY PLAN	
11.6 m 38 foot LOT	



ARCHITECTURAL CONTROL	
<input checked="" type="checkbox"/> Approved	MARTIN ASSOCIATES
<input type="checkbox"/> Approved as Noted	
This approval is for architectural control review only as defined by the applicable Community Control Guidelines and does not constitute compliance or approval for any other purpose.	
Date: 30-11-2021	



ISSUED		NO 26 21	TP
NO.	REVISIONS	DATE	INITIAL

ONTARIO ASSOCIATION OF ARCHITECTS	
LEO ARIEMMA LICENCE 7561	
ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE ARCHITECT AND CANNOT BE USED OR REPRODUCED WITHOUT HIS APPROVAL	
THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS ON THE SITE AND REPORT ANY DISCREPANCIES TO THE ARCHITECT	
DRAWINGS MUST NOT BE SCALED	

THE PROPOSED LOT GRADING IS APPROVED AS BEING IN GENERAL CONFORMITY WITH THE OVERALL APPROVED GRADING PLAN FOR THIS SUBDIVISION.	
COMPANY NAME:	IBI Group
APPROVED BY:	Kishan Pai
SIGNATURE:	Kishan Pai
DATE:	30-NOV-2021

HARDY WAY LOT 84, PLAN 51M-1169 PHASE 5, STAGE BELLAIRE PROPERTIES INC. PARCEL P1 - LEFROY TOWN OF INNISFIL	
SCALE: 1:250 DATE: NOV 2021 DRAWN: T.P. DESIGNED: T.P.	DRAWING No: A-1

ZONING INFORMATION		
ZONE DESIGNATION R2-15	PERMITTED	PROVIDED
LOT AREA (sq m)	335.00	348.00
LOT FRONTAGE (m)	11.500	11.600
FRONT YARD SETBACK TO DWELLING (m)	4.50	6.09
FRONT YARD SETBACK TO GARAGE (m)	6.00	7.00
ONE INTERIOR SIDE YARD SETBACK (m)	0.60	0.62
OTHER INTERIOR SIDE YARD SETBACK (m)	1.20	1.23
REAR YARD SETBACK (m)	6.00	9.64
LOT COVERAGE (%)	40.00	38.51
BUILDING HEIGHT (m)	11.00	10.54
LANDSCAPED OPEN SPACE (%)	30.00	48.82
FRONT YARD LANDSCAPED OPEN SPACE (%)	40.00	53.58

STRUCTURE	
MODEL NO.	SUPERIOR 3615B
HOUSE STYLE (i.e. walkout, bungalow etc.)	2 STOREY WALKOUT
ADJACENT MODEL	EAST N/A
	WEST MANITOU 2480A
	NORTH N/A
	SOUTH SUPERIOR 3615A
FIREBREAK LOT	NO

LEGEND	
	SINGLE CATCHBASIN
	DOUBLE CATCHBASIN
	SANITARY MH
	STORM MH
	SANITARY SERVICE CONNECTION
	STORM SERVICE CONNECTION
	WATER SERVICE CONNECTION
	FLOW DIRECTION
	ROOF DRAIN
	ENGINEERED FILL
000.00	EXISTING ELEVATION
000.00	PROPOSED ELEVATION
FFF	FINISHED 1ST FLOOR
TW	TOP OF FOUNDATION WALL
FS	FINISHED SLAB
USF	U/S FOOTING
RUSF	REAR U/S FOOTING
TWG	TOP OF GARAGE FOUNDATION WALL
USFG	U/S FOOTING GARAGE
	SUMP PUMP
	VALVE AND BOX
	HYDRANT AND VALVE
	BELL PEDESTAL
	CABLE PEDESTAL
	UNDERGROUND PEDESTAL
	HYDRO TRANSFORMER
	STREETLIGHT
	STREETLIGHT PEDESTAL
	HYDRO SERVICE CONNECTION
	SUPER MAILBOX
	MUNICIPAL ADDRESS
	SLOPE 3:1 MAXIMUM
	FOOTINGS LOWERED TO MAINTAIN 1.22m FROST PROTECTION

GENERAL NOTES	
ALL SLOPES TO BE 3:1 MAX	
THE BUILDER SHALL BE RESPONSIBLE FOR THE VERIFICATION OF HOUSE TYPE AND ELEVATION, PRIOR TO COMMENCEMENT OF CONSTRUCTION	

BENCHMARK	
ELEVATION: 286.399	
ELEVATION IS BASED ON BENCHMARK No. 0011931U463S HAVING AN ELEVATION OF 286.399 METRES. LOCATION: TOWNSHIP OF CHURCHILL UNITED CHURCH, TABLET IN NORTH STONE FOUNDATION WALL OF TOWER, 23cm FROM NORTHWEST CORNER AND 1.62m BELOW BRICKWORK.	

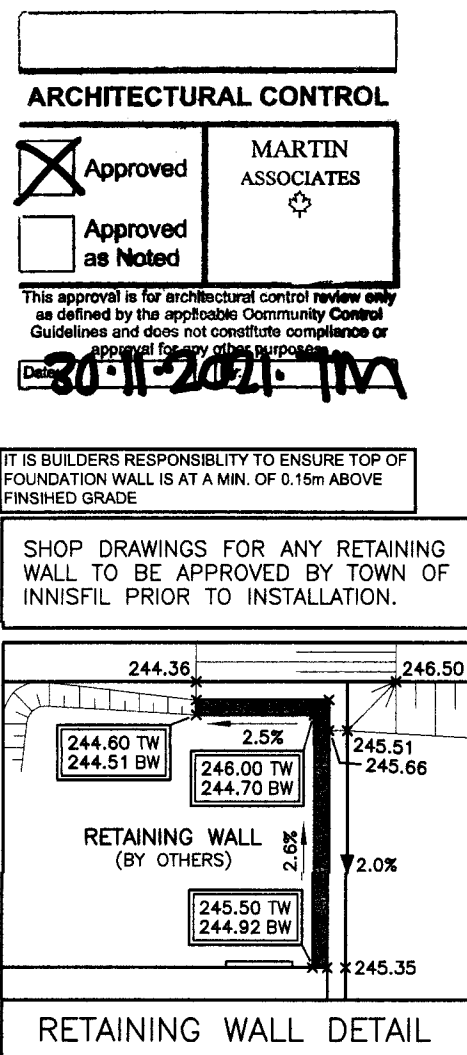
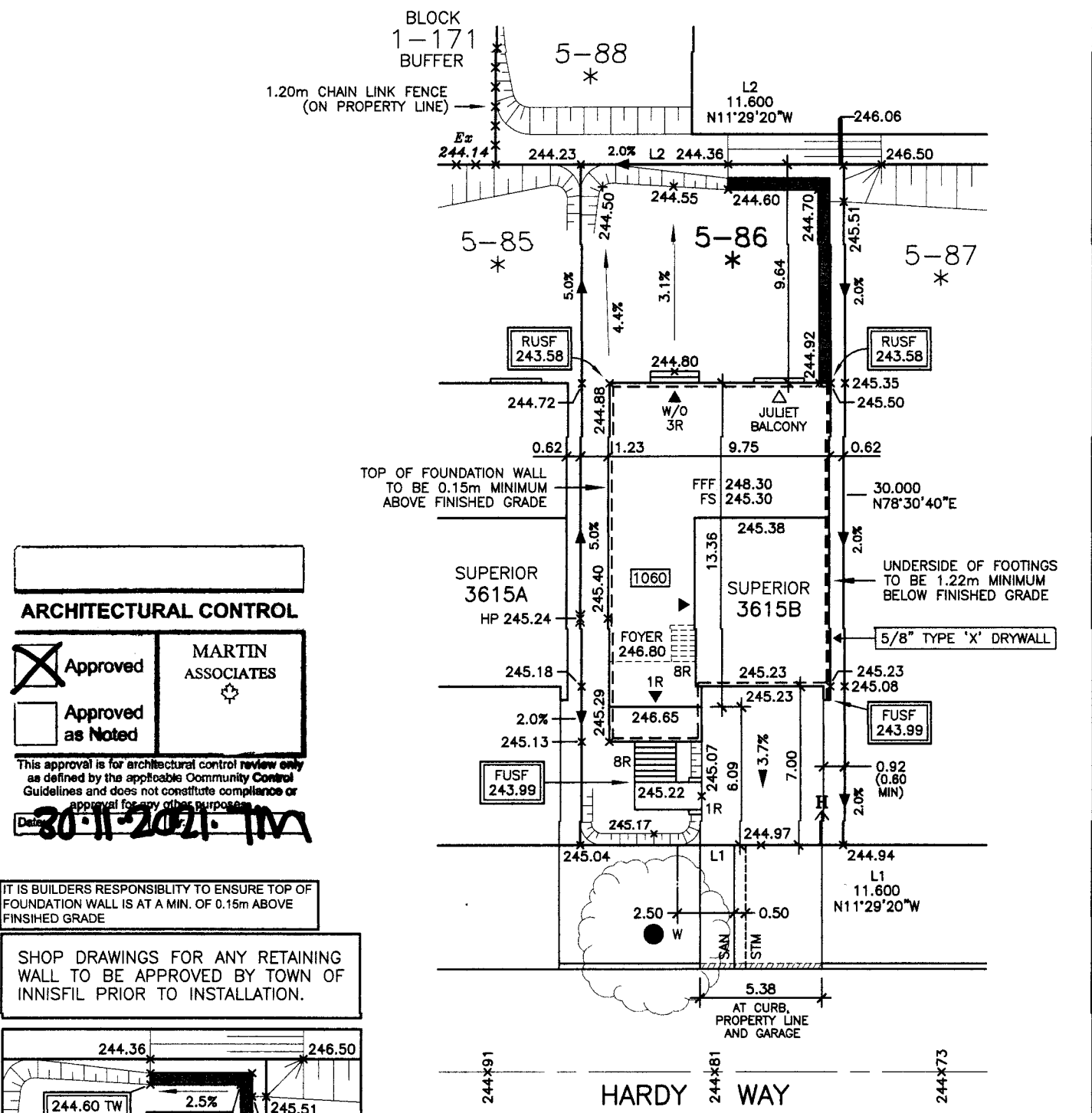
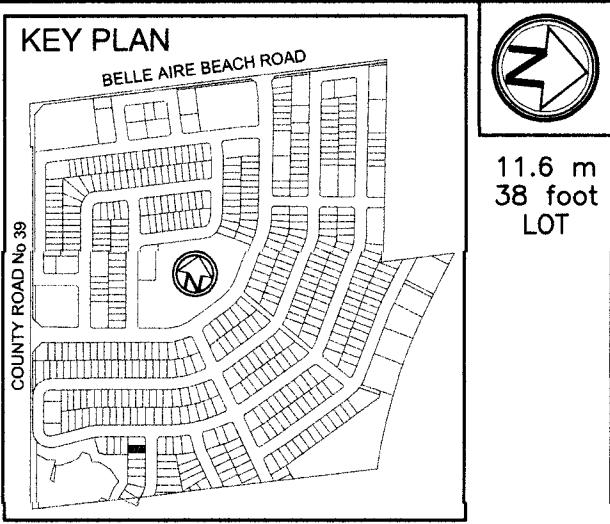
ARCHITECTURAL
DESIGN INC.

56 PENNSYLVANIA AVE.
UNIT 1
CONCORD, ONTARIO
L4K 3V9
TEL 905 660-9393
FAX 905 660-9419
adci@bellnet.ca

SERVICING CHECK BOX					
WATER SERVICE AT P/L		SANITARY SERVICE AT P/L		STORM SERVICE AT P/L	
DEPTH	INVERT	DEPTH	INVERT	DEPTH	INVERT
Min 1.70	Min 243.28	2.775	242.195	2.70	242.27

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THE ARCHITECTURAL PORTION OF THIS PLAN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.
QUALIFICATION INFORMATION
LEO ARIEMMA
NAME SIGNATURE LICENCE NUMBER 7561

THIS IS AN ENGINEERED FILL LOT.
* THE SUITABILITY OF THE FOUNDATION SOIL IS TO BE CONFIRMED BY A GEOTECHNICAL ENGINEER.



THE PROPOSED LOT GRADING IS APPROVED AS BEING IN GENERAL CONFORMITY WITH THE OVERALL APPROVED GRADING PLAN FOR THIS SUBDIVISION.		STOVELL CRESCENT LOT 86, PLAN 51M-1169 PHASE 5, STAGE BELLAIRE PROPERTIES INC. PARCEL P1 - LEFROY TOWN OF INNISFIL	
COMPANY NAME: IBI Group		SCALE: 1:250	
APPROVED BY: Kishan Pai		DATE: NOV 2021	
SIGNATURE: Kishan Pai		DRAWN: T.P.	
DATE: 30-NOV-2021		DESIGNED: T.P.	
		DRAWING No: A-1	