

PLANNING DEPARTMENT

COMPLIES WITH ZONING BY-LAW: 2010-050

DATE REVIEWED: 06/01/2020

REVIEWED BY: C. DeRubeis

ENGINEERING REVIEW

☒ ACCEPTED

☐ ACCEPTED AS NOTED

☐ REQUIRES RE-SUBMISSION

THIS PLAN HAS BEEN REVIEWED WITH THE OVERALL LOT GRADING PLAN AND OUR APPROVAL OF THIS PLAN FOR NO OTHER REASON. WE ACCEPT NO RESPONSIBILITY FOR THE ACCURACY OF THE ELEVATIONS AND DIMENSIONS PROVIDED BY OTHERS.

August 30, 2020

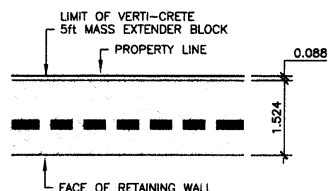
REVIEWED BY: [Signature]

DATE (TOWN OF BRADFORD WEST GWILLIMBURY USE ONLY)

**LEGEND**

- SINGLE CATCHBASIN
- DOUBLE CATCHBASIN
- SANITARY MH
- STORM MH
- SANITARY SERVICE
- STORM SERVICE
- WATER SERVICE
- GAS SERVICE
- HYDRO SERVICE
- CABLE SERVICE
- FLOW DIRECTION
- ENGINEERED FILL
- EXISTING ELEVATION
- PROPOSED ELEVATION
- SW ELEVATION
- FINISHED 1ST FLOOR
- TOP OF FOUNDATION WALL
- TOP OF WALL IN GARAGE
- FINISHED SLAB
- U/S FOOTING
- U/S FOOTING GARAGE
- SUMP PUMP
- HYDRANT AND VALVE
- VALVE AND BOX
- BELL PEDESTAL
- CABLE PEDESTAL
- HYDRO TRANSFORMER
- LIGHT STANDARD
- SUPER MAILBOX
- DOWNSPOUT
- MUNICIPAL ADDRESS
- SLOPE 3:1 MAXIMUM
- FOOTINGS LOWERED FOR 1.22m FROST PROTECTION

**DETAIL A** SCALE = 1:100



THE BUILDER SHALL BE RESPONSIBLE FOR VERIFICATION OF HOUSE TYPE AND FRONT ELEVATION PRIOR TO COMMENCEMENT OF CONSTRUCTION

**SITE INFORMATION**

THIS PLAN IS BASED ON PLAN OF SUBDIVISION OF PART OF LOT 14, CONCESSION 8 GEOGRAPHIC TOWNSHIP OF GWILLIMBURY AND ALL OF BLOCK 131 REGISTERED PLAN 51M-962 TOWN OF BRADFORD WEST GWILLIMBURY COUNTY OF SIMCOE

SURVEY PREPARED BY HUNT SURVEYS INC., O.L.S. DATED MAY 11, 2016

**ZONING INFORMATION**

ZONE DESIGNATION BY-LAW	PERMITTED	PROVIDED
FRONT YARD SETBACK (m)	6.0	6.00
FRONT FACE OF GARAGE		
FRONT YARD SETBACK (m)	3.0	5.19
OTHER PORTIONS OF DWELLING		
INTERIOR SIDE YARD SETBACK (m) (EAST)	1.2	1.27
INTERIOR SIDE YARD SETBACK (m) (WEST)	0.6	0.67
REAR YARD SETBACK (m)	7.5	17.47
GARAGE INTERIOR WIDTH (m)	2.7	3.048
GARAGE INTERIOR LENGTH (m)	6.0	6.096
GARAGE PROJECTION (m)	3.0	0.71

**STRUCTURE**

MODEL NAME	RATHBURN 1960 C
HOUSE STYLE (i.e. walkout, bungalow etc.)	TWO STOREY
EAST	N/A
WEST	GLENARM 2250 B
NORTH	N/A
SOUTH	N/A
FIREBREAK LOT	NO

**SERVICING CHECK BOX**

SERVICE	YES/NO	DEPTH AT P/L	INVERT @ P/L
WATER	YES	1.7	

NOTE: CONTRACTOR TO CONFIRM STORM AND SANITARY LATERAL INVERTS PRIOR TO COMMENCEMENT OF CONSTRUCTION.

**ARCHITECTURAL DESIGN INC.**

56 PENNSYLVANIA AVE. UNIT 1 CONCORD, ONT. L4K 3V9 TEL 905 660-9393 FAX 905 660-9419

**ARCHITECT**

**ONTARIO ASSOCIATION OF ARCHITECTS**

LEO ARENAMA LICENCE 7561

ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE ARCHITECT AND CANNOT BE USED OR REPRODUCED WITHOUT HIS APPROVAL. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS ON THE SITE AND REPORT ANY DISCREPANCIES TO THE ARCHITECT. DRAWINGS MUST NOT BE SCALED.

**PROJECT**

PROPOSED DWELLING FOR: LORMEL HOMES AT: 235 CHELSEA CRESCENT BRADFORD, ONTARIO

THE PROPOSED LOT GRADING IS APPROVED AS BEING IN GENERAL CONFORMITY WITH THE OVERALL APPROVED GRADING PLAN FOR THIS SUBDIVISION.

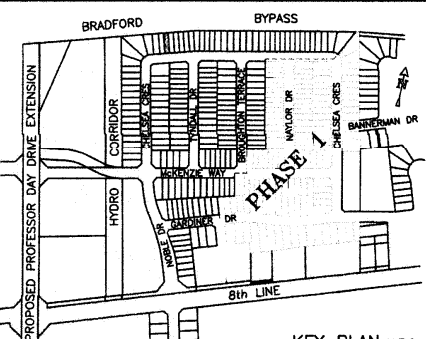
COMPANY NAME: COLE ENGINEERING

APPROVED BY: DANIEL MA

SIGNATURE: Daniel Ma

DATE: Aug. 18, 2020

**KEY PLAN N.T.S.**



**ARCHITECTURAL CONTROL**

Approved as Noted

MARTIN ASSOCIATES

110B

111B

112B

113B

114B

115B

116B

117B

118B

119B

120B

121B

122B

123B

124B

125B

126B

127B

128B

129B

130B

131B

132B

133B

134B

135B

136B

137B

138B

139B

140B

141B

142B

143B

144B

145B

146B

147B

148B

149B

150B

**BRADFORD BYPASS**

**CHELSEA CRESCENT**

**45min. FRR**

**BENCHMARK:** CONCRETE CULVERT UNDER HIGHWAY No. 88, 1.8km WEST OF POST OFFICE, TABLET IN WEST FACE OF CULVERT, 30cm FROM NORTH END, 1.02m BELOW TOP, 11.0m NORTH OF CENTRELINE OF ROAD, 1.2m BELOW ROAD LEVEL, 4.3m SOUTHEAST OF TELEPHONE POLE No. 256-JP, HAVING AN ELEVATION OF 249.431m.

ELEVATION: 249.431

**REVIEWED**

INSPECTOR: [Signature]

PERMIT NO: PRBD202000451 DATE: Aug. 31, 2020

ALL CONSTRUCTION SHALL COMPLY WITH THE BUILDING CODE AND ALL OTHER APPLICABLE STATUTORY REGULATIONS. THE REVIEWED DOCUMENTS MUST BE KEPT ON SITE AT ALL TIMES.

INSPECTION REQUEST EMAIL: BUILDINGINSPECTIONS@TOWNOFBWG.COM

INSPECTION REQUEST FAX: (905) 778-2035

INSPECTION REQUEST TELEPHONE: (905) 778-2055 EXT. 1500

**SITING & GRADING PLAN**

NO.	REVISION	DATE	BY
1	ADDED STORM AND SANITARY LATERAL INVERTS	JA 28 20	
2	TWG WAS 267.90	FE 18 20	
3	ADDED SIDE ENTRY DOOR	MY 05 20	
4	REVISD PER COLE ENGINEERING REVIEW	AU 18 20	
5	REVISD VERTI-CRETE RETAINING WALL	AU 17 20	
6	DESIGNED: TP		
7	DRAWN: TP		

LOT NO: 111

PHASE 2