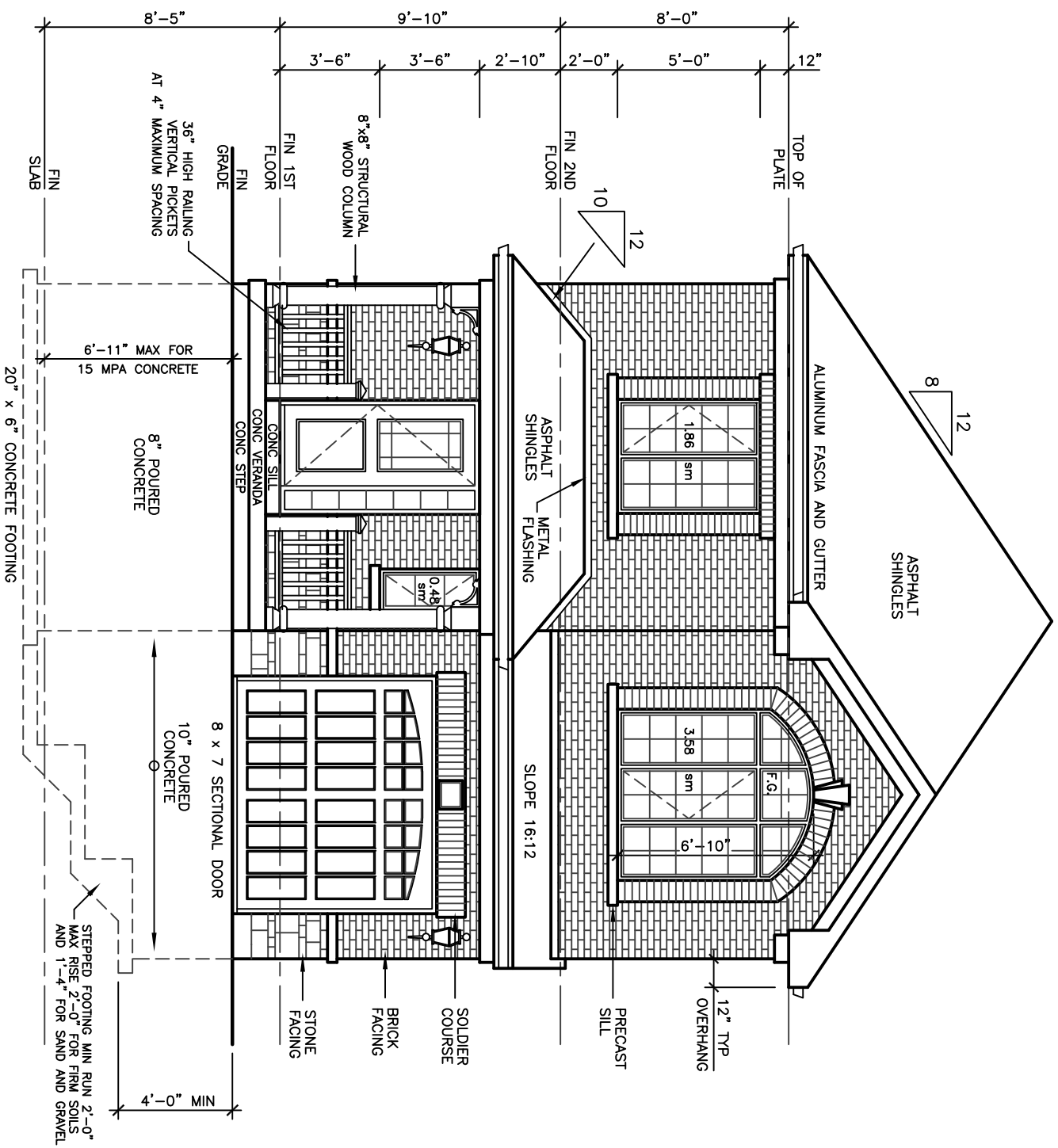
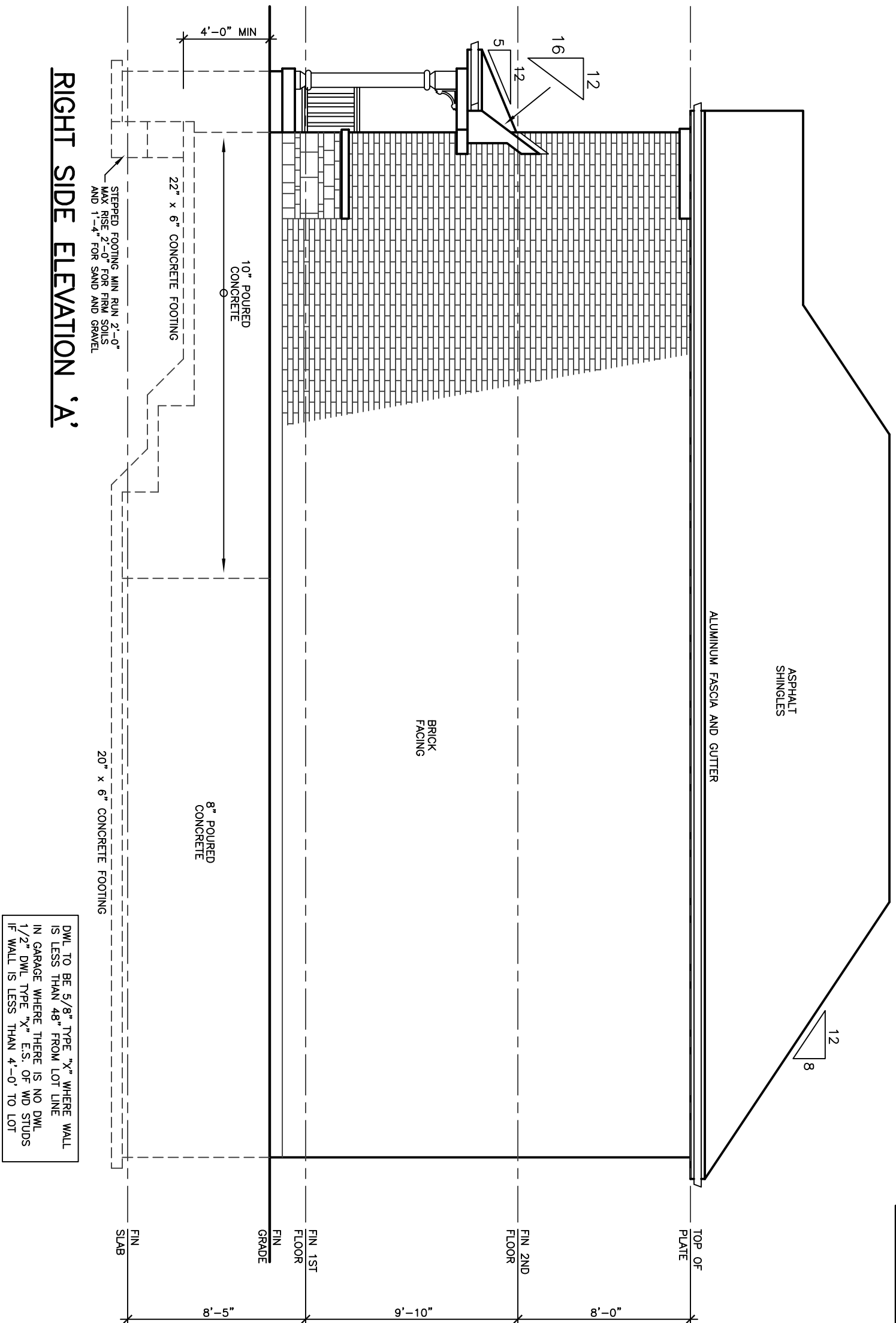


[illegible]

WALLS AND WINDOWS AREA			
ELEVATION	WALL AREA	WINDOWS AREA	%
FRONT ELEVATION	45.51 SM	5.92 SM	
RIGHT SIDE ELEVATION	86.05 SM	- SM	
LEFT SIDE ELEVATION	86.05 SM	1.83 SM	
REAR ELEVATION	42.87 SM	11.17 SM	
TOTAL AREA	260.48 SM	18.92 SM	7.26



FRONT ELEVATION 'A'



RIGHT SIDE ELEVATION 'A'

30' LOT

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THE CONTRACTOR SHALL OBTAIN AND RETURN ALL DISCREPANCIES TO THE ARCHITECT.

DRAWINGS MUST NOT BE SOLICITED.

ASSOCIATION
OF
ARCHITECTS
LTD. ALBERTA
LICENSE

**ARCHITECTURAL
DESIGN INC.**

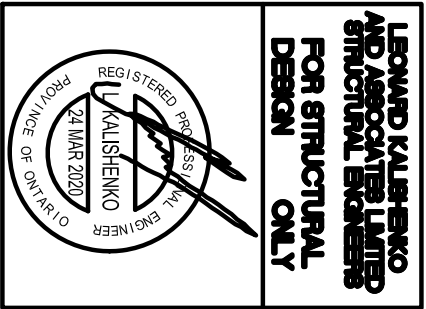
56 PENNSYLVANIA AVE.
UNIT 1
CONCORD, ONT. L3K 3Y9
TEL 905 660-8393
FAX 905 660-9419

RATHBURN
MODEL 1960

PROJECT
PROPOSED
TWO STOREY DWELLING
FOR: LORMEL HOMES
AT: BRADFORD

DRAWING FRONT AND RIGHT SIDE ELEVATIONS 'A'	DATE	PROJECT NO.
	DRAWN	19-64
	N.L.	
	CHECKED	DRAWING NO.
SCALE		A-4

REVISIONS	
#	DATE
1	REVISED STRUCTURE TO A.S. JOISTS



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**ARCHITECTURAL
DESIGN INC.**
56 PENNSYLVANIA AVE.
CONCORD, ONT. L4K 3Y9
TEL. 905 660-9393
FAX 905 660-9419

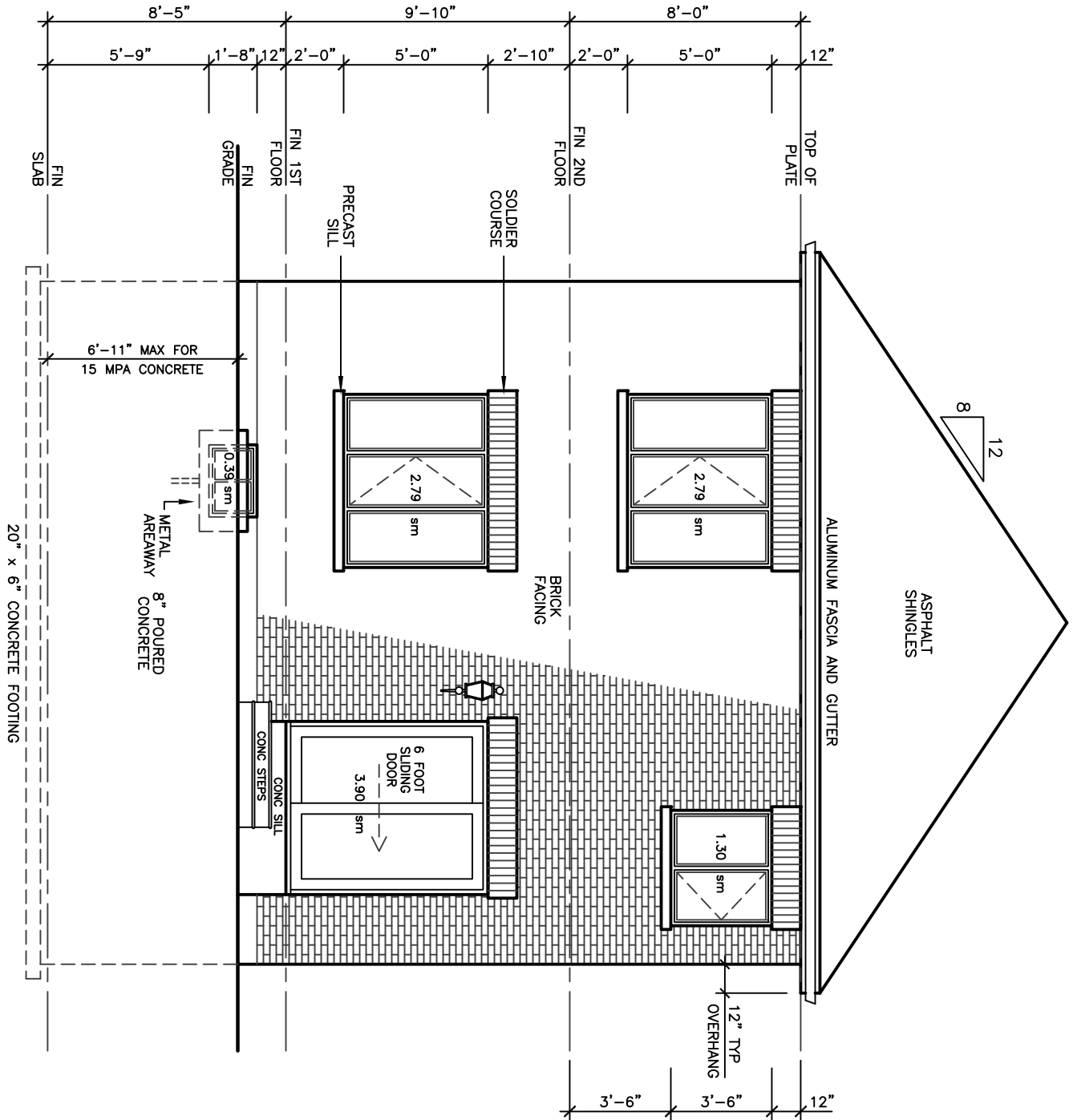


**RATHBURN
MODEL 1960**

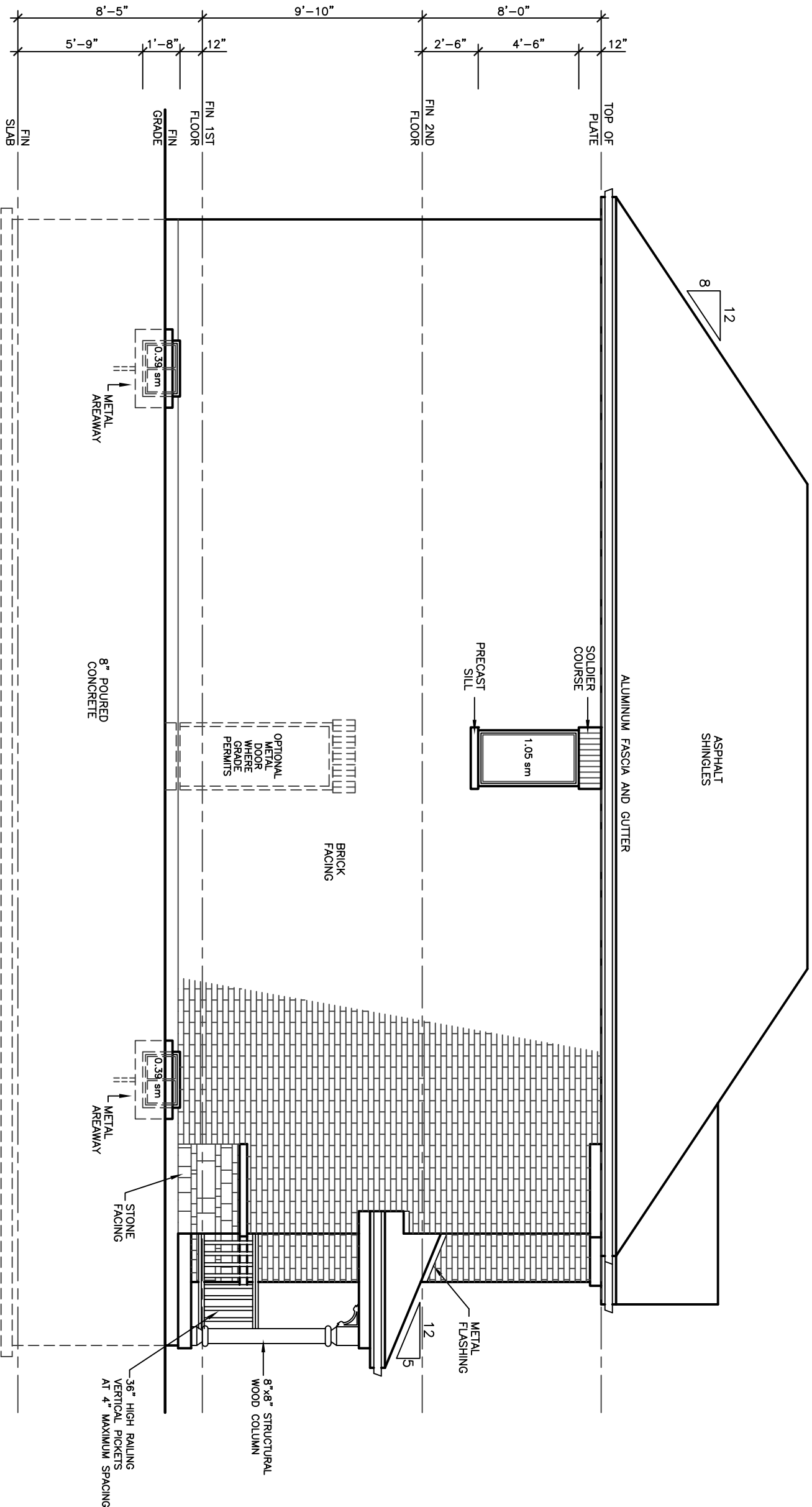
PROJECT
PROPOSED
TWO STOREY DWELLING
FOR: LORMEL HOMES
AT: BRADFORD

DRAWING
REAR AND LEFT
SIDE ELEVATIONS 'A'

DATE	JAN '19	PROJECT NO	19-64
DRAWN	N.L.	DRAWING NO	A-5
CHECKED			
SCALE	3/16"=1'-0"		



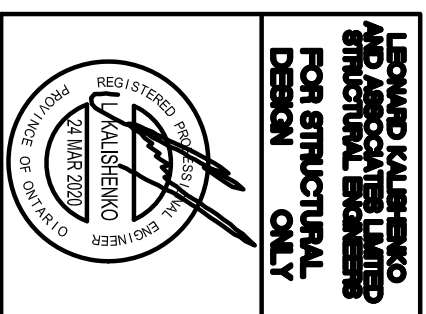
REAR ELEVATION 'A'



LEFT SIDE ELEVATION 'A'

ALLOWABLE UNPROTECTED OPENINGS	
LIMITING DISTANCE	3.94 FT
MAXIMUM PERCENTAGE	7.00 %
TOTAL WALL AREA	926.25 SF
ALLOWABLE OPENINGS	64.84 SF
ACTUAL OPENINGS	12.92 SF

30' LOT

[illegible]

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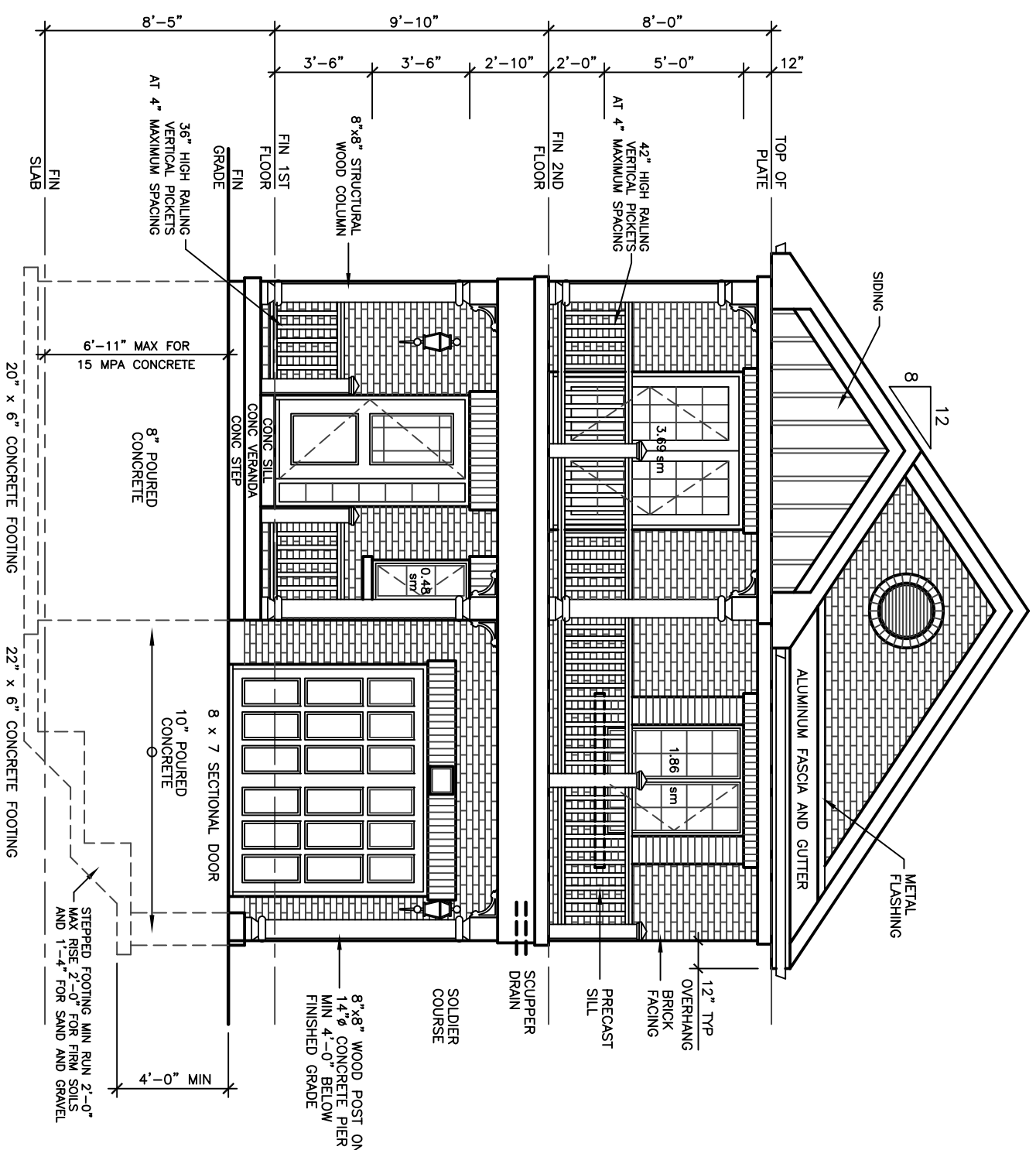
**ARCHITECTURAL
DESIGN INC.**

56 PENNSYLVANIA AVE.
UNIT 1
CONCORD, ONT. L4K 3Y9
TEL 905 660-9393
FAX 905 660-9419

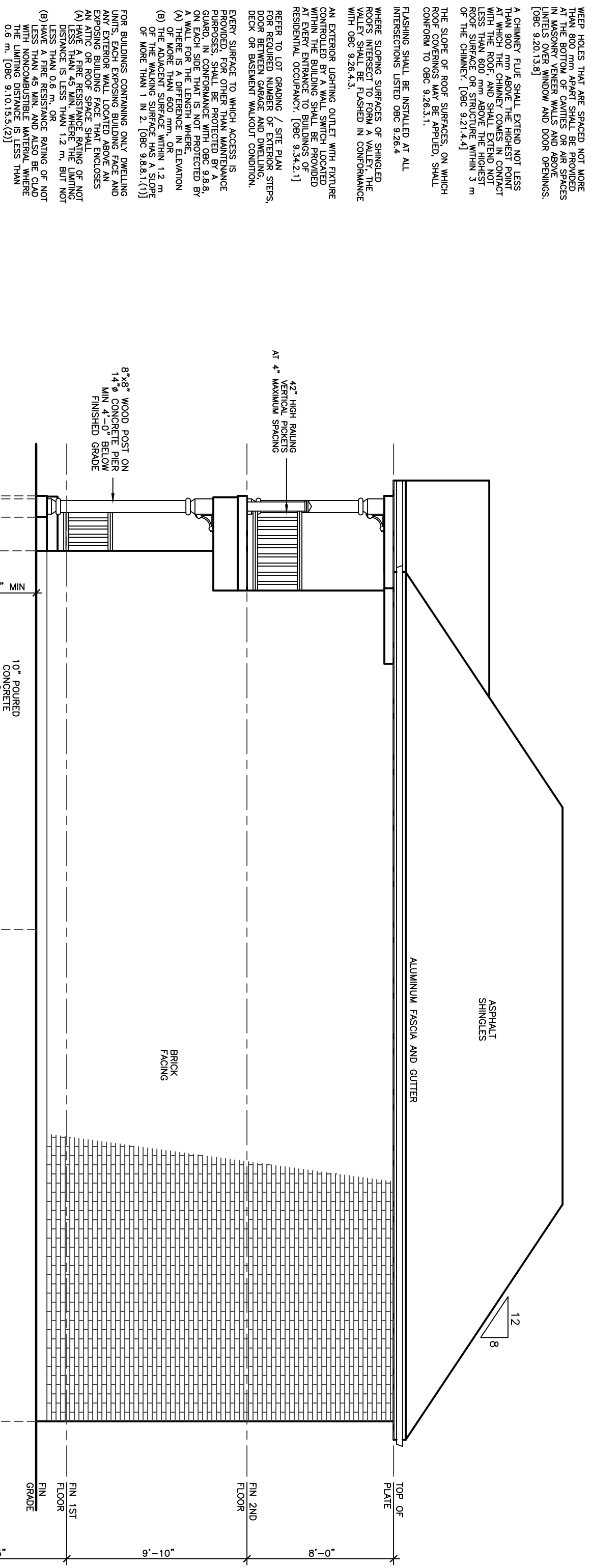
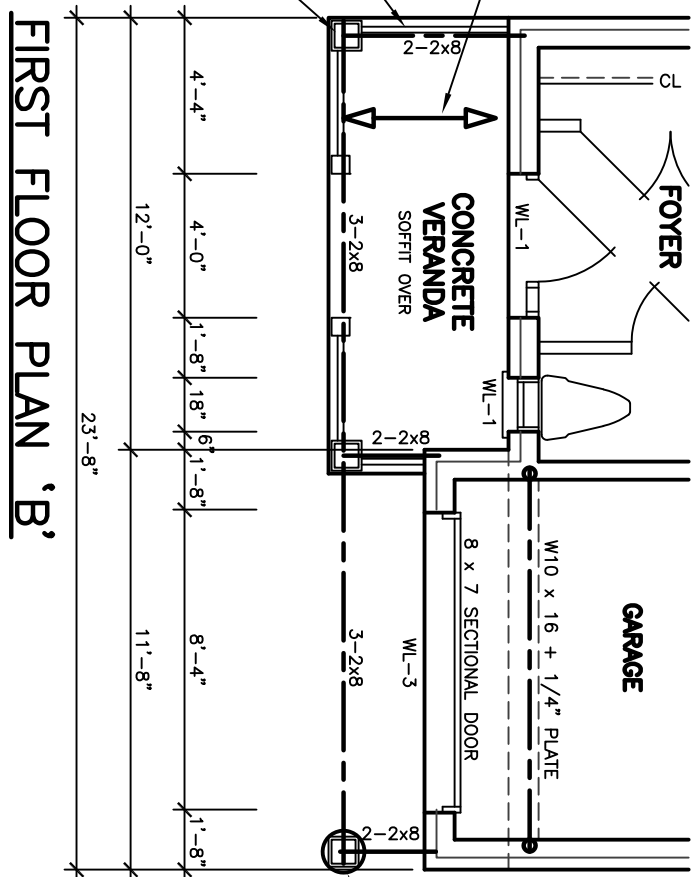
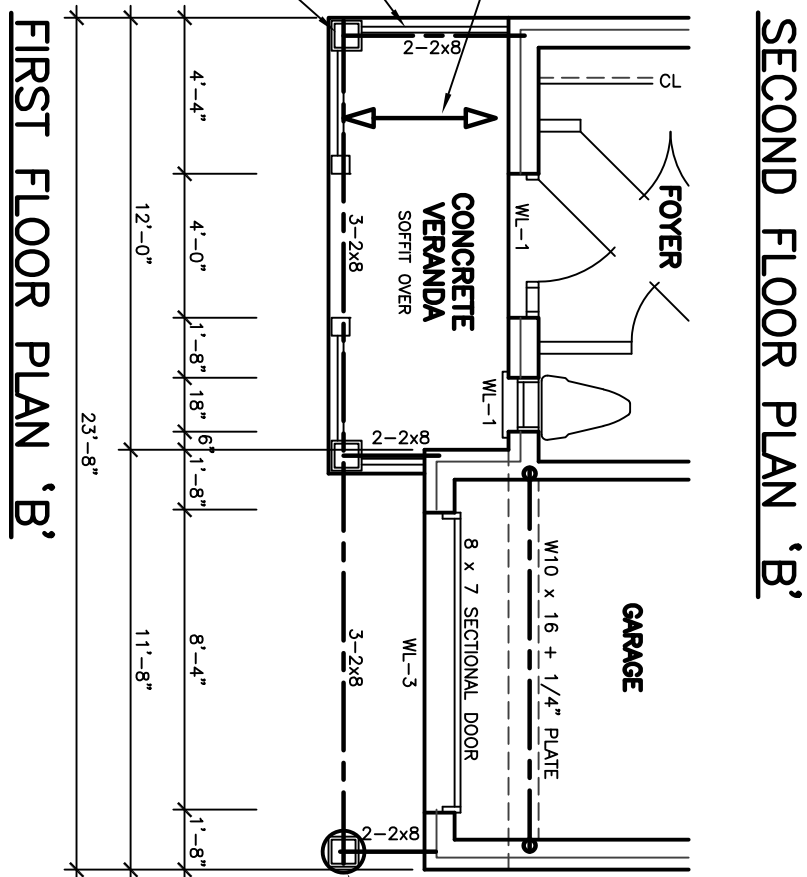
RATHBURN
MODEL 1960

PROJECT
PROPOSED
TWO STOREY DWELLING
FOR: LORMEL HOMES
AT: BRADFORD

DRAWING FRONT AND RIGHT SIDE ELEVATIONS 'B'		PROJECT NO 19-64	
DATE JAN '19	DRAWN N.L.	DRAWING NO	
CHECKED		A-6	
SCALE 3/16"=1'-0"			



WALLS AND WINDOWS AREA			
ELEVATION	WALL AREA	WINDOWS AREA	%
FRONT ELEVATION	42.87 SM	6.03 SM	
RIGHT SIDE ELEVATION	86.05 SM	- SM	
LEFT SIDE ELEVATION	86.05 SM	1.83 SM	
REAR ELEVATION	27.84 SM	11.17 SM	
TOTAL AREA	257.84 SM	19.03 SM	7.38



FINISHED GRADE'S PROFILE LINE IS GENERIC AND DOES NOT REFLECT EXACT ELEVATION. TYPES OF GLASS AND PROTECTION OF GLASS SHALL BE IN ACCORDANCE WITH OBC 9.10.1.4.

RESISTANCE TO FORCED ENTRY SHALL BE IN ACCORDANCE WITH OBC 9.10.1.4. GLASS SHALL BE IN ACCORDANCE WITH OBC 9.10.1.5.2 AND FOR WINDOWS IN ACCORDANCE WITH OBC 9.7.5.3.

GLASS SHALL CONFORM TO OBC 9.8.8.1 AND SHALL RESIST LOADS IN CONFORMANCE WITH TABLE 9.8.8.2.

GLASS IN CURTOS CONFORM TO OBC SECTION 9.8.8.1.

THE MAXIMUM AGGREGATE AREA OF UNRETECTED OPENINGS IN AIR EXPOSING WALLS SHALL CONFORM TO TABLE 9.10.1.4.

FOR BUILDINGS CONTAINING ONLY DWELLING UNITS, UNRETRACTED OPENINGS IN AIR EXPOSING WALLS SHALL CONFORM TO THE FOLLOWING: [OBC 9.14.6.3]

WHERE STEP FOOTINGS ARE USED, THE VERTICAL RISE BETWEEN THE HORIZONTAL PORTIONS SHALL NOT EXCEED 600 mm. THE HORIZONTAL DISTANCE BETWEEN THE PORTIONS SHALL NOT BE LESS THAN 600 mm. [OBC B 9.15.3.3]

THE THICKNESS AND HEIGHT OF FOUNDATION WALLS MADE OF UNREINFORCED CONCRETE, BLOCKS OR SOLID CONCRETE AND SUBJECT TO THE FOLLOWING SHALL CONFORM TO TABLE 9.15.4.2.2. FOR WALLS NOT EXCEEDING 2.15 m IN UNSUPPORTED HEIGHT. [OBC 9.15.4.2]

EXTERIOR FOUNDATION WALLS SHALL EXTEND NOT LESS THAN 300 mm ABOVE FINISHED GRADE LEVEL. [OBC 9.15.4.3]

VENING FOR ROOF SPACES SHALL CONFORM TO OBC 9.15.1.1.2.

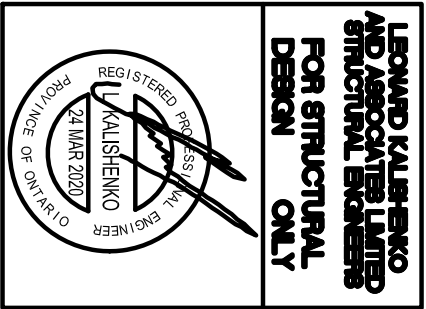
THE UNUNDERSTROOF ROOF VENT AREA SHALL BE NOT LESS THAN 200 OF THE INSULATED AREA OF THE ROOF. THE INSULATED AREA SHALL BE NOT LESS THAN 1 m² IN ROOFS THAT ARE CONSTRUCTED WITH ROOF JOISTS ARE NOT LESS THAN 1/50 OF THE INSULATED CEILING AREA. [OBC 9.15.1.1.2]

FLASHING SHALL BE INSTALLED IN MASONRY AND MASONRY VENEER WALLS IN CONFORMANCE WITH OBC 9.20.13.3.(1).

THROUGH-ROOF FLASHING SHALL BE PROVIDED IN A MASONRY VENEER WALL SUCH THAT ANY SPACE SHALL BE DIRECTED TO THE EXTERIOR OF THE BUILDING. [OBC 9.20.13.3.(2)]

[illegible]

REVISIONS		DATE
#	DESCRIPTION	DATE
1	REVISED STRUCTURE TO A.S. JOISTS	MAR 19 19



ALL DRAWINGS & SPECIFICATIONS ARE THE PROPERTY OF LORMEL HOMES INC. AND ARE NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF LORMEL HOMES INC. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS ON THE SITE AND REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY. DRAWINGS MUST NOT BE SCALED.

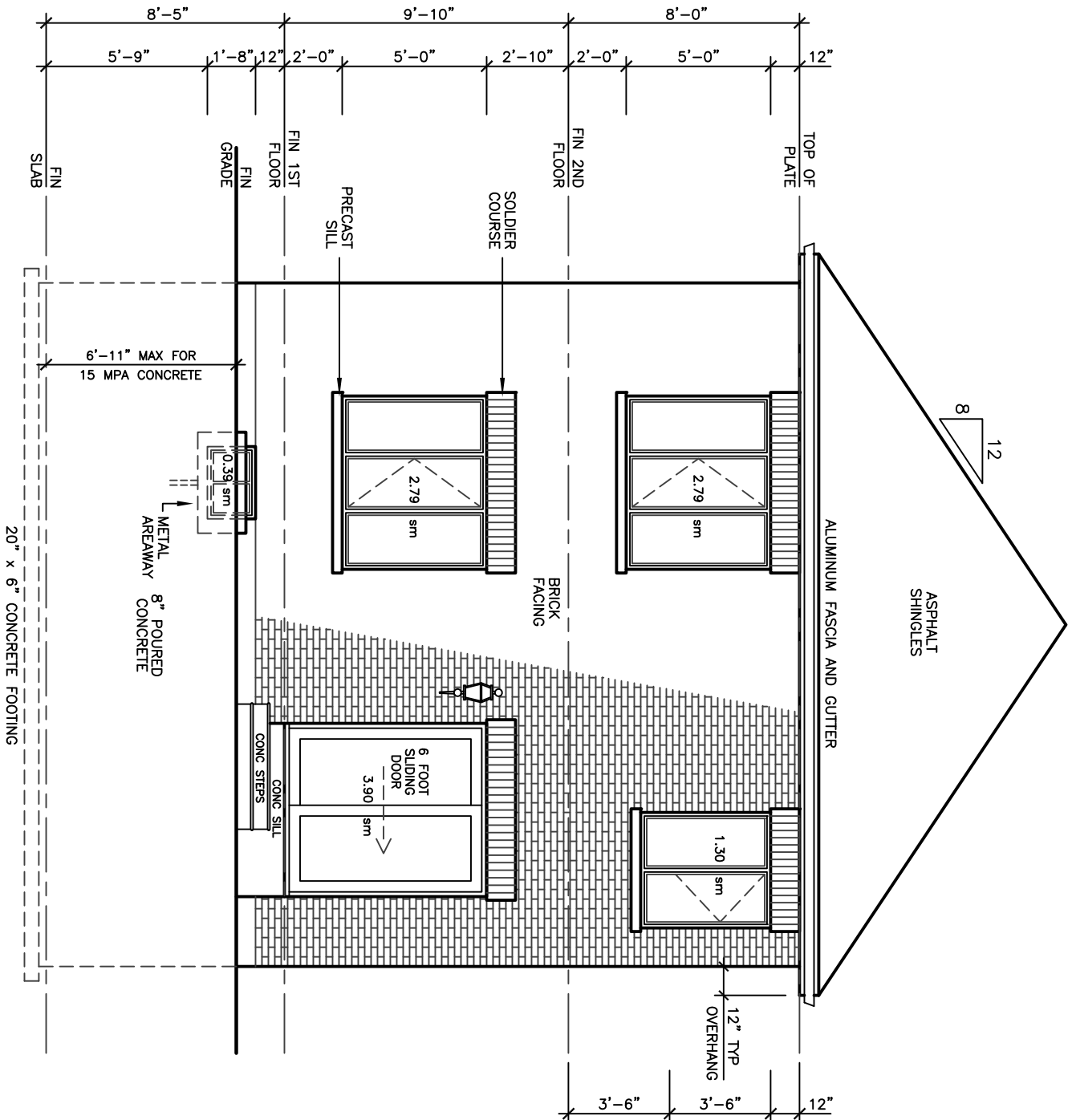


56 PENNSYLVANIA AVE.
CONCORD, ONT. L4K 3Y9
TEL 905 660-9393
FAX 905 660-9419

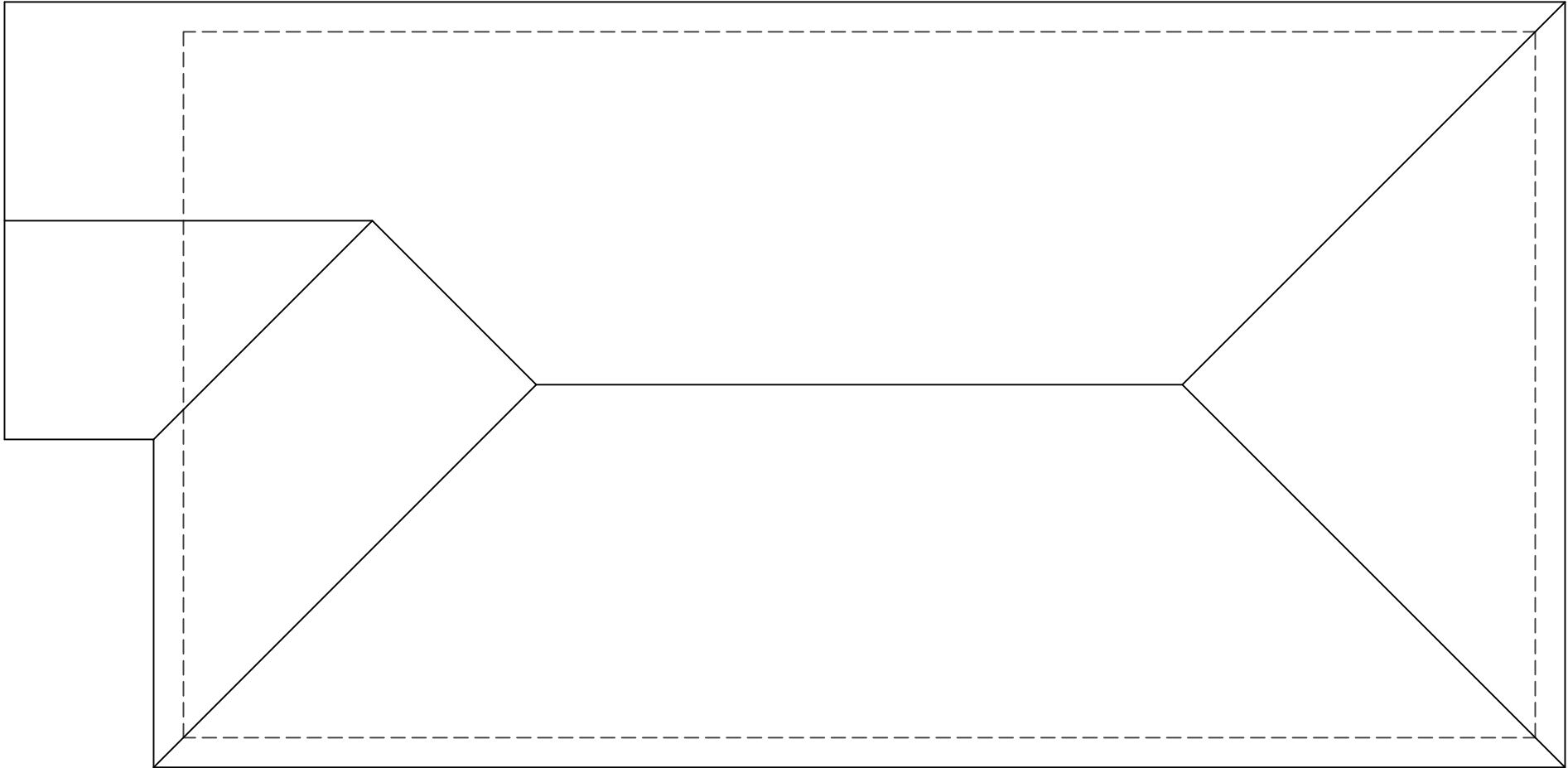
**RATHBURN
MODEL 1960**

PROJECT
PROPOSED
TWO STOREY DWELLING
FOR: LORMEL HOMES
AT: BRADFORD

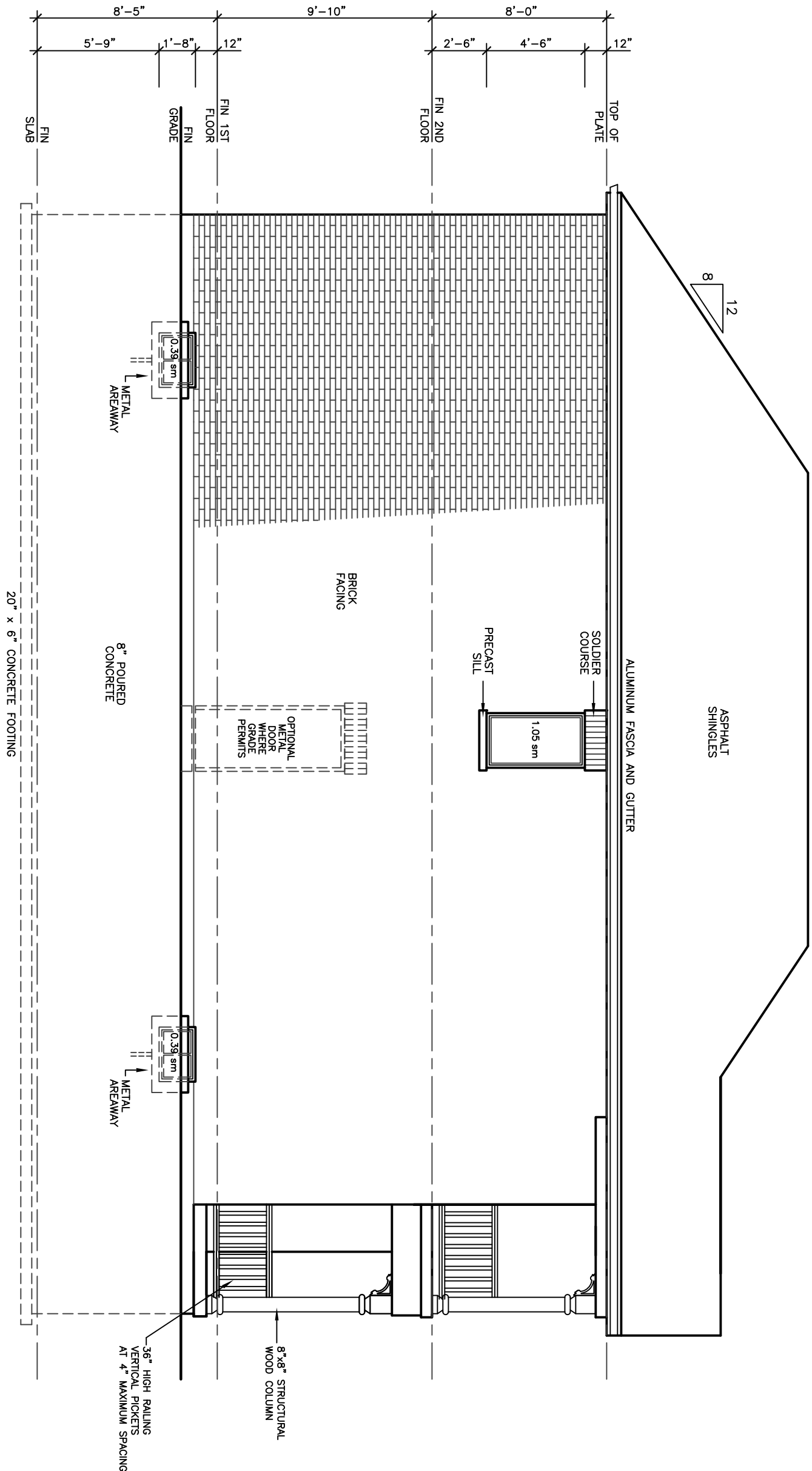
DRAWING	REAR AND LEFT SIDE ELEVATIONS 'B' ROOF PLAN 'B'
DATE	JAN '19
DRAWN	19-64
CHECKED	N.L.
SCALE	3/16"=1'-0"
	A-7



REAR ELEVATION 'B'



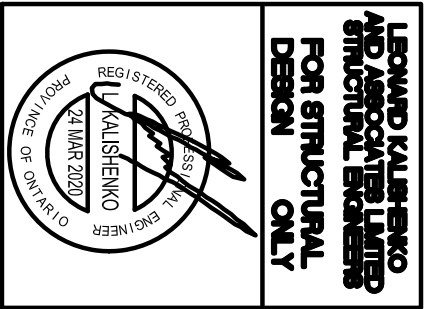
ROOF PLAN 'B'



LEFT SIDE ELEVATION 'B'

30' LOT

REVISIONS		DATE
1		



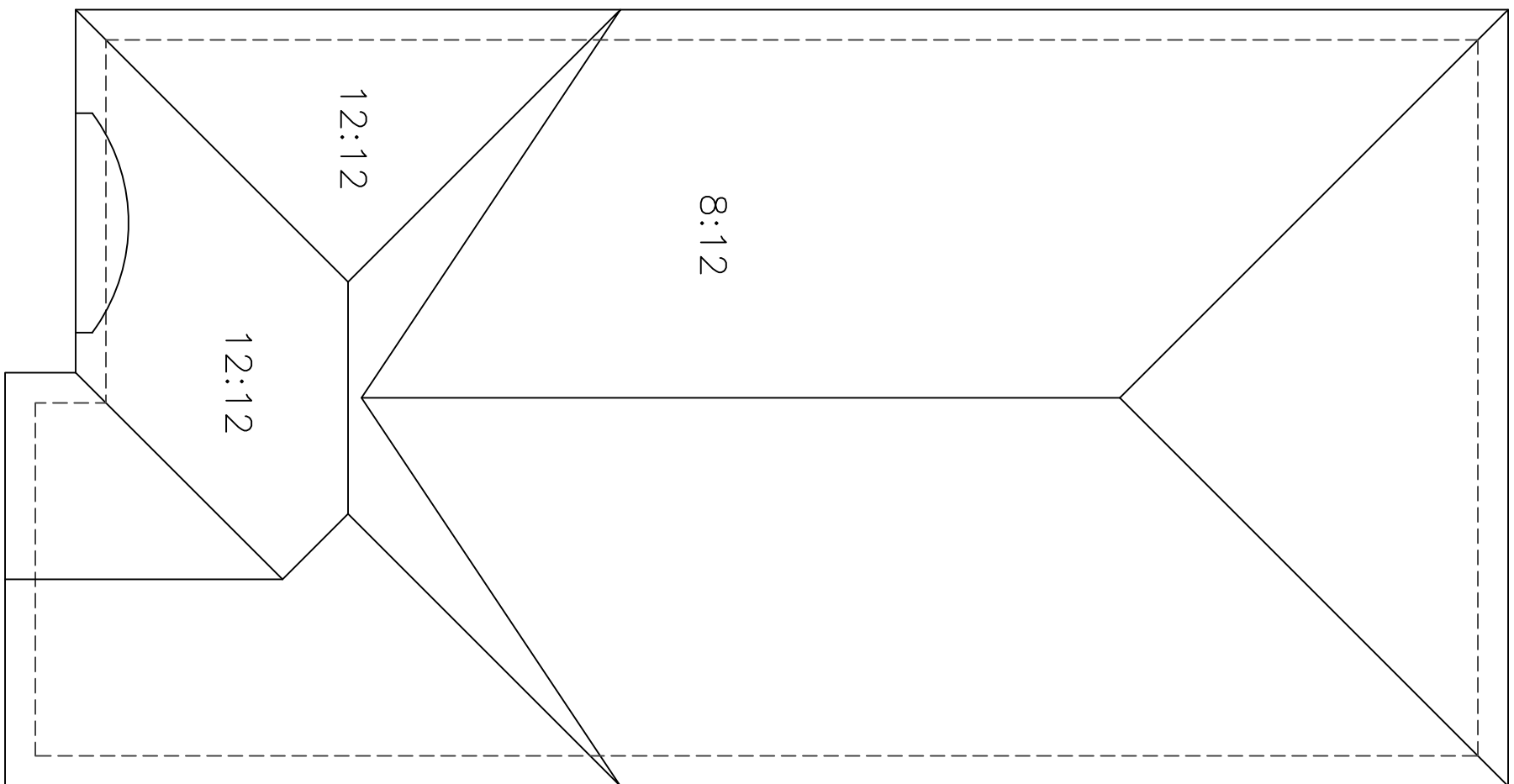
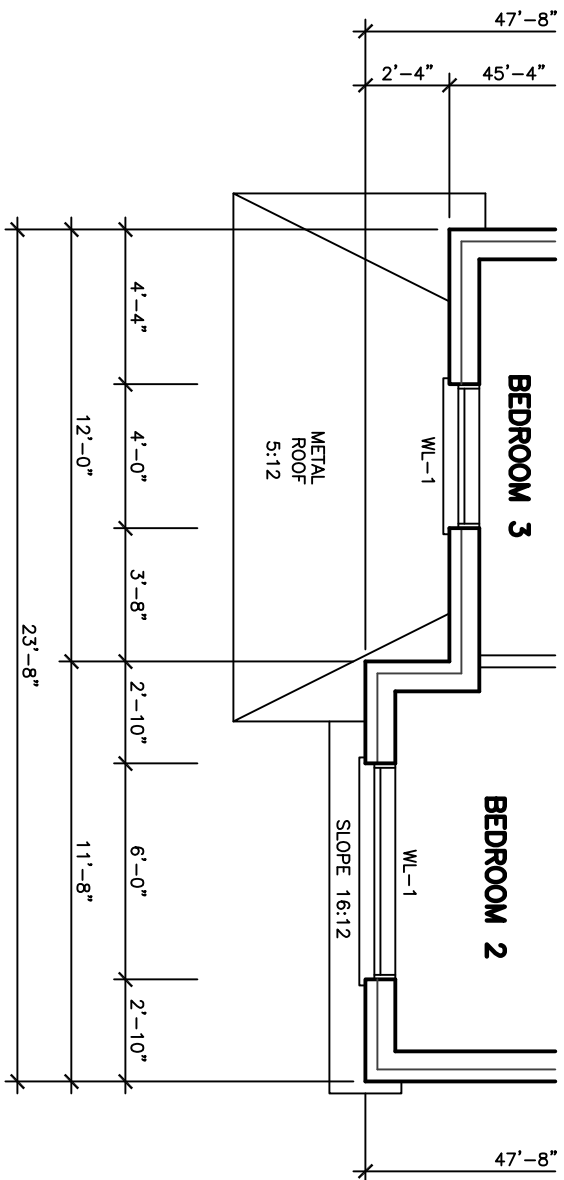
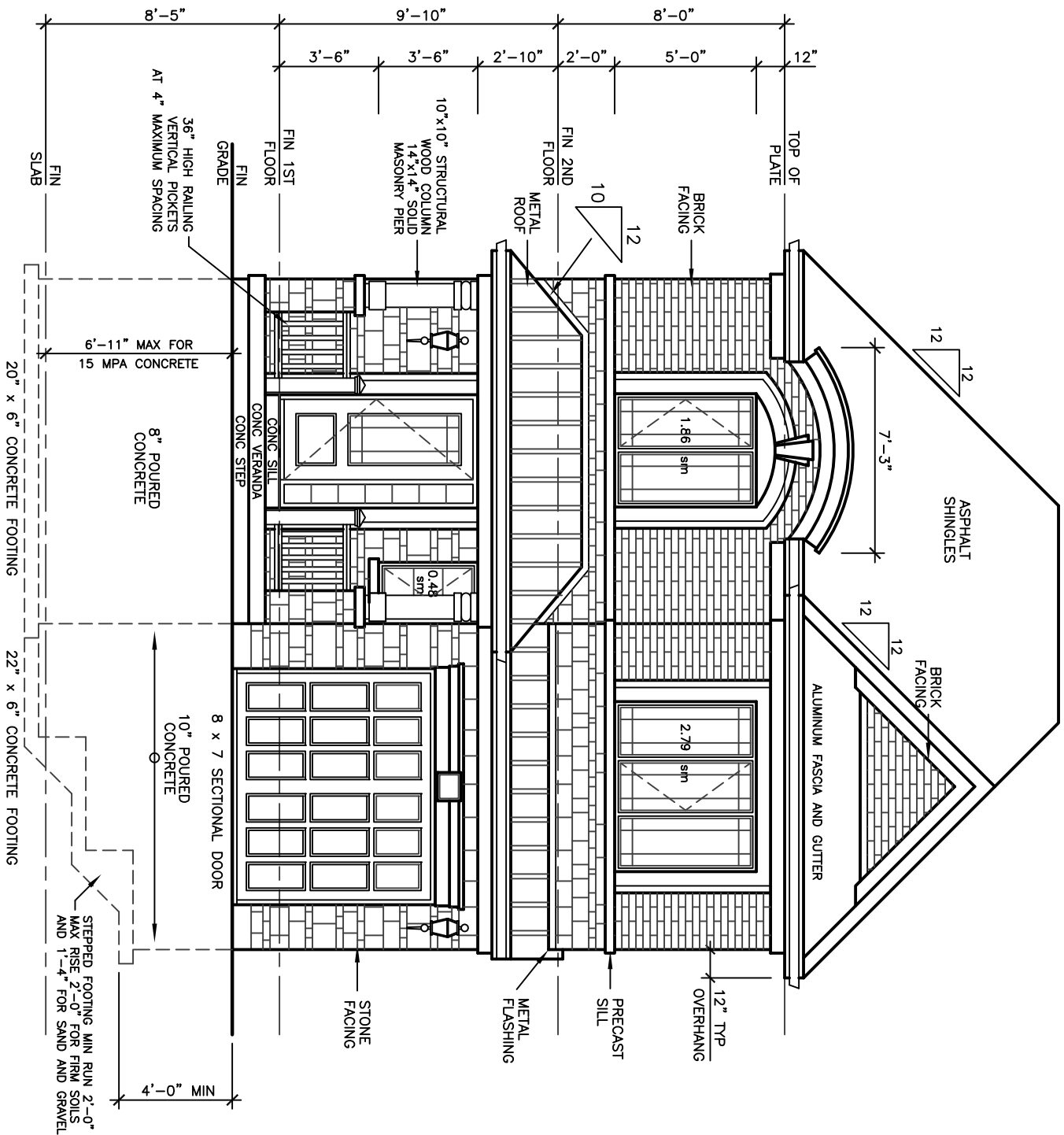
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DESIGN INC.**
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TEL 905 660-9393
FAX 905 660-9419

**RATHBURN
MODEL 1960**

PROJECT
PROPOSED
TWO STOREY DWELLING
FOR: LORAMEL HOMES
AT: BRADFORD

DRAWING		PROJECT NO
FRONT ELEV 'C' AND ROOF PLAN		
DATE	JAN '19	
DRAWN	N.L.	19-64
CHECKED		DRAWING NO
SCALE		A-8
3/16"=1'-0"		



FINISHED GRADE'S PROFILE LINE IS GENERIC AND DOES NOT REFLECT EXACT ELEVATION, TYPES OF GLASS AND PROTECTION OF GLASS BE IN ACCORDANCE WITH [OBC 9.14.3.1].

RESISTANCE TO FORCED ENTRY SHALL BE PROVIDED FOR CONSTRUCTION ACCORDANCE WITH OBC 9.21.4.2 AND FOR WINDOWS IN GUARDS SHALL CONFORM TO OBC 9.8.8.1 AND SHALL RESIST LOADS IN CONFORMANCE WITH TABLE 9.8.8.2.

GLASS IN GUARDS CONFORM TO OBC SECTION 9.8.8.1.

THE MAXIMUM AGGREGATE AREA OF EXPOSURE OF EXPOSED EXPOSING BUILDING FACE SHALL CONFORM TO TABLE 9.10.14.4.

FOR BUILDINGS CONTAINING ONLY DWELLING UNITS, CONSTRUCTION OF EXPOSING BUILDING FACES SHALL CONFORM TO OBC 9.10.13.5. EVERY WINDOW WELL SHALL BE DRAINED TO THE FOOTING LEVEL OR OTHER SUITABLE LOCATION. [OBC 9.14.8.3]

WHERE STEP FOOTINGS ARE USED, THE PERIODIC RISE BETWEEN THE HORIZONTAL, PLANE OF THE FOUNDATION AND THE HORIZONTAL DISTANCE BETWEEN RISERS SHALL BE NOT LESS THAN 600 mm. [OBC 9.15.3.3]

THE THICKNESS AND HEIGHT OF FOUNDATION BLOCKS OR FOUNDATION SHALL BE NOT LESS THAN 150 mm ABOVE FINISHED GROUND LEVEL. [OBC 9.15.4.6]

THE UNOBSTRUCTED ROOF VENT AREA SHALL BE NOT LESS THAN 1/200 OF THE INSULATED CEILING AREA WHERE THE ROOF SLOPE IS LESS THAN 12:12. UNOBSTRUCTED ROOF ARE UNOBSTRUCTED VENT AREA SHALL BE NOT CEILING AREA [OBC 9.19.1.2]

FLASHING SHALL BE INSTALLED IN MASONRY AND MASONRY VENEER WALLS IN CONFORMANCE WITH OBC 9.20.13.3.(1).

THROUGHOUT FLASHING SHALL BE PROVIDED IN A MASONRY VENEER WALL SUCH THAT ANY MOISTURE WHICH ACCUMULATES IN THE AIR SPACE SHALL BE DRAINED TO THE EXTERIOR OF THE BUILDING. [OBC 9.20.13.3.(2)]

WEEP HOLES THAT ARE SPACED NOT MORE THAN 1200 mm ON CENTER SHALL BE PROVIDED AT THE BOTTOM OF CAVITIES OR AIR SPACES IN MASONRY VENEER WALLS AND ABOVE ROOF SURFACES. [OBC 9.20.13.3]

A CHIMNEY FLUE SHALL EXTEND NOT LESS THAN 1.5 m ABOVE THE ROOF SURFACE AT WHICH THE CHIMNEY COMES IN CONTACT WITH THE ROOF AND SHALL EXTEND NOT LESS THAN 1.5 m ABOVE THE ROOF SURFACE OF THE CHIMNEY. [OBC 9.21.4.4]

THE SLOPE OF ROOF SURFACES, ON WHICH ROOF COVERINGS MAY BE APPLIED, SHALL CONFORM TO OBC 9.28.3.1.

FLASHING SHALL BE INSTALLED AT ALL INTERSECTIONS LISTED OBC 9.28.4

WHERE SLOPING SURFACES OF SHINGLED ROOFS INTERSECT TO FORM A VALLEY, THE VALLEY SHALL BE FLASHED IN CONFORMANCE WITH OBC 9.28.4.3.

AN EXTERIOR LIGHTING OUTLET WITH FIXTURE SHALL BE PROVIDED FOR BUILDINGS OF RESIDENTIAL OCCUPANCY. [OBC 9.34.2.1]

REFER TO LOT GRADING / SITE PLAN FOR EXTERIOR STEPS, DOOR, REAR PORCHES AND EXTERIOR DECK OR BASEMENT WALKOUT CONDITION.

EVERY SURFACE TO WHICH ACCESS IS PROVIDED, FOR OTHER THAN MAINTENANCE PURPOSES, SHALL BE PROTECTED BY A SURFACE FINISH OR FINISHING MATERIAL ON EACH SIDE THAT IS NOT PROTECTED BY A WALL FOR THE LENGTH WHERE:

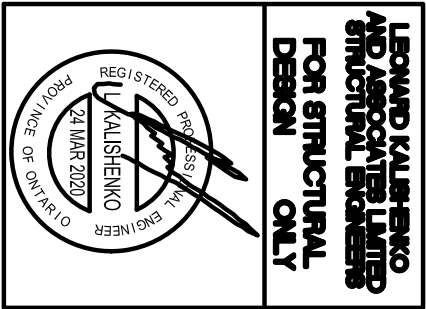
(a) OF MORE THAN 600 mm OR (b) THE ADJACENT SURFACE WITHIN 1.2 m OF MORE THAN 1 IN 2 [OBC 9.8.8.3.(1)]

FOR BUILDINGS CONTAINING ONLY DWELLING UNITS, CONSTRUCTION OF EXPOSING BUILDING FACE SHALL CONFORM TO OBC 9.19.1.2. THE UNOBSTRUCTED ROOF VENT AREA SHALL BE NOT LESS THAN 1/200 OF THE INSULATED CEILING AREA WHERE THE ROOF SLOPE IS LESS THAN 12:12. UNOBSTRUCTED ROOF ARE UNOBSTRUCTED VENT AREA SHALL BE NOT CEILING AREA [OBC 9.19.1.2]

WALLS AND WINDOWS AREA			
ELEVATION	WALL AREA	WINDOWS AREA	%
FRONT ELEVATION	42.87 SM	5.13 SM	
RIGHT SIDE ELEVATION	86.05 SM	1.43 SM	
LEFT SIDE ELEVATION	42.87 SM	18.13 SM	
REAR ELEVATION	257.84 SM	7.03	
TOTAL AREA			

30' LOT

REVISIONS		DATE
1		



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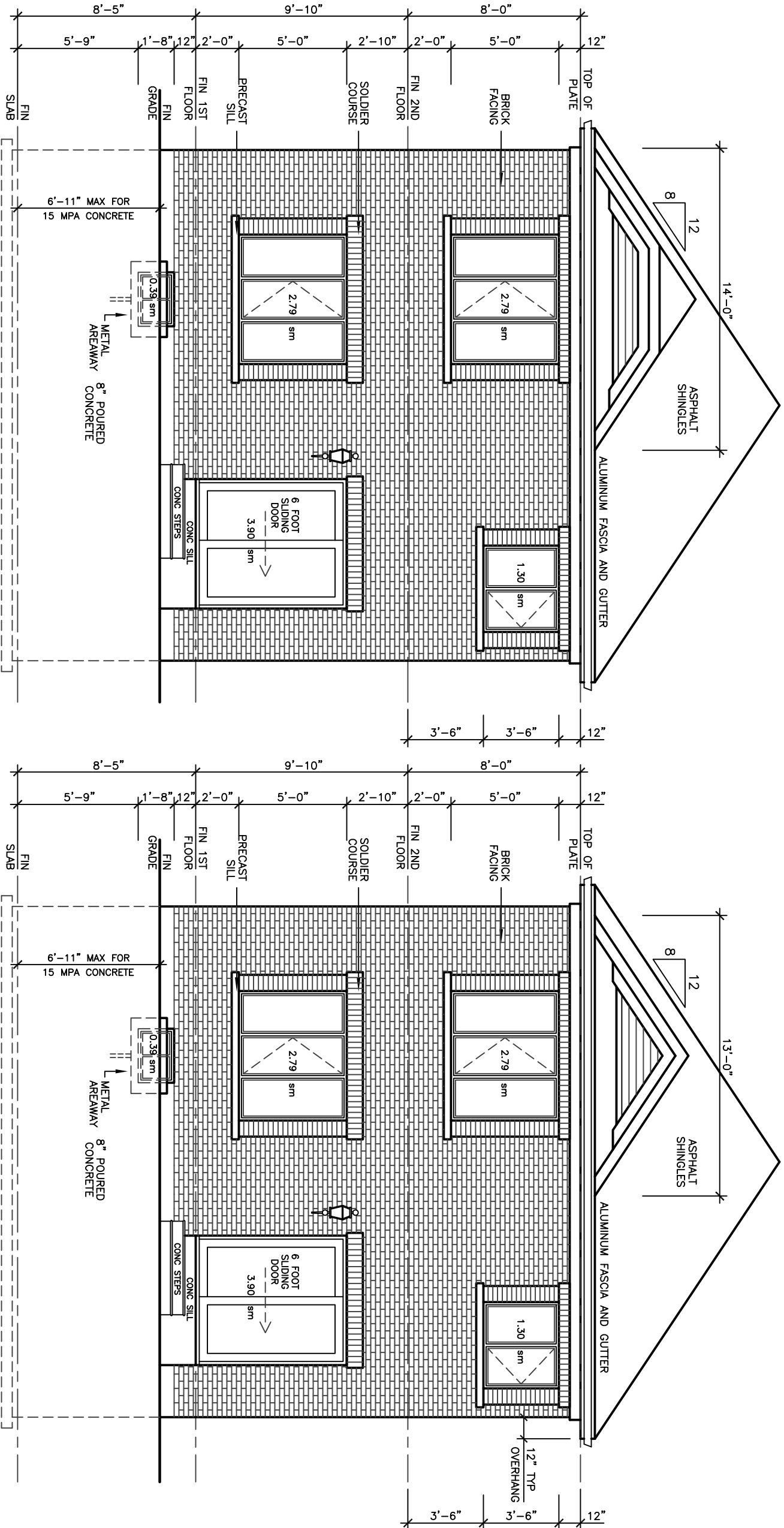
**ARCHITECTURAL
DESIGN INC.**
56 PENNSYLVANIA AVE.
CONCORD, ONT. L4K 3Y9
TEL 905 660-9393
FAX 905 660-9419

**RATHBURN
MODEL 1960**

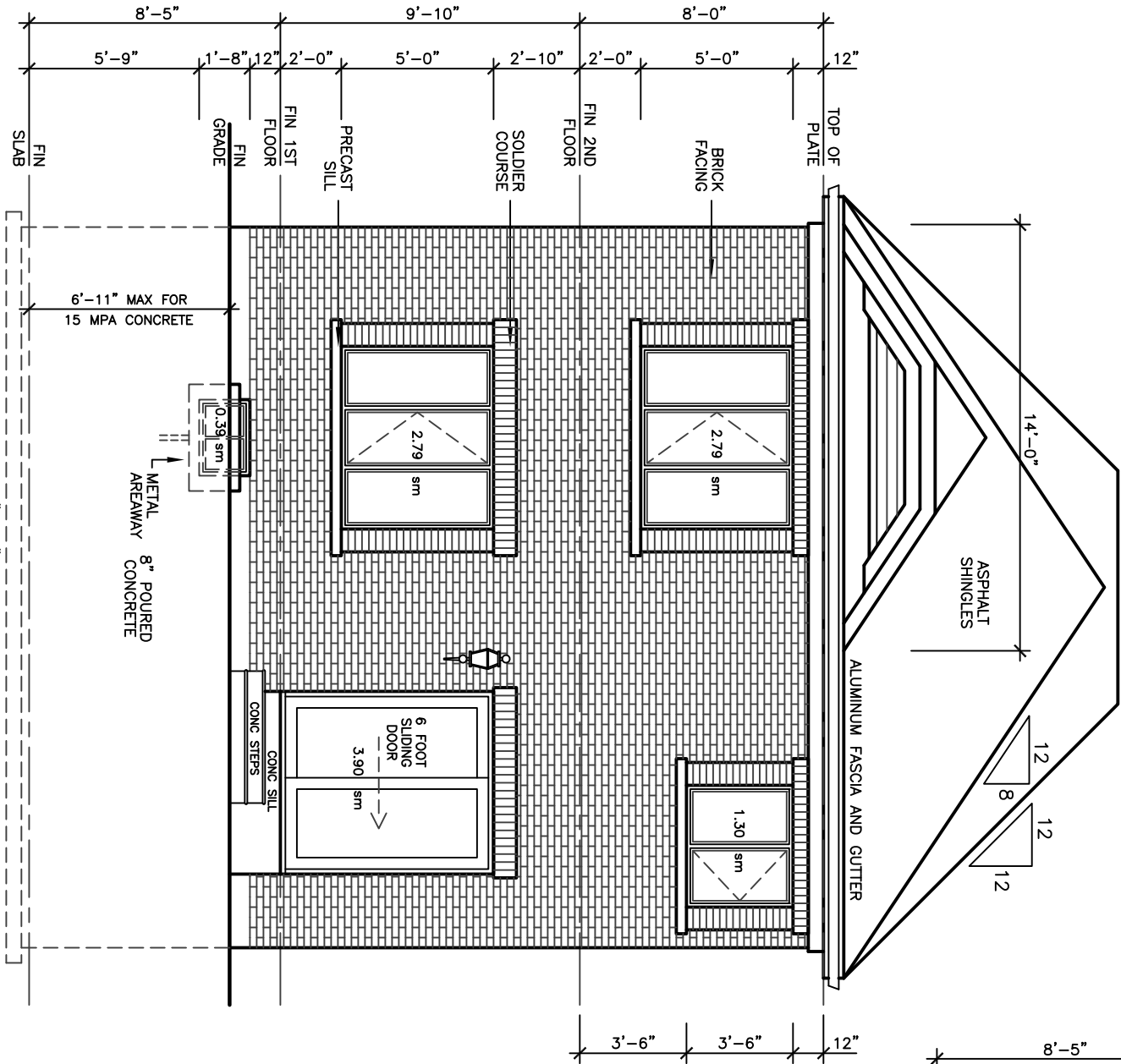
PROJECT
PROPOSED
TWO STOREY DWELLING
FOR: LORAMEL HOMES
AT: BRADFORD

DRAWING
UPGRADE REAR
ELEVATIONS

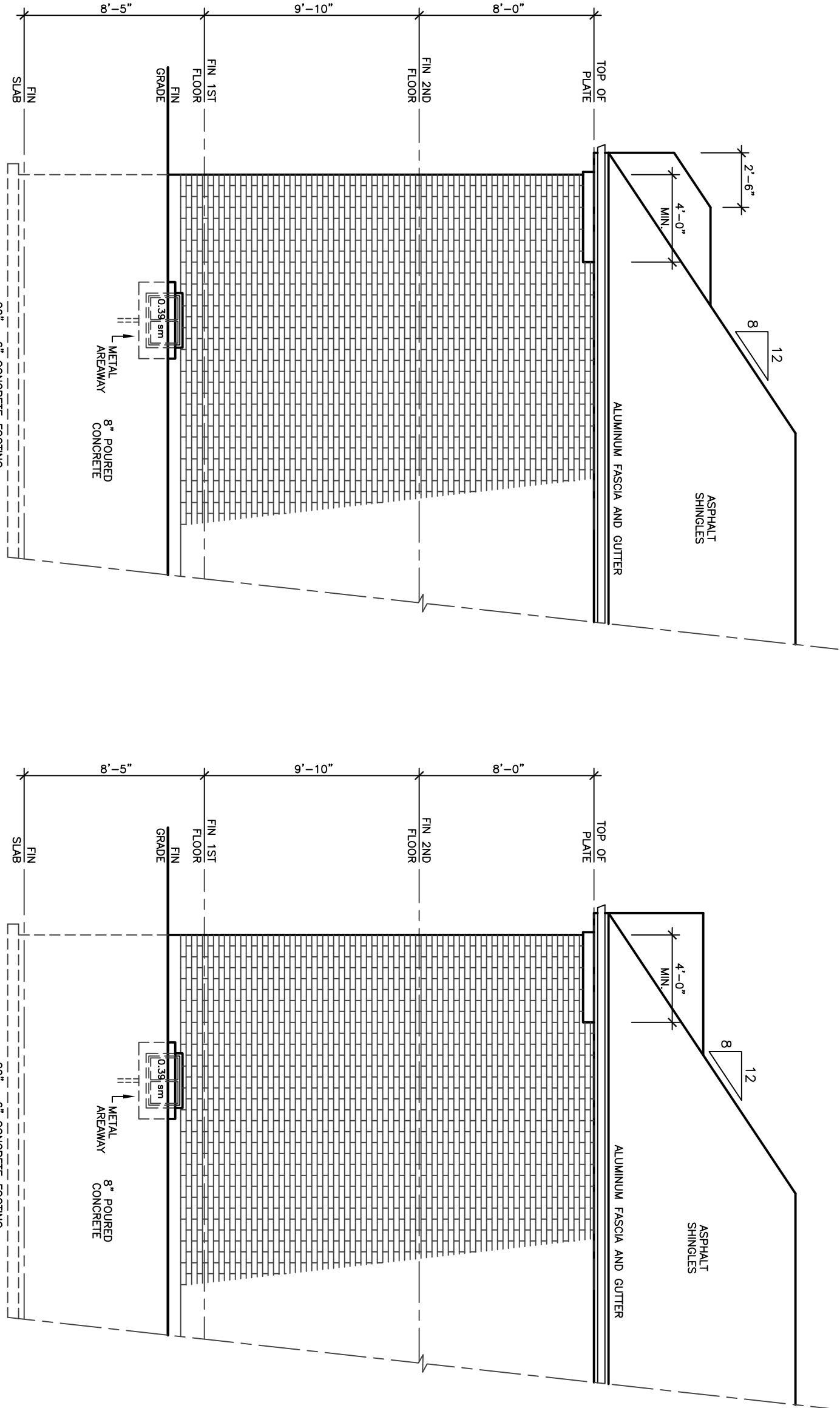
DATE	JAN '19	PROJECT NO	19-64
DRAWN	N.L.	DRAWING NO	A-9
CHECKED			
SCALE	3/16"=1'-0"		



UPGRADE REAR ELEVATION 'A'



UPGRADE REAR ELEVATION 'B'



UPGRADE REAR ELEVATION 'C'

30' LOT