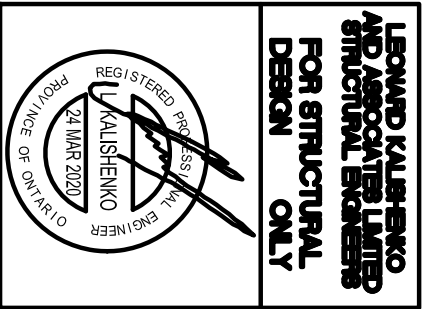
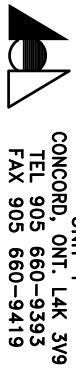


| REVISIONS |                                  |
|-----------|----------------------------------|
| #         | DATE                             |
| 1         | REVISED STRUCTURE TO A.S. JOISTS |
|           | MR. 19 19                        |
|           |                                  |
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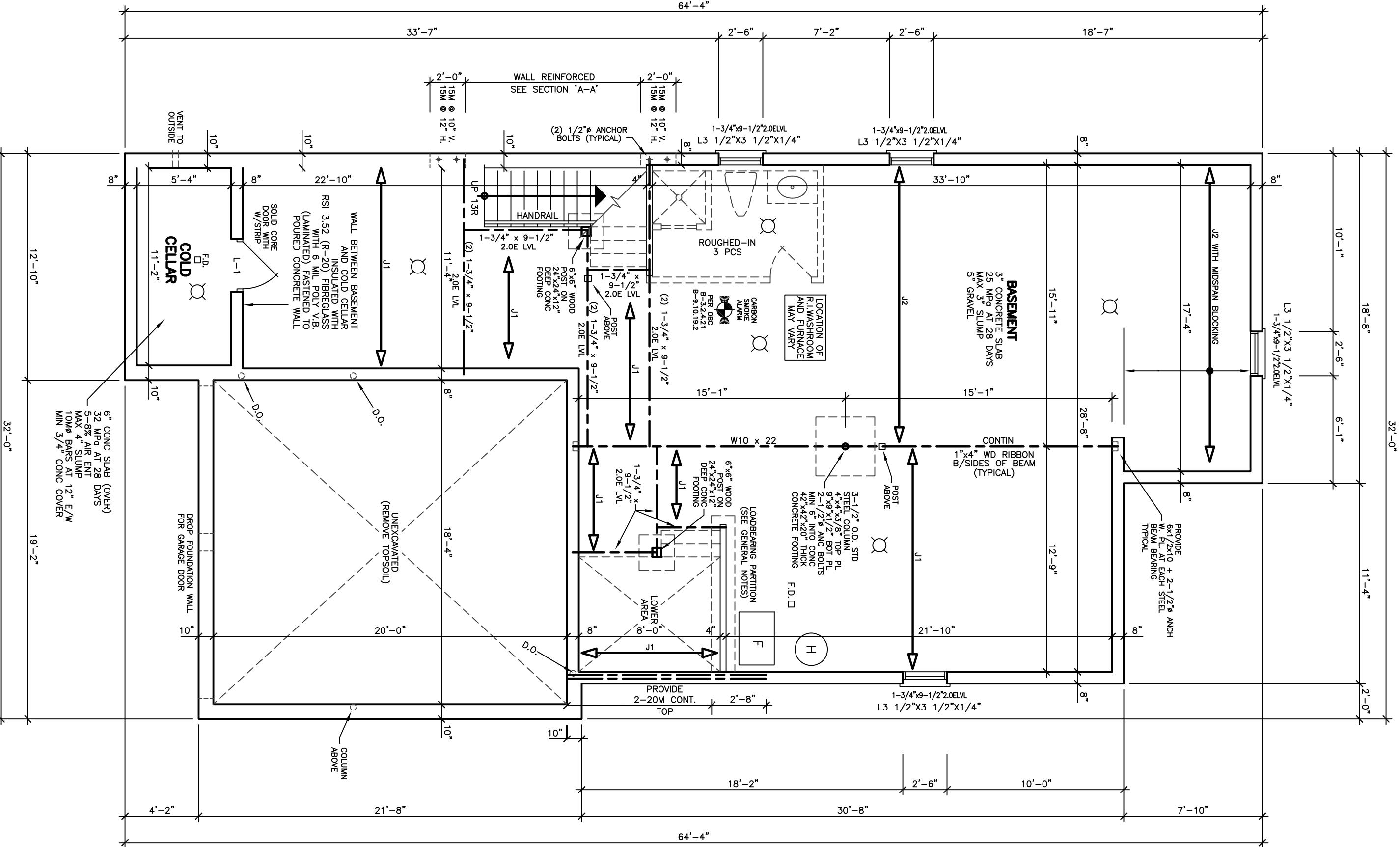
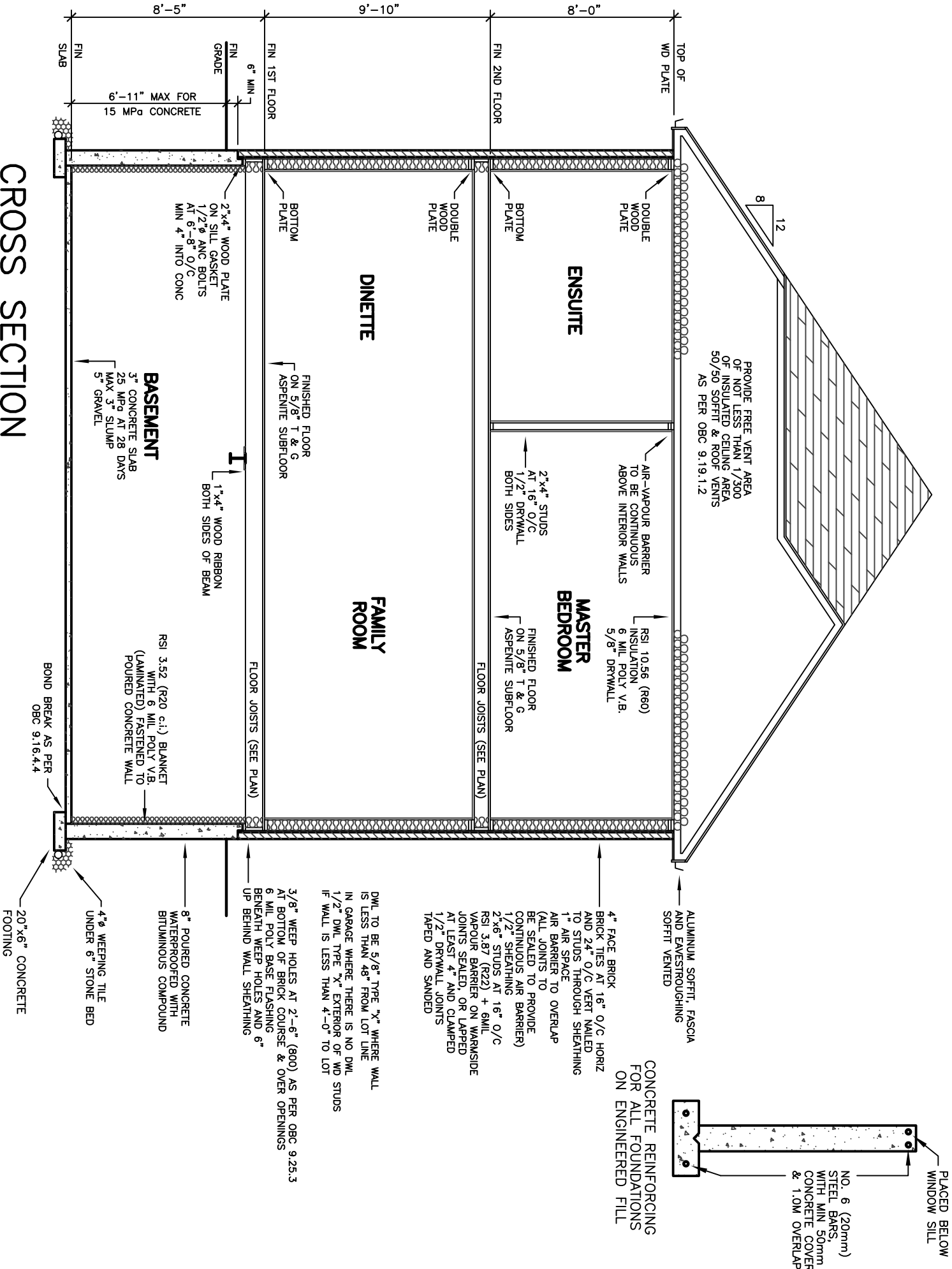
**STANTON**  
**MODEL 2760**

PROJECT  
PROPOSED  
TWO STOREY DWELLING  
FOR: LORNE L HOMES  
A.T: BRADFORD

DRAWING  
BASEMENT FLOOR PLAN  
CROSS SECTION

|         |             |
|---------|-------------|
| DATE    | JUN '19     |
| DRAWN   | N.L.        |
| CHECKED |             |
| SCALE   | 3/16"=1'-0" |

PROJECT NO  
19-64  
DRAWING NO  
A-2

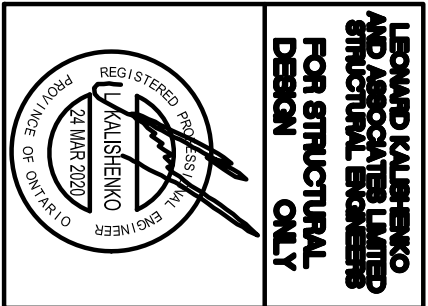


38' LOT

PROJECT NO  
19-64  
DRAWING NO  
A-2



| REVISIONS | DATE |
|-----------|------|
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LEONARD KULSHRESHNA  
REGISTERED PROFESSIONAL ENGINEER  
FOR STRUCTURAL ONLY  
ONLINE DRAWING



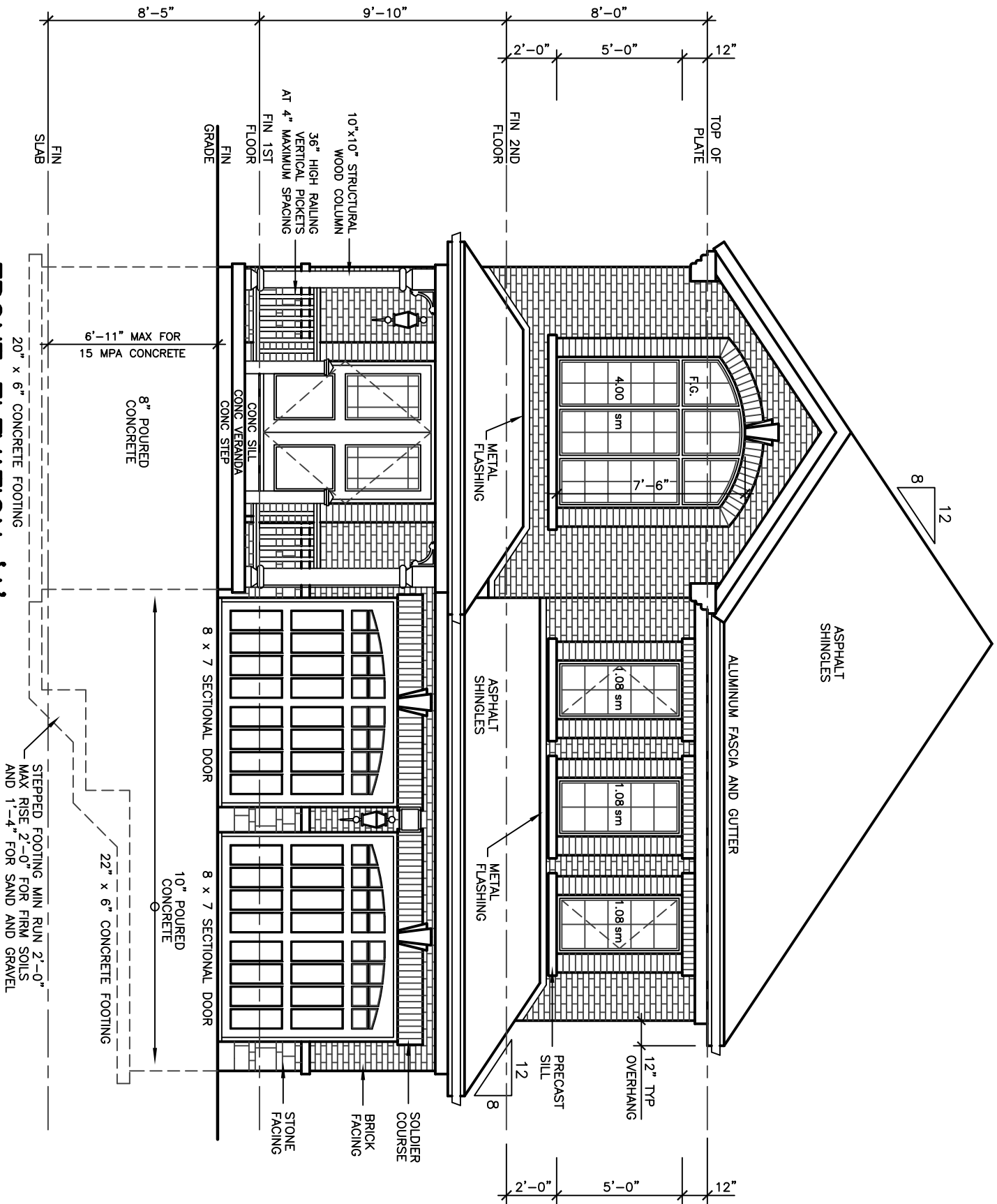
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**ARCHITECTURAL  
DESIGN INC.**  
56 PENNSYLVANIA AVE.  
CONCORD, ONT. L4K 3Y9  
TEL 905 660-9393  
FAX 905 660-9419

**STANTON  
MODEL 2760**

PROJECT  
PROPOSED  
TWO STOREY DWELLING  
FOR: LORNEI HOMES  
AT: BRADFORD

|            |  |
|------------|--|
| DRAWING    | FRONT AND RIGHT<br>SIDE ELEVATIONS 'A' |
| DATE       | JAN '19                                |
| DRAWN      | N.L.                                   |
| CHECKED    |  |
| SCALE      | 3/16"=1'-0"                            |
| PROJECT NO | 19-64                                  |
| DRAWING NO | A-4                                    |



FRONT ELEVATION 'A'

KEEP HOLES THAT ARE SPACED NOT MORE THAN 800 mm APART SHALL BE PROVIDED IN MASONRY VENEER WALLS AND ABOVE LIMITS OVER WINDOW AND DOOR OPENINGS. [OBC 9.26.3.6]

A CHIMNEY FLUE SHALL EXTEND NOT LESS THAN 1.2 m ABOVE THE ROOF LINE WITHIN WHICH THE CHIMNEY COMES IN CONTACT WITH THE ROOF, AND SHALL EXTEND NOT LESS THAN 1.2 m ABOVE THE ROOF LINE. ROOF SURFACE OR STRUCTURE WITHIN 3 m OF THE CHIMNEY. [OBC 9.21.4.4]

THE SLOPE OF ROOF SURFACES ON WHICH ROOF COVERINGS MAY BE APPLIED, SHALL CONFORM TO OBC 9.26.3.1.

FLASHING SHALL BE INSTALLED AT ALL INTERSECTIONS LISTED OBC 9.26.4 WHERE SLOPING SURFACES OF SHINGLED ROOFS INTERSECT TO FORM A VALLEY, THE VALLEY SHALL BE FLASHED IN CONFORMANCE WITH OBC 9.26.4.3.

AN EXTERIOR LIGHTING OUTLET WITH FIXTURE CONTROLLED BY AN AUTOMATIC LOCATED WITHIN THE BUILDING SHALL BE PROVIDED AT EVERY ENTRANCE TO BUILDINGS OF RESIDENTIAL OCCUPANCY. [OBC 9.34.2.1]

REFER TO LOT GRADING / SITE PLAN FOR REQUIRED NUMBER OF EXTERIOR STEPS, WHICH SHALL BE 3 OR MORE.

EVERY SURFACE TO WHICH ACCESS IS PROVIDED FOR OTHER THAN MAINTENANCE PURPOSES, SHALL BE PROTECTED BY A CURB OR RAILING NOT LESS THAN 1.2 m HIGH. IN SIDEWALKS NOT PROTECTED BY A WALL FOR THE LENGTH WHERE:

(a) THERE IS A DIFFERENCE IN ELEVATION OF MORE THAN 1.2 m [OBC 9.15.4.2]

(b) THE ADJACENT SURFACE WITHIN 1.2 m OF THE WALKING SURFACE IS A SLOPE OF MORE THAN 1 IN 2 [OBC 9.15.4.1(1)]

FOR BUILDINGS CONTAINING ONLY DWELLING UNITS, BUILDINGS CONTAINING ONLY MAINTENANCE PURPOSES, SHALL BE PROTECTED BY A CURB OR RAILING NOT LESS THAN 1.2 m HIGH. IN SIDEWALKS NOT PROTECTED BY A WALL FOR THE LENGTH WHERE:

(a) HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 45 MIN WHERE THE LIMITING DISTANCE IS LESS THAN 1.2 m, BUT NOT LESS THAN 0.6 m, OR

(b) HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 15 MIN WHERE THE LIMITING DISTANCE IS LESS THAN 0.6 m. [OBC 9.10.15.3.(2)]

THROUGHOUT FLASHING SHALL BE PROVIDED IN ALL MASONRY VENEER WALLS THAT ARE MOISTURE WHICH ACCUMULATES IN THE AIR SPACE WILL BE DIRECTED TO THE EXTERIOR OF THE BUILDING. [OBC 9.26.15.3.(2)]

THE MAXIMUM AGGREGATE AREA OF UNPROTECTED OPENINGS IN AN EXPOSING BUILDING SHALL CONFORM TO TABLE 9.10.14.4.

FOR BUILDINGS CONTAINING ONLY DWELLING UNITS CONSTRUCTION OF EXPOSING BUILDING UNITS SHALL CONFORM TO OBC 9.10.15.5. EVERY WINDOW WELL SHALL BE DRAINED TO THE FOOTING LEVEL OR OTHER SUITABLE LOCATION. [OBC 9.14.6.3]

WHERE STEP FOOTINGS ARE USED, THE VERTICAL RISE BETWEEN THE HORIZONTAL AND THE HORIZONTAL DISTANCE BETWEEN RISERS SHALL BE NOT LESS THAN 600 mm. [OBC B 9.15.3.9]

THE THICKNESS AND HEIGHT OF FOUNDATION WALLS MADE OF UNREINFORCED CONCRETE SHALL CONFORM TO OBC 9.15.4.2.4 FOR WALLS CONFORM TO TABLE 9.15.4.2.4 FOR WALLS CONFORM TO OBC 9.15.4.2

EXTERIOR FOUNDATION WALLS SHALL EXTEND NOT LESS THAN 150 mm ABOVE FINISHED GROUND LEVEL. [OBC 9.15.4.6]

VENTING FOR ROOF SPACES SHALL CONFORM TO OBC 9.19.1.2.

THE UNPROTECTED ROOF VENT AREA SHALL BE NOT LESS THAN 1/500 OF THE INSULATED CEILING AREA WHERE THE ROOF SLOPE IS LESS THAN 12% OR IN ROOFS THAT ARE CONSTRUCTED WITH ROOF JOISTS THAT ARE UNPROTECTED VENT AREA SHALL BE NOT LESS THAN 1/50 OF THE INSULATED CEILING AREA. [OBC 9.19.1.2]

FLASHING SHALL BE INSTALLED IN MASONRY VENEER WALLS THAT ARE MOISTURE WHICH ACCUMULATES IN THE AIR SPACE WILL BE DIRECTED TO THE EXTERIOR OF THE BUILDING. [OBC 9.26.15.3.(2)]

- CONSTRUCTION INFORMATION & MATERIALS REQUESTED BY CITY
1. SIDING MATERIAL WILL BE VINYL SIDING
  2. SPRAY FOAM WILL BE USED IN GARAGE AND CONC # IS 13249-R
  3. DOOR AND WINDOW SHALL BE BY "BROWN" CO.
  4. GUARDS AND RAILING BY "CPL ALUM. RAIL INC." WHICH HAS DECK
  5. WOOD DECK (TYP) IS SUPPLIED ON MODEL
  6. ALL GARAGE FLOORS SLOPE 1% MIN.
  7. SEE NOTE 1, ABOVE
  8. ALL DOWNERS CONSTRUCTED OF 2x4
  9. 2 COPIES OF PRESS DRAWS WILL BE SUPPLIED
  10. EXTERIOR DOORS AND MUNICIPAL NUMBERS, WILL BE PROVIDED ON SAME PAGE
  11. REINFORCED FOUNDATION WALL AND STAIR TO FLOOR OF BASEMENT
  12. EXTENSION TO EXTEND
  13. EXTERIOR GUARD ON VERANDAS TO BE 42"
  14. AND BY CHL ALUMINUM RAILING INC
  15. SMOKE DETECTORS TO BE PROVIDED ON ALL MAIN LEVELS

FINISHED GRADE'S PROFILE LINE IS GENERIC AND DOES NOT REFLECT EXACT ELEVATION. TYPES OF GLASS AND PROTECTION OF GLASS SHALL BE IN ACCORDANCE WITH OBC 9.8.1.4.

RESISTANCE TO FORCED ENTRY SHALL BE OBC 9.7.5.2 AND FOR WINDOWS IN ACCORDANCE WITH OBC 9.7.5.3.

GUARDS SHALL CONFORM TO OBC 9.8.8.1 AND SHALL RESIST LOADS IN CONFORMANCE WITH TABLE 9.8.8.2.

GLASS IN GUARDS CONFORM TO OBC SECTION 9.8.8.1

THE MAXIMUM AGGREGATE AREA OF UNPROTECTED OPENINGS IN AN EXPOSING BUILDING SHALL CONFORM TO TABLE 9.10.14.4.

FOR BUILDINGS CONTAINING ONLY DWELLING UNITS CONSTRUCTION OF EXPOSING BUILDING UNITS SHALL CONFORM TO OBC 9.10.15.5. EVERY WINDOW WELL SHALL BE DRAINED TO THE FOOTING LEVEL OR OTHER SUITABLE LOCATION. [OBC 9.14.6.3]

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THE THICKNESS AND HEIGHT OF FOUNDATION WALLS MADE OF UNREINFORCED CONCRETE SHALL CONFORM TO OBC 9.15.4.2.4 FOR WALLS CONFORM TO TABLE 9.15.4.2.4 FOR WALLS CONFORM TO OBC 9.15.4.2

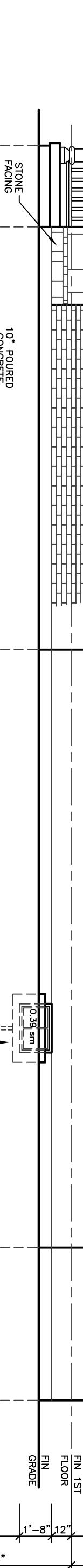
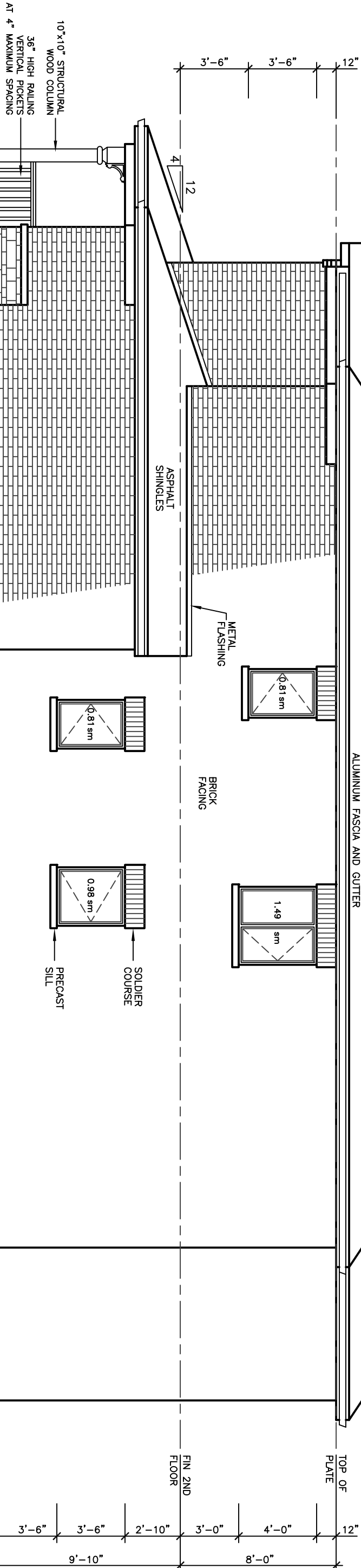
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  14. AND BY CHL ALUMINUM RAILING INC
  15. SMOKE DETECTORS TO BE PROVIDED ON ALL MAIN LEVELS



DWL TO BE 5/8" TYPE "X" WHERE WALL IS LESS THAN 48" FROM LOT LINE IN GARAGE WHERE THERE IS NO DWL 1/2" DWL TYPE "X" E.S. OF WD STUDS IF WALL IS LESS THAN 4'-0" TO LOT

RIGHT SIDE ELEVATION 'A'

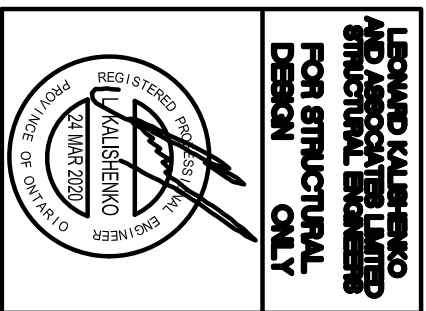
38' LOT







| REVISIONS |  | DATE |
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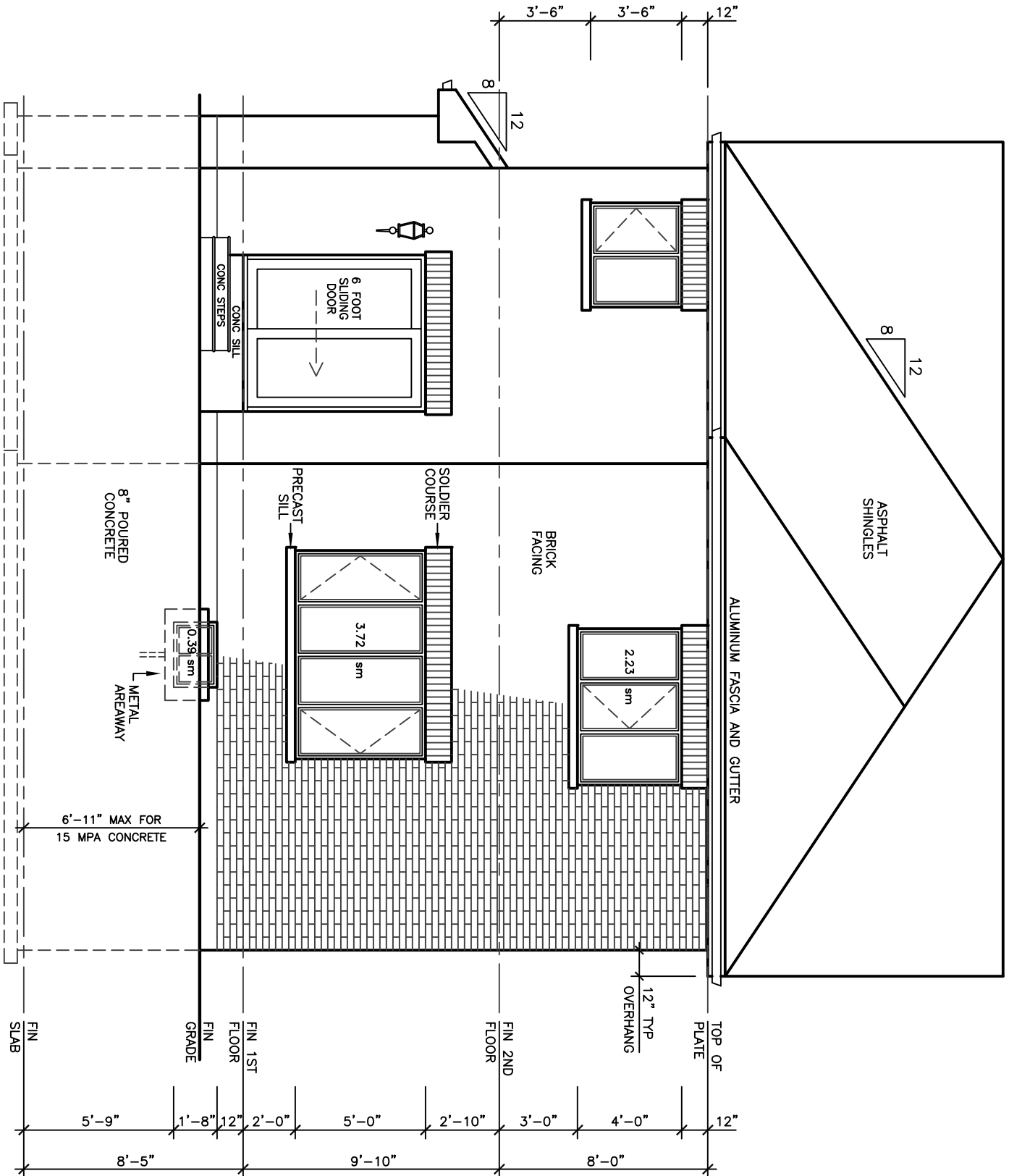
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CONCORD, ONT. L4K 3Y9  
TEL 905 660-9393  
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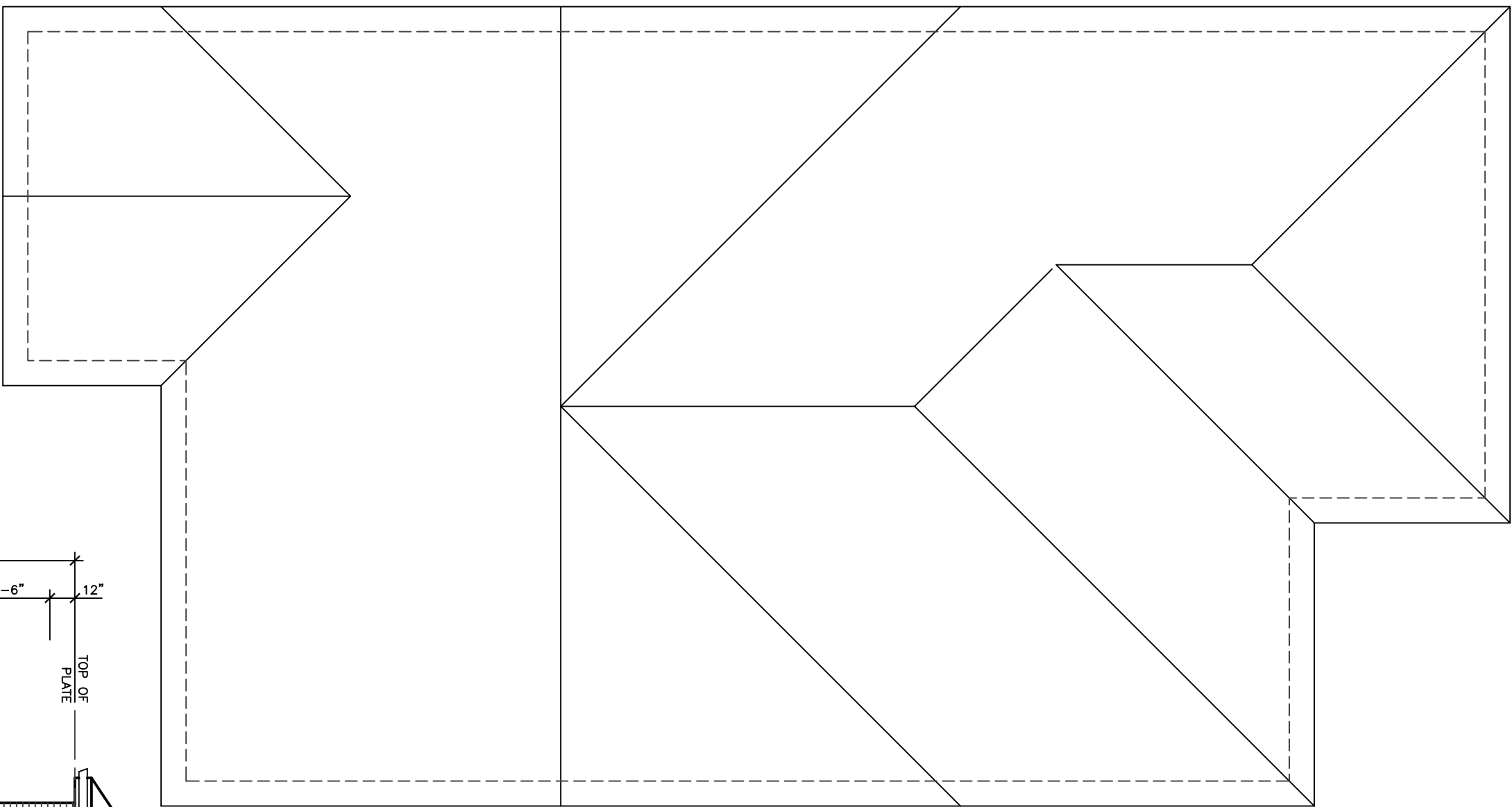
**STANTON MODEL 2760**

PROJECT  
PROPOSED  
TWO STOREY DWELLING  
FOR: LORIBEL HOMES  
AT: BRADFORD

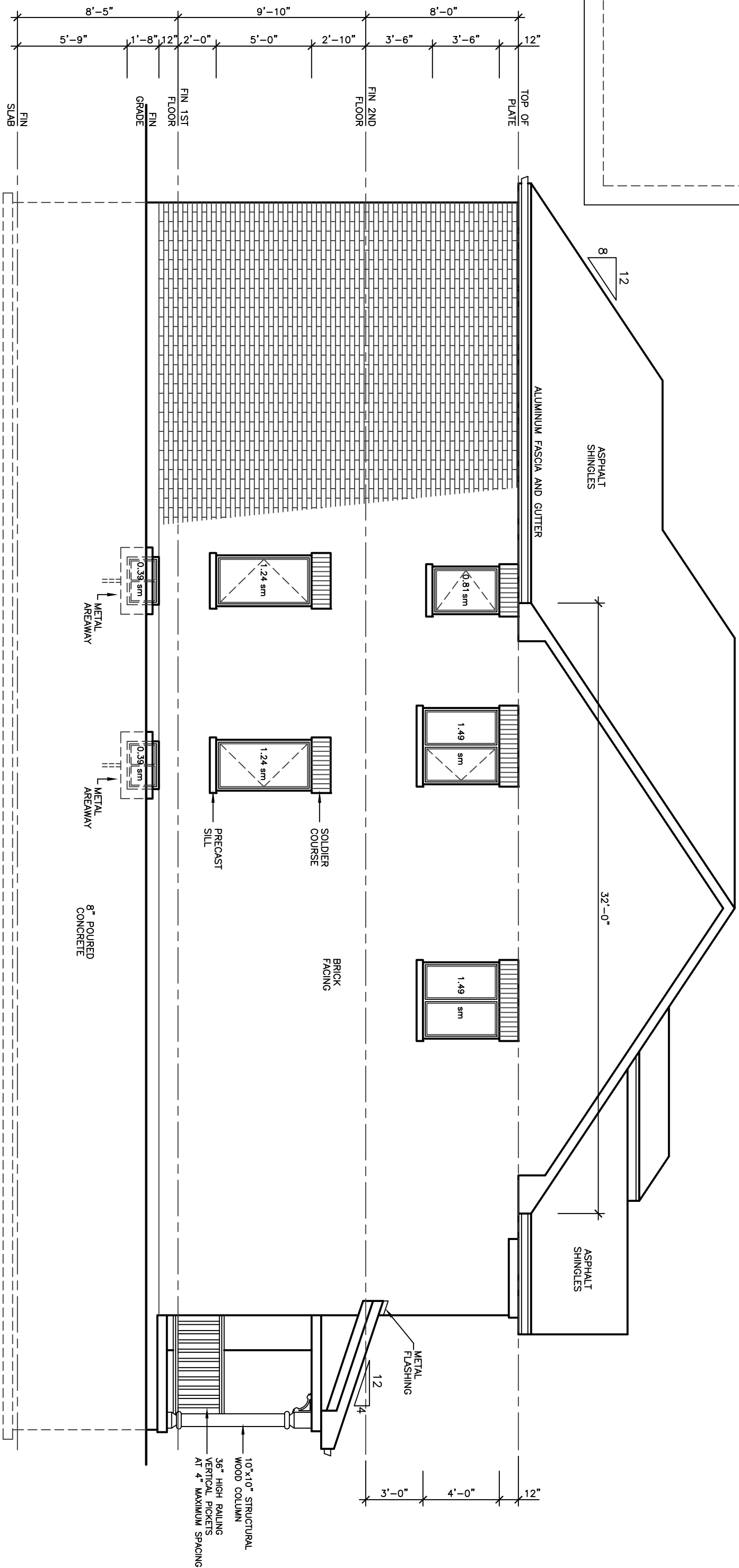
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| REAR AND LEFT<br>SIDE ELEVATIONS 'B' |             |                     |
| ROOF PLAN 'B'                        |             |                     |
| DATE                                 | JAN '19     |                     |
| DRAWN                                | N.L.        | DRAWING NO<br>A-7   |
| CHECKED                              |             |                     |
| SCALE                                | 3/16"=1'-0" |                     |



REAR ELEVATION 'B'



ROOF PLAN 'B'



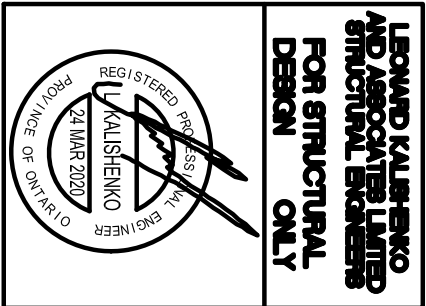
LEFT SIDE ELEVATION 'B'

|                                |                      |
|--------------------------------|----------------------|
| ALLOWABLE UNPROTECTED OPENINGS |                      |
| LIMITING DISTANCE              | 3.94 FT 1.20 M       |
| MAXIMUM PERCENTAGE             | 7.00 %               |
| TOTAL WALL AREA                | 1137.50 SF 105.88 SM |
| ALLOWED OPENINGS               | 79.20 SF 7.30 SM     |
| ACTUAL OPENINGS                | 69.08 SF 6.42 SM     |

38' LOT



| REVISIONS |  | DATE |
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| 1         |  |      |
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| 10        |  |      |



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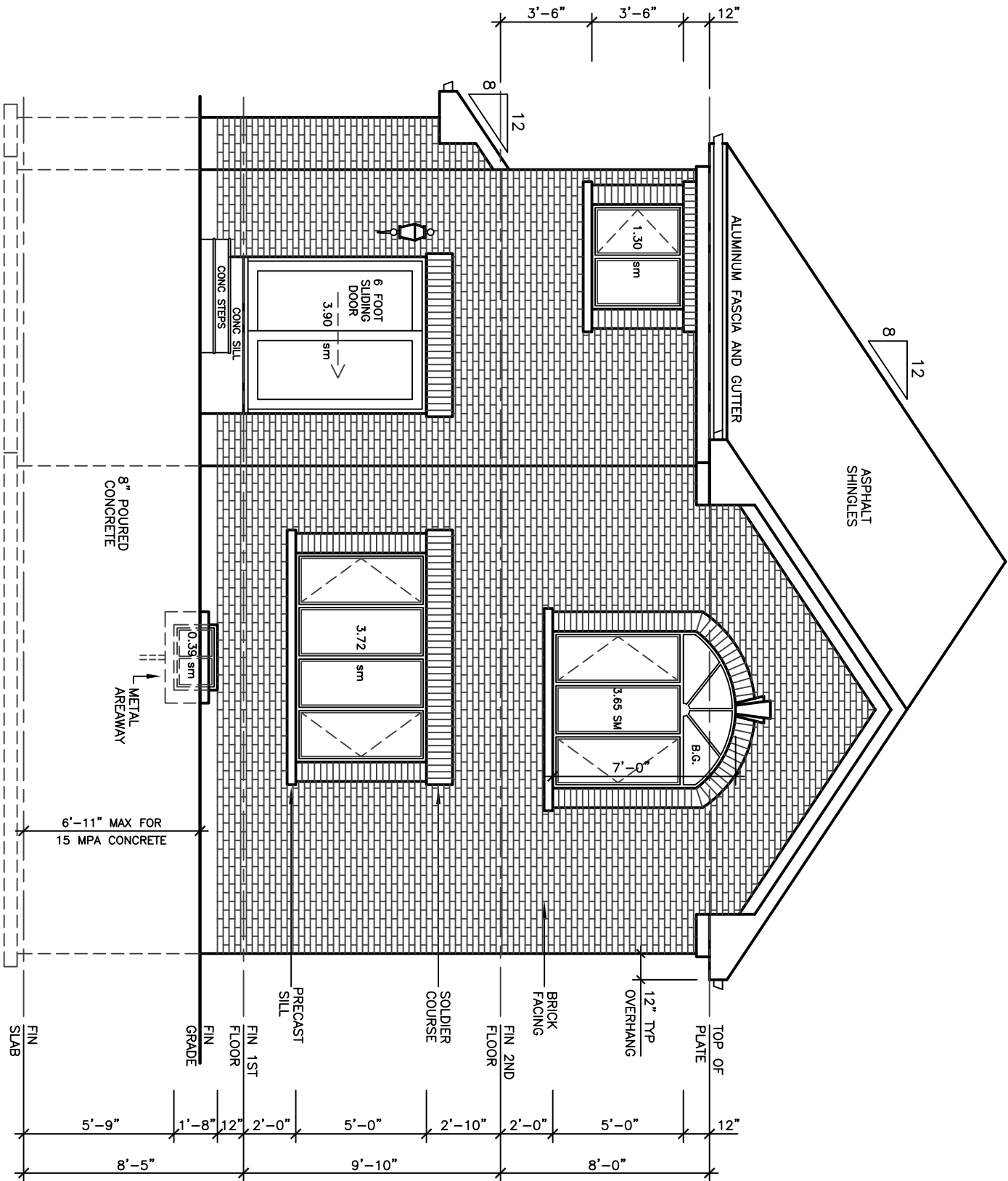
ARCHITECTURAL  
DESIGN INC.  
56 PENNSYLVANIA AVE.  
CONCORD, ONT. L4K 3Y9  
TEL 905 660-9353  
FAX 905 660-9419

STANTON  
MODEL 2760

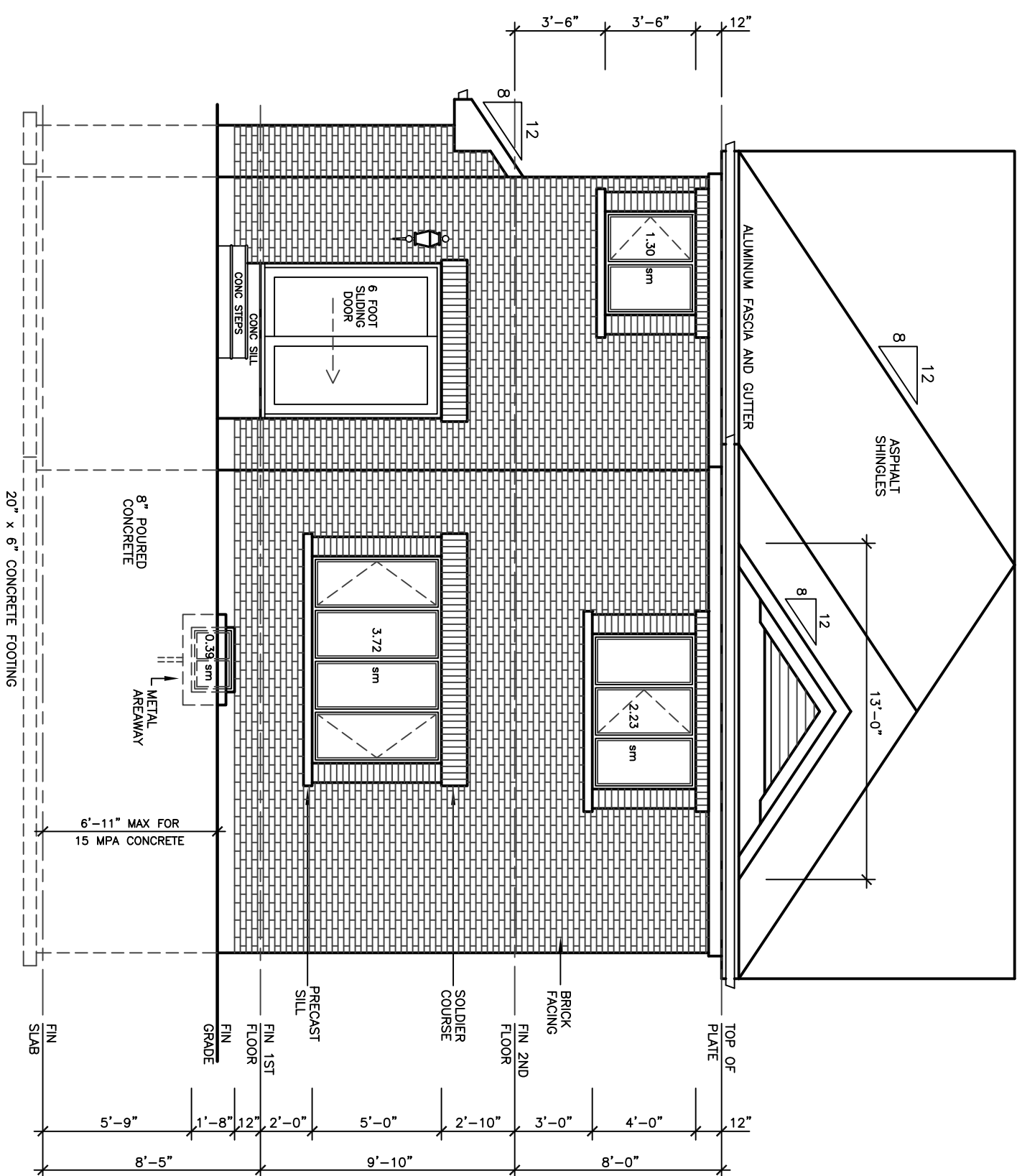
PROJECT  
PROPOSED  
TWO STOREY DWELLING  
FOR: LORMEL HOMES  
AT: BRADFORD

DRAWING  
UPGRADE REAR  
ELEVATIONS

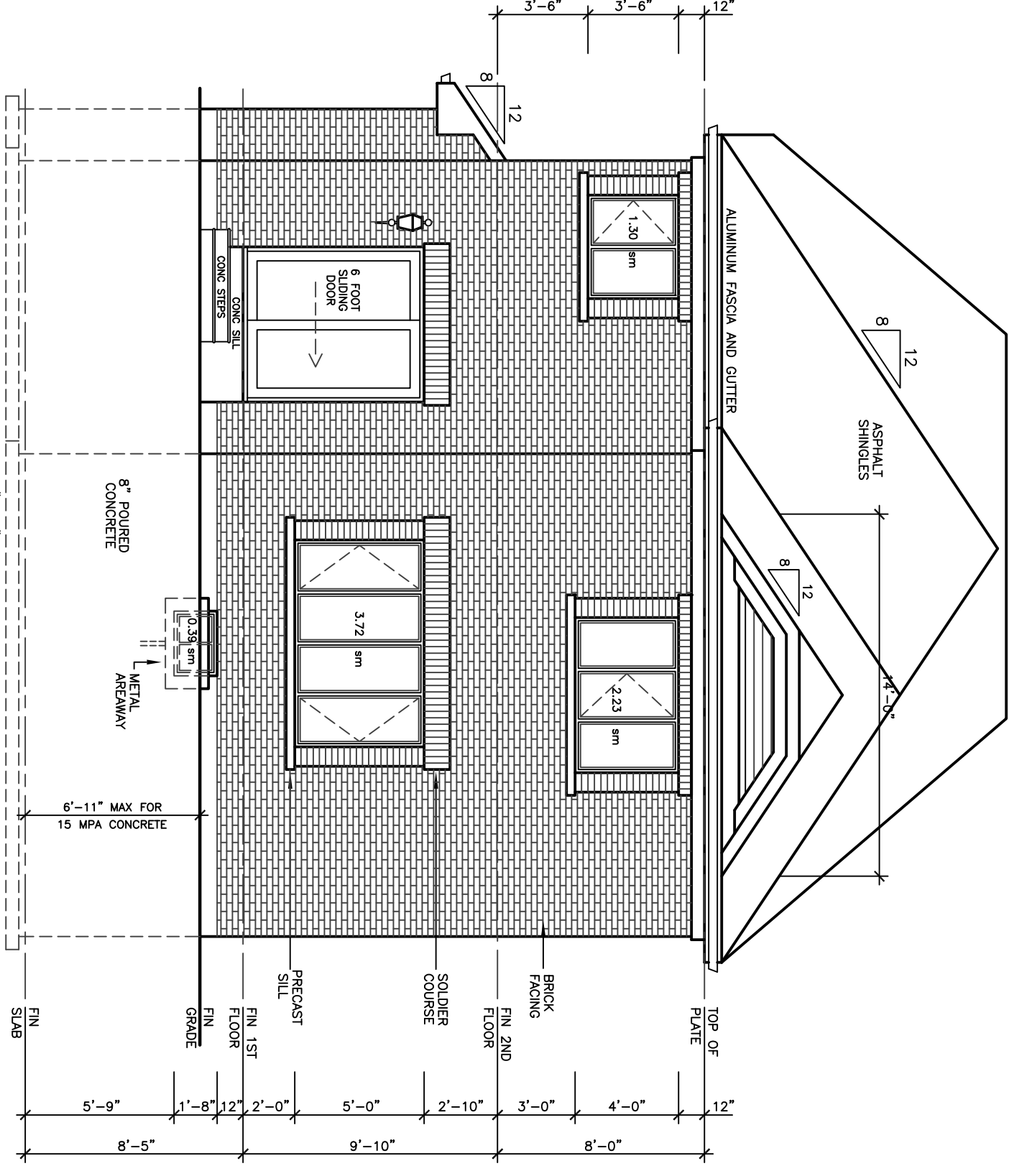
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|---------|-------------|------------|-------|
| DATE    | JAN '19     | PROJECT NO | 19-64 |
| DRAWN   | N.L.        | DRAWING NO |       |
| CHECKED |             |            |       |
| SCALE   | 3/16"=1'-0" |            | A-9   |



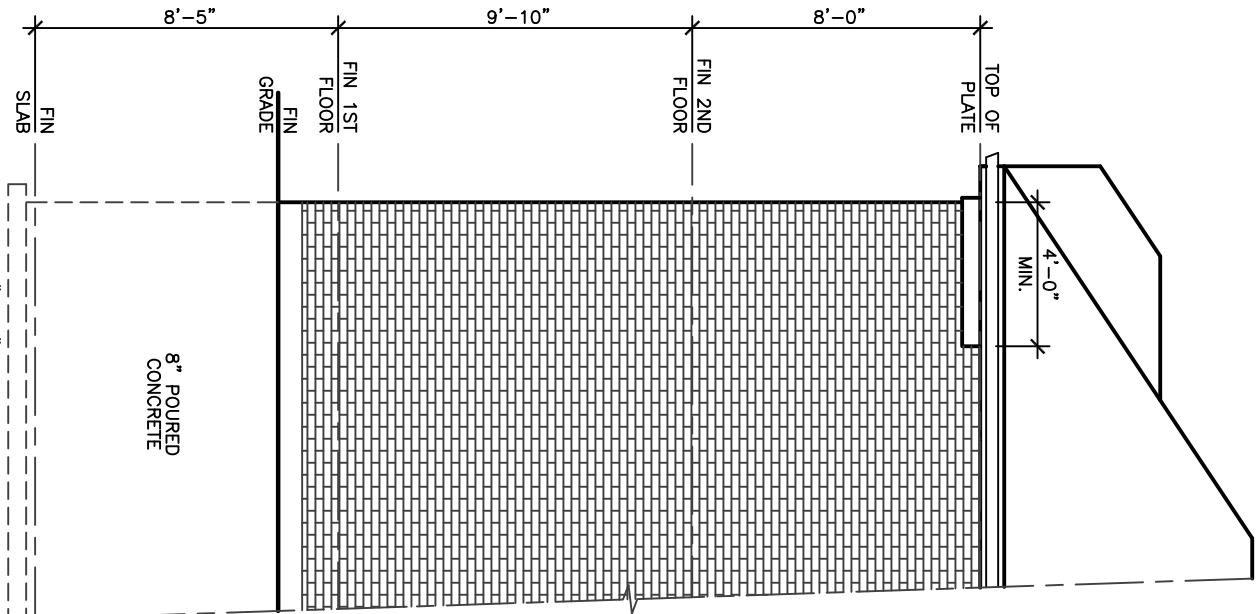
UPGRADE REAR ELEVATION 'A'



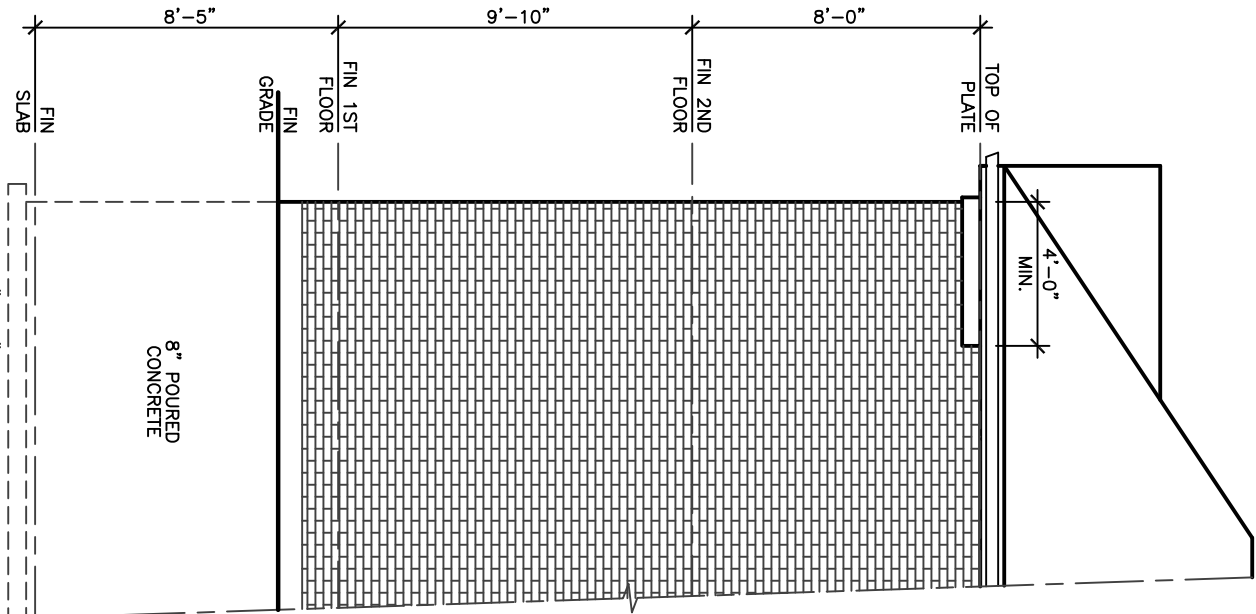
UPGRADE REAR ELEVATION 'B'



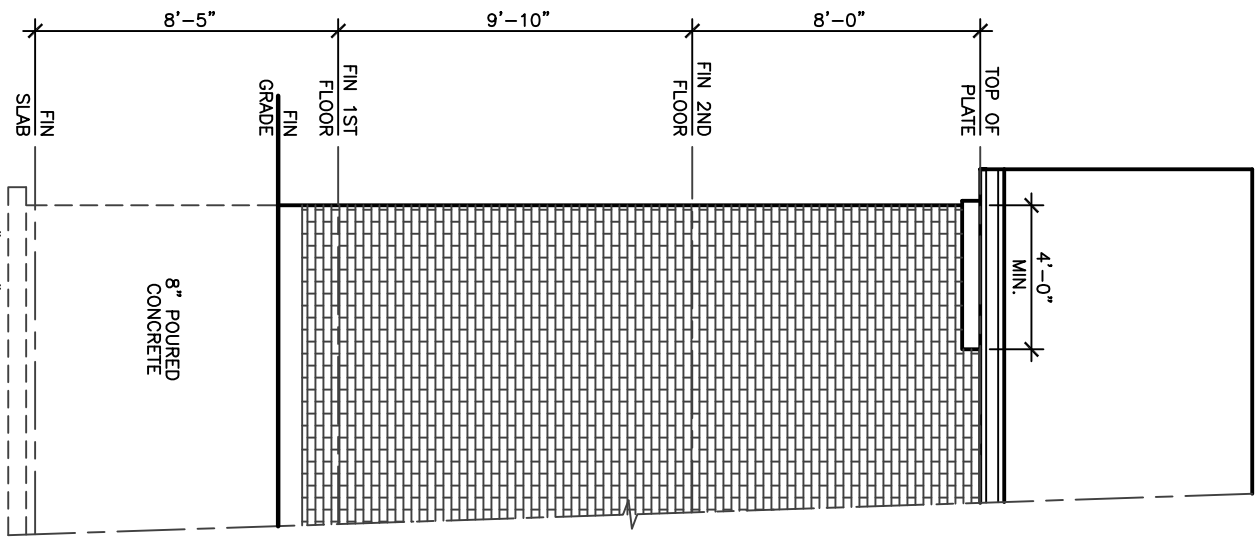
UPGRADE REAR ELEVATION 'C'



LEFT SIDE ELEVATION 'C'



LEFT SIDE ELEVATION 'B'



LEFT SIDE ELEVATION 'A'

38' LOT