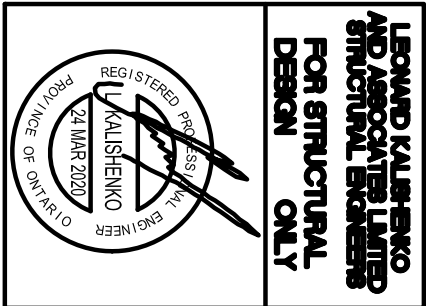


| REVISIONS |                                  | DATE     |
|-----------|----------------------------------|----------|
| #         | REVISION                         | DATE     |
| 1         | REVISED STRUCTURE TO A.S. JOISTS | MR 19 18 |
|           |                                  |          |
|           |                                  |          |
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|           |                                  |          |



**LEONARD KULSHRESHNA**  
REGISTERED PROFESSIONAL ENGINEER  
FOR STRUCTURAL DESIGN ONLY



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DESIGN INC.**  
56 PENNSYLVANIA AVE.  
CONCORD, ONT. L4K 3Y9  
TEL 905 660-9353  
FAX 905 660-9419

**ROSEMOUNT  
MODEL 2800**

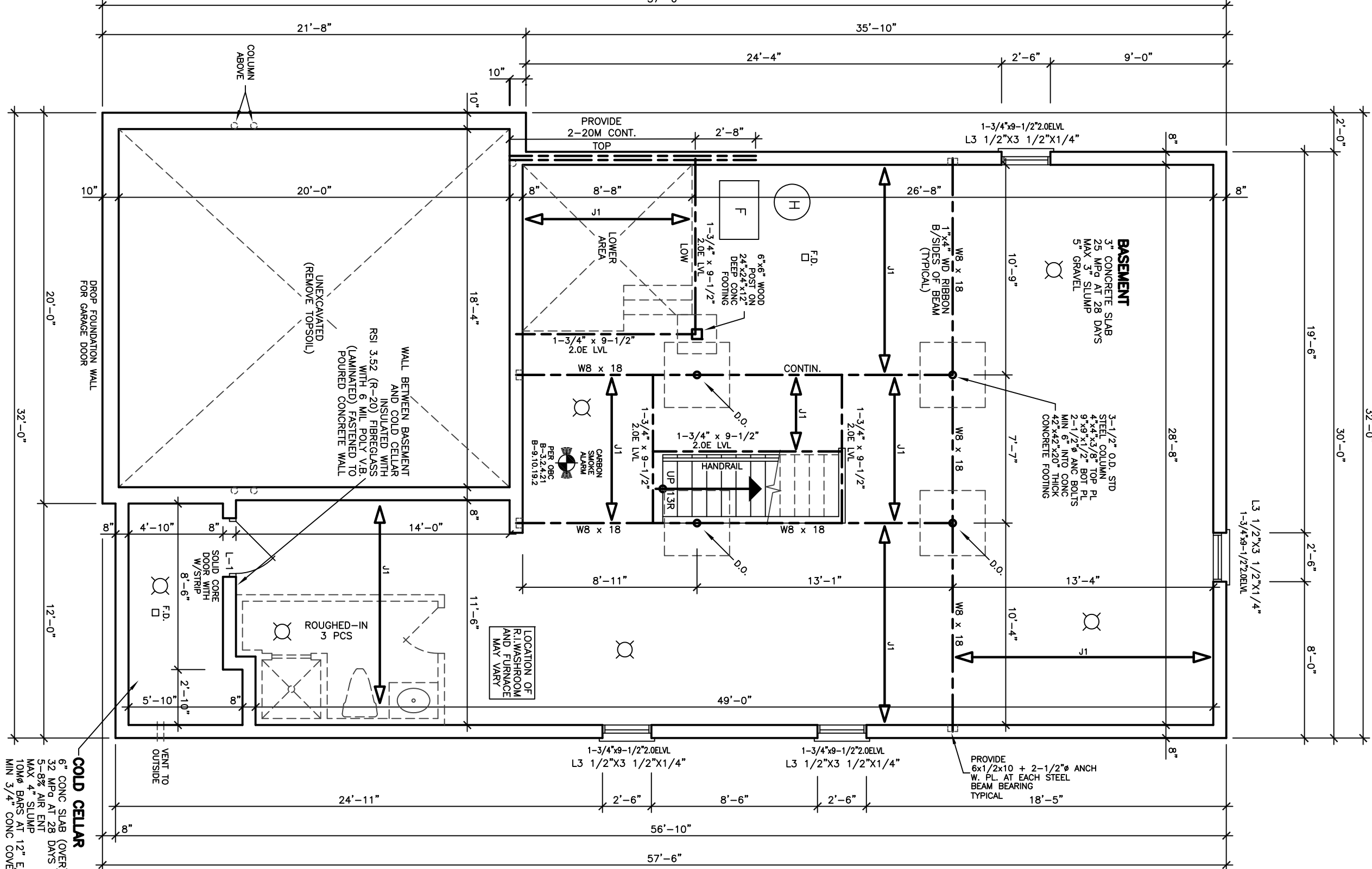
PROJECT  
PROPOSED  
BUNBOLOW DWELLING  
FOR: LORNE L HOMES  
AT: BRADFORD

DRAWING  
BASEMENT FLOOR PLAN  
CROSS SECTION

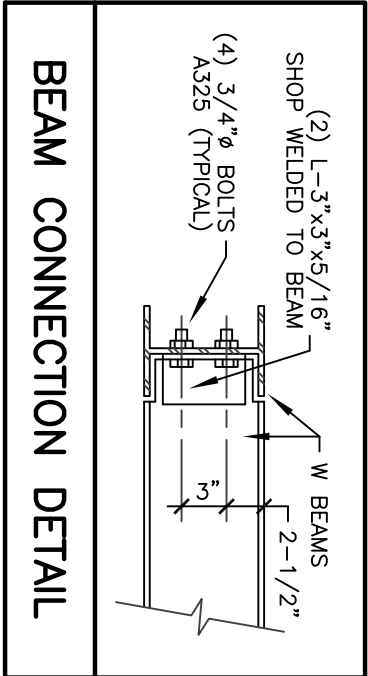
DATE JUN '19 PROJECT NO 19-64

DRAWN N.L. DRAWING NO 19-64

CHECKED SCALE 3/16"=1'-0" A-2



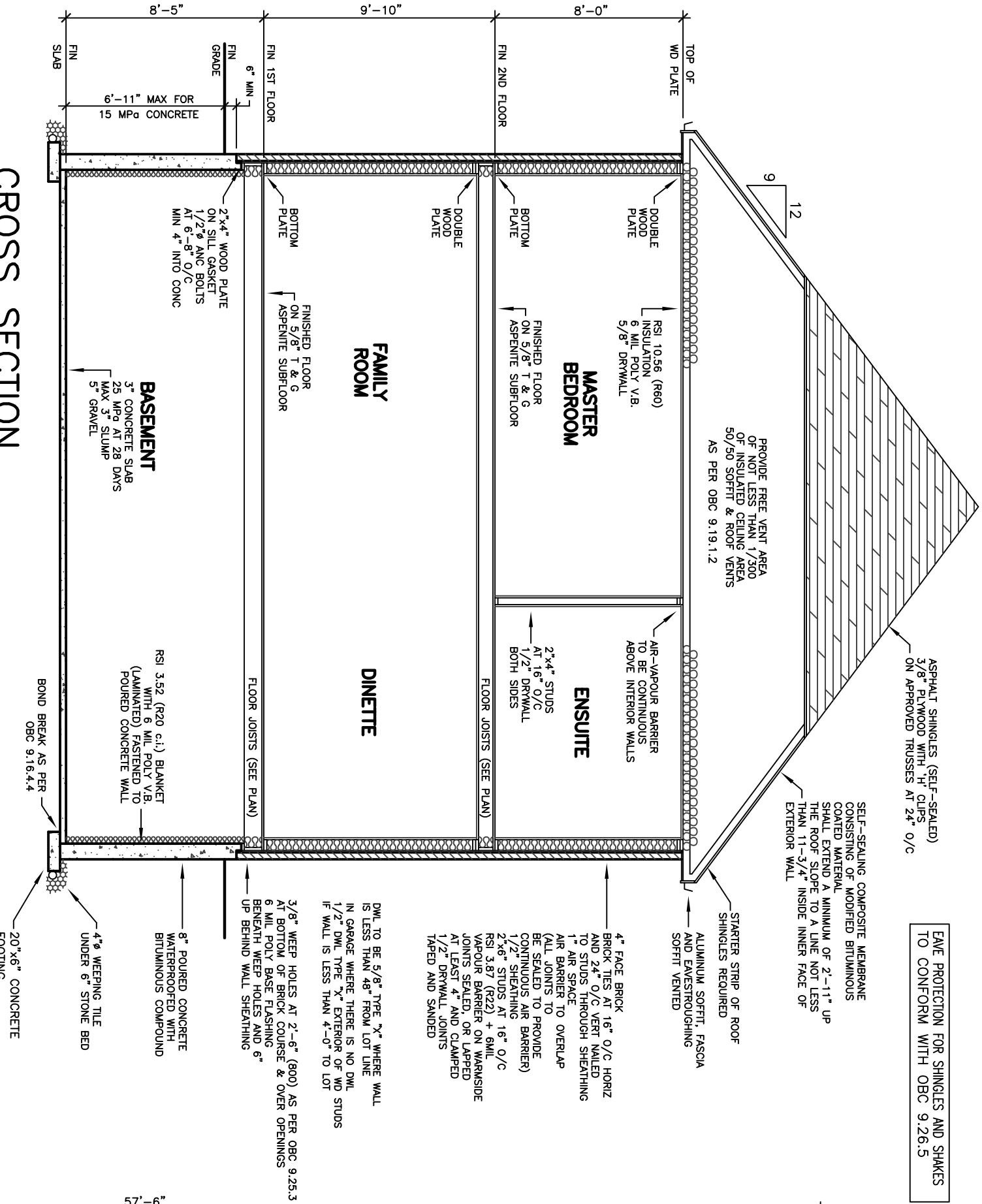
**BASEMENT FLOOR PLAN**



**BEAM CONNECTION DETAIL**

STRUCTURAL LEGEND  
J1 DENOTES 9 1/2" I-BEAM@16" O/C WITH 3/4" OSB SUBFLOOR.

END PROTECTION FOR SHIMMERS AND SHAKES  
TO CONFORM WITH OBC 9.26.5



**CROSS SECTION**

BEARING CAPACITY OF SOIL SHALL BE  
CONFIRMED PRIOR TO CONSTRUCTION.  
FOR ENGINEER TRUSS JOISTS, REFER  
TO THE TRUSS MANUFACTURER'S FLOOR  
JOIST DRAWINGS.

MINIMUM FOOTING WIDTH, OR AREA SHALL  
CONFORM TO TABLE 9.15.3.4. AREA SHALL  
CONFORM TO TABLE 9.17.2.1. MINIMUM  
WIDTH OF SPREADER SHALL BE 12" MIN.  
MINIMUM SPANS OF STEEL BEAMS SUPPORTING  
FLOORS SHALL CONFORM TO TABLE 9.23.4.3.  
MINIMUM SPANS OF STEEL BEAMS SUPPORTING  
ROOF SHALL CONFORM TO TABLE 9.23.4.3.  
MINIMUM SPANS OF STEEL BEAMS SUPPORTING  
ROOF SHALL CONFORM TO TABLE 9.23.4.3.

SMOKE ALARMS CONFORMING TO CAN/ULC-531, "SMOKE ALARMS" SHALL  
BE INSTALLED IN EACH DWELLING UNIT IN  
CONFORMANCE WITH OBC 9.10.18.  
THE MINIMUM DEPTH OF FOUNDATIONS BELOW  
FINISH GRADE SHALL CONFORM TO TABLE 9.12.2.2.  
FROM THE AND DRAIN PIPES FOR FOUNDATION  
DRAINAGE SHALL CONFORM TO THE ENTIRE  
SUBSECTION OBC 9.14.3.

FOOTINGS SHALL REST ON UNDISTURBED  
SOIL, ROCK OR COMPACTED GRANULAR FILL.  
[OBC 9.15.3.3]  
(a) THE MINIMUM DEPTH OF A FOUNDATION WALL IS  
REDUCED IN THICKNESS TO PERMIT THE  
INSTALLATION OF A MASONRY EXTERIOR  
FINISH. THE MINIMUM DEPTH SHALL BE  
(b) THE MINIMUM DEPTH OF A FOUNDATION SHALL BE  
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(z) THE MINIMUM DEPTH OF A FOUNDATION SHALL BE

A SUBSURFACE INVESTIGATION, INCLUDING  
GROUNDWATER CONDITIONS, SHALL BE CARRIED  
OUT BY A REGISTERED PROFESSIONAL ENGINEER  
IN PLANNING AND EXECUTING SUCH  
INVESTIGATION. THE ENGINEER SHALL  
FOR THE BUILDING AND ITS USE, THE GROUND  
AND THE SURROUNDING SITE CONDITIONS.  
IN CONFORMANCE WITH OBC 4.2.2.1.  
LUMBER AND WOOD PRODUCTS SHALL  
CONFORM TO OBC 9.23.9.6.

STRUCTURAL MEMBERS AND THEIR  
CONNECTIONS SHALL CONFORM TO OBC 9.4.1.  
THE CLEAR HEIGHT OVER STAIRS, VERTICAL  
VERTICALLY FROM ONE DRAIN THROUGH  
THE LEADING EDGES OF THE TREDS SHALL  
BE NOT LESS THAN 1950 mm, WITHIN  
DWELLING UNIT. [OBC 9.24.2]

DIMENSIONS FOR RECTANGULAR TREDS  
R18 MAX. 200 mm, MIN. 20 mm  
R20 MAX. 200 mm, MIN. 20 mm  
TREDO DEPTH MAX. 355 mm, MIN. 235 mm  
[OBC 9.8.4.2]

A HANDRAIL SHALL BE PROVIDED  
(a) ON AT LEAST ONE SIDE OF STAIRS OR  
(b) ON BOTH SIDES OF CURVED STAIRS OR  
(c) ON BOTH SIDES OF CURVED STAIRS OR  
(d) ON BOTH SIDES OF CURVED STAIRS OR  
(e) ON BOTH SIDES OF CURVED STAIRS OR  
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(a) ON AT LEAST ONE SIDE OF STAIRS OR  
(b) ON BOTH SIDES OF CURVED STAIRS OR  
(c) ON BOTH SIDES OF CURVED STAIRS OR  
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(z) ON BOTH SIDES OF CURVED STAIRS OR

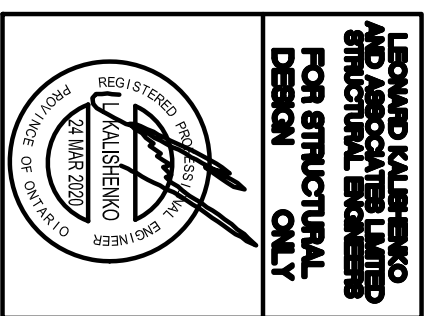
UNIFORMITY AND TOLERANCES FOR RISERS  
AND TREDS SHALL CONFORM TO OBC 9.8.4.4.  
THE DEPTH OF A RECTANGULAR TREDO SHALL  
BE IN COMPLIANCE WITH OBC 9.8.4.1.

[illegible]

ABOVE-GRADE MASONRY SHALL BE IN ACCORDANCE WITH O.B.C. SECTION 9.20

WOOD FRAME CONSTRUCTION SHALL BE IN ACCORDANCE WITH O.B.C. SECTION 9.23

| FLOOR AREAS AND COVERAGE |   |            |
|--------------------------|---|------------|
| 1st FLOOR                | = | 1284.72 SF |
|                          | = | 119.35 SF  |
| 2nd FLOOR                | = | 1529.33 SF |
|                          | = | 142.08 SF  |
| (-OPENINGS)              | = | -4.23 SF   |
|                          | = | -0.39 SF   |
| TOTAL                    | = | 2809.82 SF |
|                          | = | 261.04 SF  |
| COVERAGE                 | = | 1760.33 SF |
|                          | = | 163.54 SF  |



**LEONARD KALIBREK  
AND ASSOCIATES LIMITED  
STRUCTURAL ENGINEERS**



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ONTARIO  
ASSOCIATION  
OF  
ARCHITECTS  
LEO ARETUNA  
LORNE  
1988

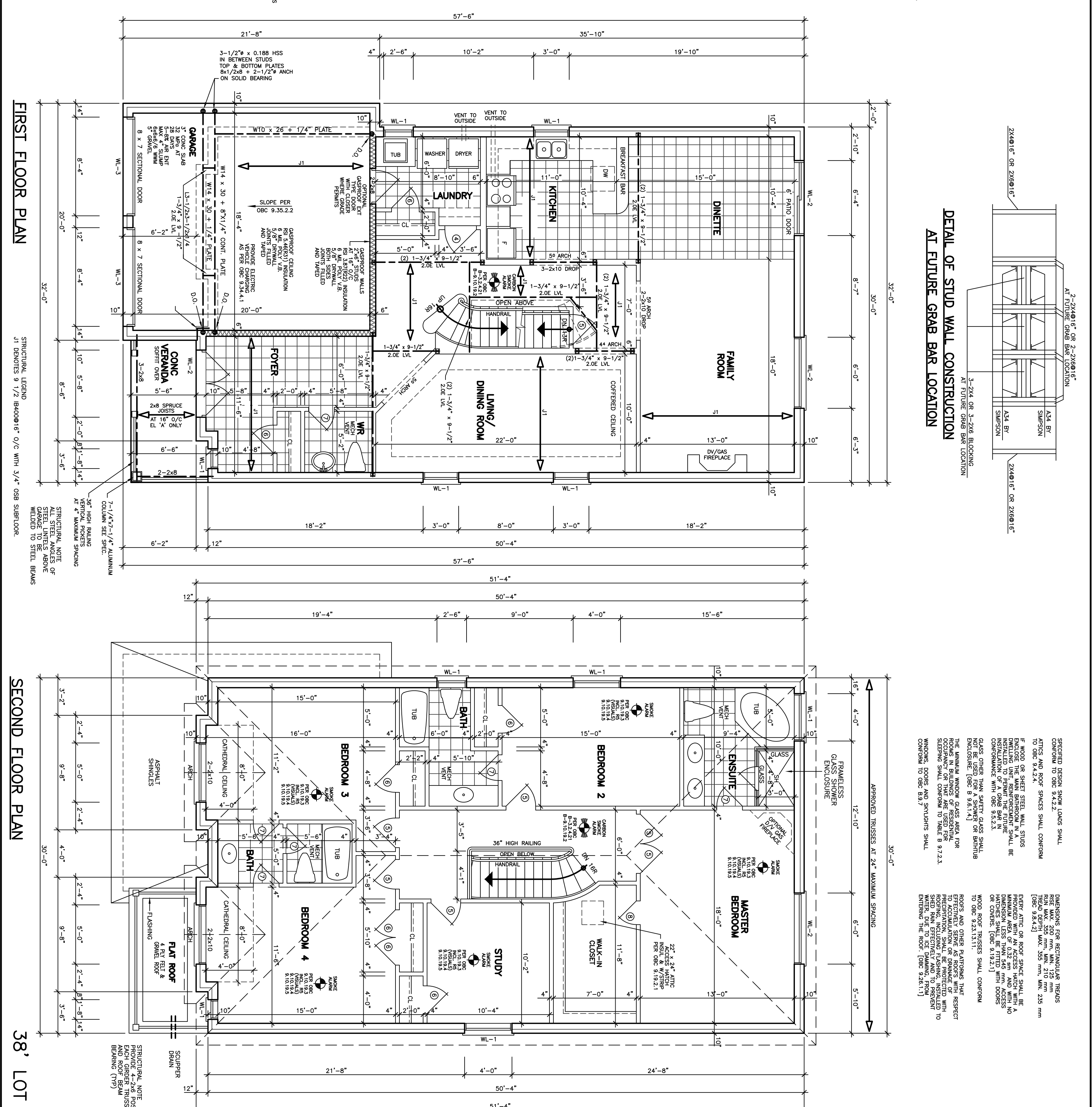
**ARCHITECTURAL  
DESIGN INC.**

56 PENNSYLVANIA AVE.  
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CONCORSO, ONT. L4K 3Y9  
TEL 905 660-9393  
FAX 905 660-9419

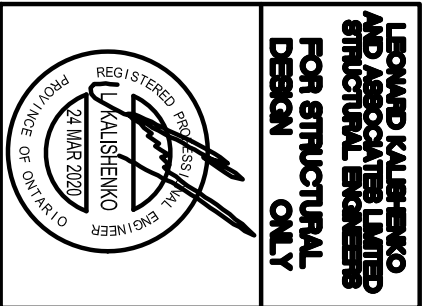
**ROSEMOUNT**  
**MODEL 2800**

**PROJECT**  
**PROPOSED**  
**BUNGALOW DWELLING**  
**FOR: LORMEL HOMES**  
**AT: BRADFORD**

|  |                     |
|--|---------------------|
| DRAWING<br>FIRST AND SECOND<br>FLOOR PLANS |                     |
| DATE<br>JAN '19                            | PROJECT NO<br>19-64 |
| DRAWN<br>N.L.                              | DRAWING NO          |
| CHECKED                                    |                     |
| SCALE<br>3/16"=1'-0"                       | A-3                 |



| REVISONS | DATE |
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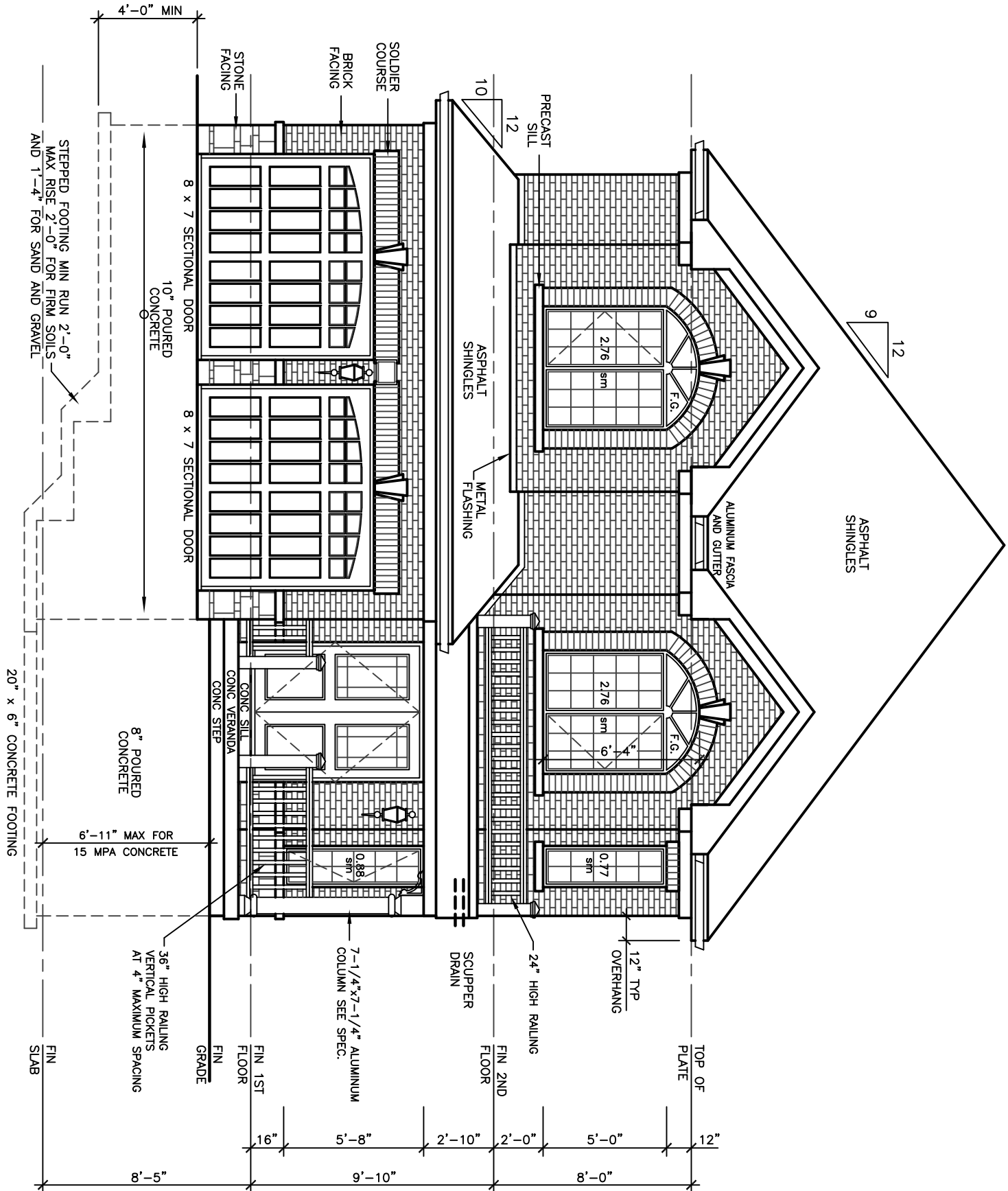
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FAX 905 660-9419

**ROSEMOUNT  
MODEL 2800**

PROJECT  
PROPOSED  
BUNGALOW DWELLING  
FOR: LORNE! HOMES  
AT: BRADFORD

|   |                     |
|---|---------------------|
| DRAWING<br>FRONT AND RIGHT<br>SIDE ELEVATIONS 'A' | PROJECT NO<br>19-64 |
| DATE<br>JAN '19                                   | DRAWN<br>N.L.       |
| CHECKED   | DRAWING NO          |
| SCALE<br>3/16"=1'-0"                              | A-4                 |



| WALLS AND WINDOWS AREA |           |              |   |
|------------------------|-----------|--------------|---|
| ELEVATION              | WALL AREA | WINDOWS AREA | % |
| FRONT                  | 61.30 SM  | 7.17 SM      |   |
| RIGHT SIDE             | 98.25 SM  | 5.08 SM      |   |
| LEFT SIDE              | 98.25 SM  | 10.80 SM     |   |
| REAR                   | 56.25 SM  | 27.50 SM     |   |
| TOTAL AREA             | 314.05 SM | 8.76         |   |

FRONT ELEVATION 'A'

FINISHED GRADE'S PROFILE LINE IS GENERIC AND DOES NOT REFLECT EXACT ELEVATION. TYPES OF GLASS AND PROTECTION OF GLASS SHALL BE IN ACCORDANCE WITH OBC 9.8.1.4.

RESISTANCE TO CORROD ENTRY SHALL BE PROVIDED FOR DOORS IN ACCORDANCE WITH OBC 9.7.5.2 AND FOR WINDOWS IN ACCORDANCE WITH OBC 9.7.5.3.

GUARDS SHALL CONFORM TO OBC 9.8.8.1 AND SHALL RESIST LOADS IN CONFORMANCE WITH TABLE 9.8.8.2.

GLASS IN GUARDS CONFORM TO OBC SECTION 9.8.8.1.

THE MAXIMUM AGGREGATE AREA OF EXPOSING SURFACES SHALL BE IN ACCORDANCE WITH OBC 9.10.14.4.

FOR BUILDINGS CONTAINING ONLY DWELLING UNITS, CONSTRUCTION OF EXPOSING BUILDING FACES SHALL CONFORM TO OBC 9.10.15.5.

EVERY WINDOW WELL SHALL BE DRAINED TO THE FOOTING LEVEL OR OTHER SUITABLE LOCATION. [OBC 9.14.6.3]

WHERE STEP FOOTINGS ARE USED, THE EXPOSING SURFACES SHALL BE PROTECTED FROM SOILS AND EXCEED 600 mm. ROSES SHALL BE NOT LESS THAN 600 mm. [OBC 9.14.5.16]

THE THICKNESS AND HEIGHT OF FOUNDATION WALLS SHALL BE IN ACCORDANCE WITH OBC 9.13.4.2.

EXTERIOR FOUNDATION WALLS SHALL EXTEND NOT LESS THAN 150 mm ABOVE FINISHED GROUND LEVEL. [OBC 9.13.4.6]

VENTING FOR ROOF SPACES SHALL CONFORM TO OBC 9.19.1.2.

THE UNOBSTRUCTED ROOF VENT AREA SHALL BE NOT LESS THAN 1/200 OF THE INSULATED CEILING AREA WHERE THE ROOF SLOPE IS LESS THAN 12/12. IF THE ROOF SLOPE IS GREATER THAN 12/12, THE VENT AREA SHALL BE UNOBSTRUCTED VENT AREA SHALL BE NOT LESS THAN 1/200 OF THE INSULATED CEILING AREA. [OBC 9.19.1.2]

FLASHING SHALL BE INSTALLED IN MASONRY AND MASONRY VENEER WALLS IN CONFORMANCE WITH OBC 9.20.13.3.(1).

THROUGHWALL FLASHING SHALL BE PROVIDED IN A MASONRY VENEER WALL SUCH THAT ANY MOISTURE WHICH ACCUMULATES IN THE AIR SPACES BEHIND THE VENEER BE REMOVED FROM THE BUILDING. [OBC 9.20.13.3.(2)]

WEEP HOLES THAT ARE SPACED NOT MORE THAN 900 mm ABOVE THE HIGHEST POINT AT THE BOTTOM OF CAVITIES OR AIR SPACES IN MASONRY VENEER WALLS AND ABOVE FINISHED GRADE SHALL BE PROVIDED FOR WINDOW AND DOOR OPENINGS. [OBC 9.20.13.8]

A CHIMNEY FLUE SHALL EXTEND NOT LESS THAN 900 mm ABOVE THE HIGHEST POINT AT WHICH THE CHIMNEY COMES IN CONTACT WITH THE ROOF, AND SHALL EXTEND NOT LESS THAN 300 mm ABOVE THE FINISHED ROOF SURFACE OR STRUCTURE WITHIN 3 m OF THE CHIMNEY. [OBC 9.21.4.4]

THE SLOPE OF ROOF SURFACES, ON WHICH ROOF COVERINGS MAY BE APPLIED, SHALL CONFORM TO OBC 9.28.3.1.

FLASHING SHALL BE INSTALLED AT ALL INTERSECTIONS LISTED OBC 9.26.4

WHERE SLOPING SURFACES OF SHINGLED ROOFS INTERSECT TO FORM A VALLEY, THE VALLEY SHALL BE FLASHED IN CONFORMANCE WITH OBC 9.26.4.3.

AN EXTERIOR LIGHTING OUTLET WITH FIXTURE COVERING SHALL BE PROVIDED AT EVERY ENTRANCE TO BUILDINGS OF RESIDENTIAL OCCUPANCY. [OBC 9.34.2.1]

REFER TO LOT GRADING / SITE PLAN STEPS, DECK OR BASEMENT WALKOUT CONDITION, DOOR BETWEEN GARAGE AND DWELLING, DECK OR BASEMENT WALKOUT CONDITION.

EVERY SURFACE TO WHICH ACCESS IS PROVIDED, FOR OTHER THAN MAINTENANCE PURPOSES, SHALL BE PROTECTED BY A 1.2 m HIGH RESISTANCE RAILING OF NOT LESS THAN 0.6 m, OR

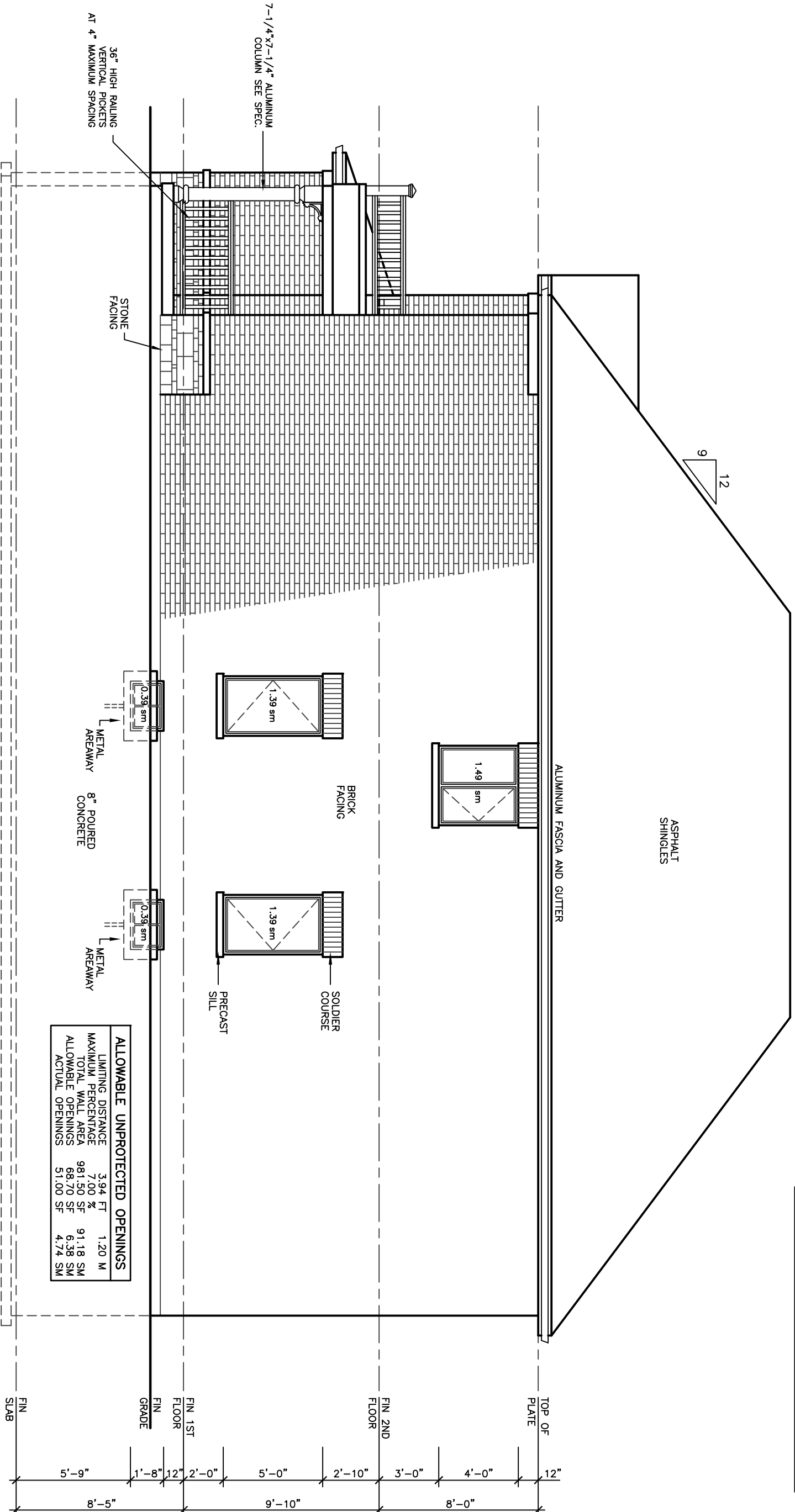
(A) HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 1.2 m, BUT NOT LESS THAN 0.6 m, OR

(B) HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 1.2 m, BUT NOT LESS THAN 0.6 m, OR

FOR BUILDINGS CONTAINING ONLY DWELLING UNITS, EACH EXPOSING BUILDING FACE AND ANY EXTERIOR WALL LOCATED ABOVE AN EXPOSING BUILDING SPACE SHALL ENCLOSED BY A FIRE RESISTANCE RATING OF NOT LESS THAN 1.2 m, BUT NOT LESS THAN 0.6 m, OR

#### CONSTRUCTION INFORMATION & MATERIALS REQUESTED BY CITY

1. SIDING MATERIAL WILL BE VINYL SIDING BY SUCCESSFUL BIDDER
  2. SPRAY FOAM WILL BE USED IN GARAGE
  3. DOORS AND WINDOW WILL BE BY "BROWN" CO
  4. GUARDS AND RAILING BY "CPL ALUM. RAIL INC."
  5. WOOD DECK (TYP) IS SUPPLIED ON MODEL WHICH HAS DECK
- B
1. ALL GARAGE FLOORS SLOPE 1% MIN.
  2. SEE NOTE 1, ABOVE
  3. ALL DOWNERS CONSTRUCTED OF 2x4
  4. ALL DOWNERS CONSTRUCTED OF 2x4
  5. LIGHTING TO BE PROVIDED AT ALL EXTERIOR DOORS AND MUNICIPAL NUMBERS.
  6. REINFORCED FOUNDATION WALL AND STAMP
  7. FOUNDATION WALL INSULATION TO EXTEND TO FLOOR OF BASEMENT
  8. EXTERIOR GUARD ON VERANDAS TO BE 42"
  9. AND BY CPL ALUMINUM RAILING INC
  10. SMALL DETAILS TO BE PROVIDED ON ALL MAIN LEVELS



RIGHT SIDE ELEVATION 'A'

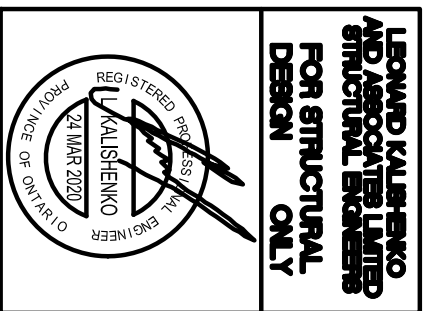
38' LOT







| REVISIONS |  | DATE |
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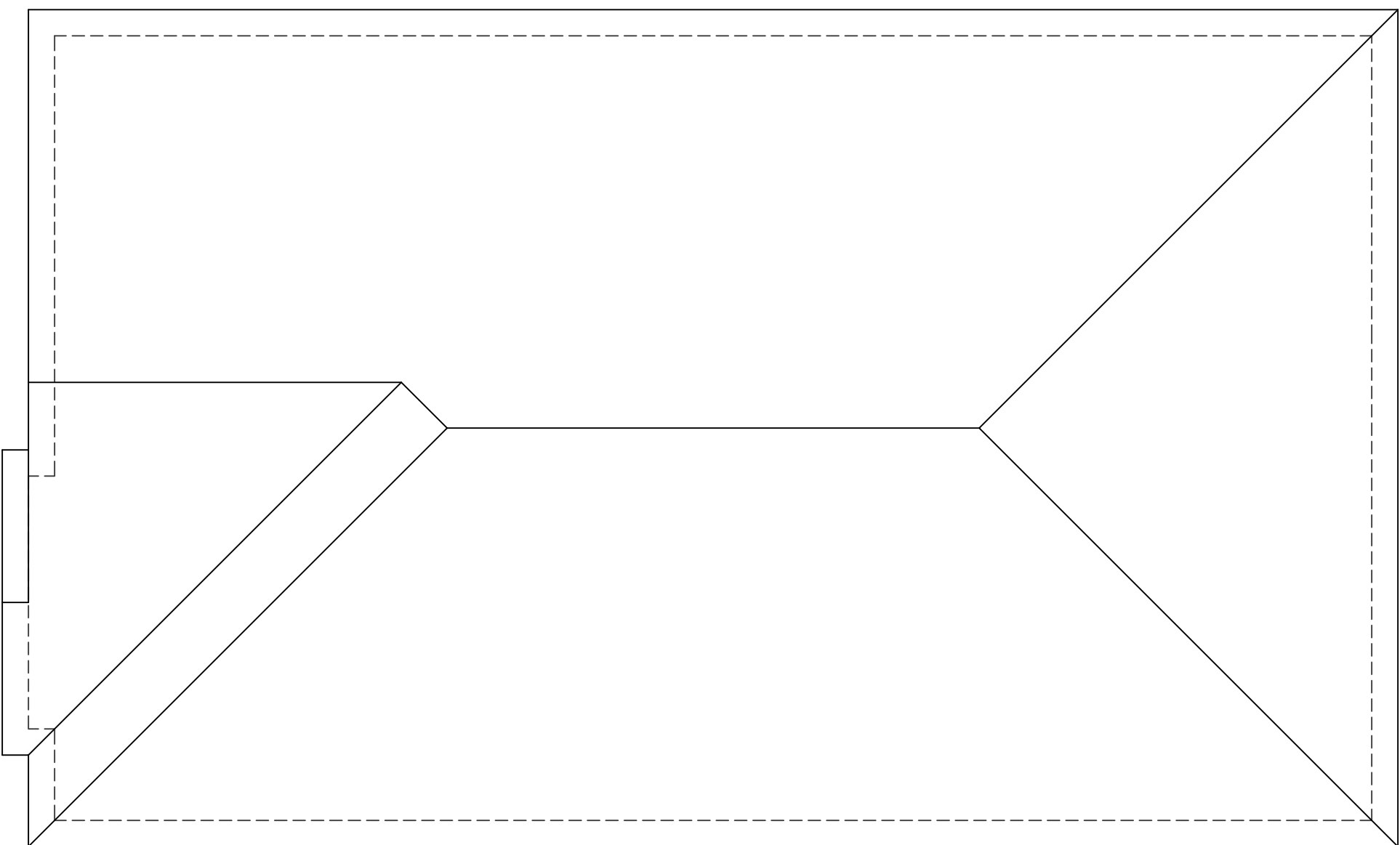
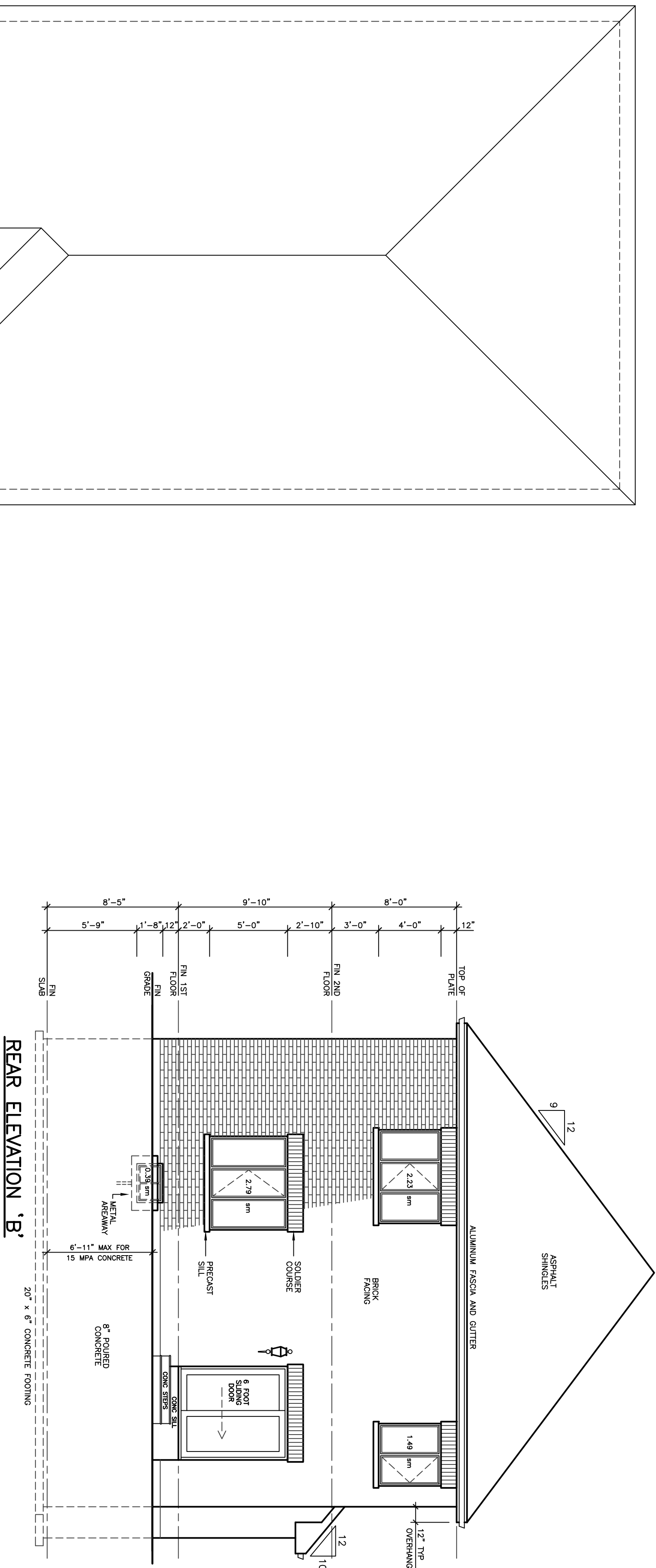
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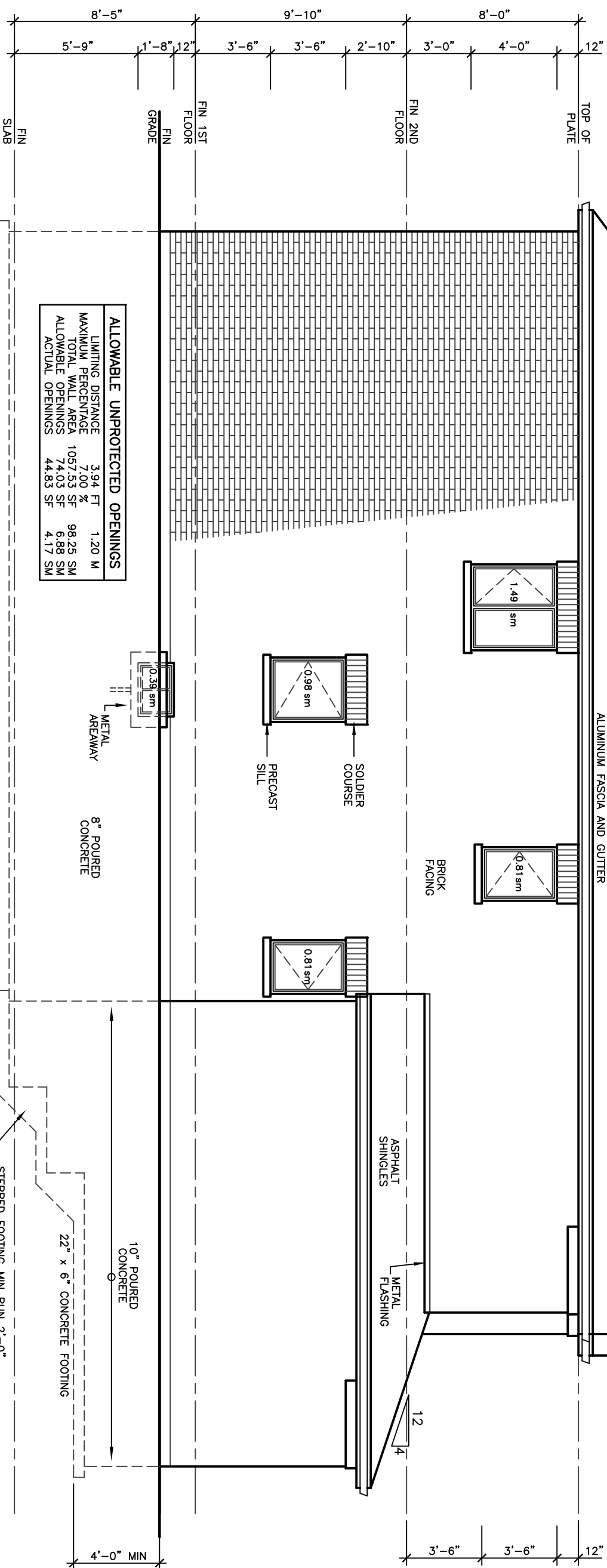
**ROSEMOUNT  
MODEL 2800**

PROJECT  
PROPOSED  
BUNGALOW DWELLING  
FOR: LORAMEL HOMES  
AT: BRADFORD

|  |             |
|--|-------------|
| DRAWING<br>REAR AND LEFT<br>SIDE ELEVATIONS 'B'<br>ROOF PLAN 'B' |             |
| DATE   | JAN '19     |
| PROJECT NO   | 19-64       |
| DRAWN  | N.L.        |
| CHECKED  |             |
| SCALE  | 3/16"=1'-0" |
| A-7  |             |



ROOF PLAN 'B'



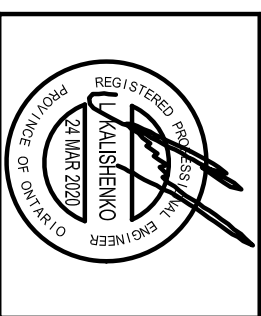
LEFT SIDE ELEVATION 'B'

38' LOT

[illegible]

**LEONARD KALINERKO  
AND ASSOCIATES LIMITED  
STRUCTURAL ENGINEERS**

**FOR STRUCTURAL  
DESIGN ONLY**



**Lorne**  
HOMES




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THE CONTRACTORS SHALL CHECK AND VERIFY ALL DIMENSIONS ON THE SITE AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.

DRAWINGS MUST NOT BE SCALED.

ARCHITECTURAL  
DESIGN INC.



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TEL 905 660-9335  
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**ROSEMOUNT**  
**MODEL 2800**

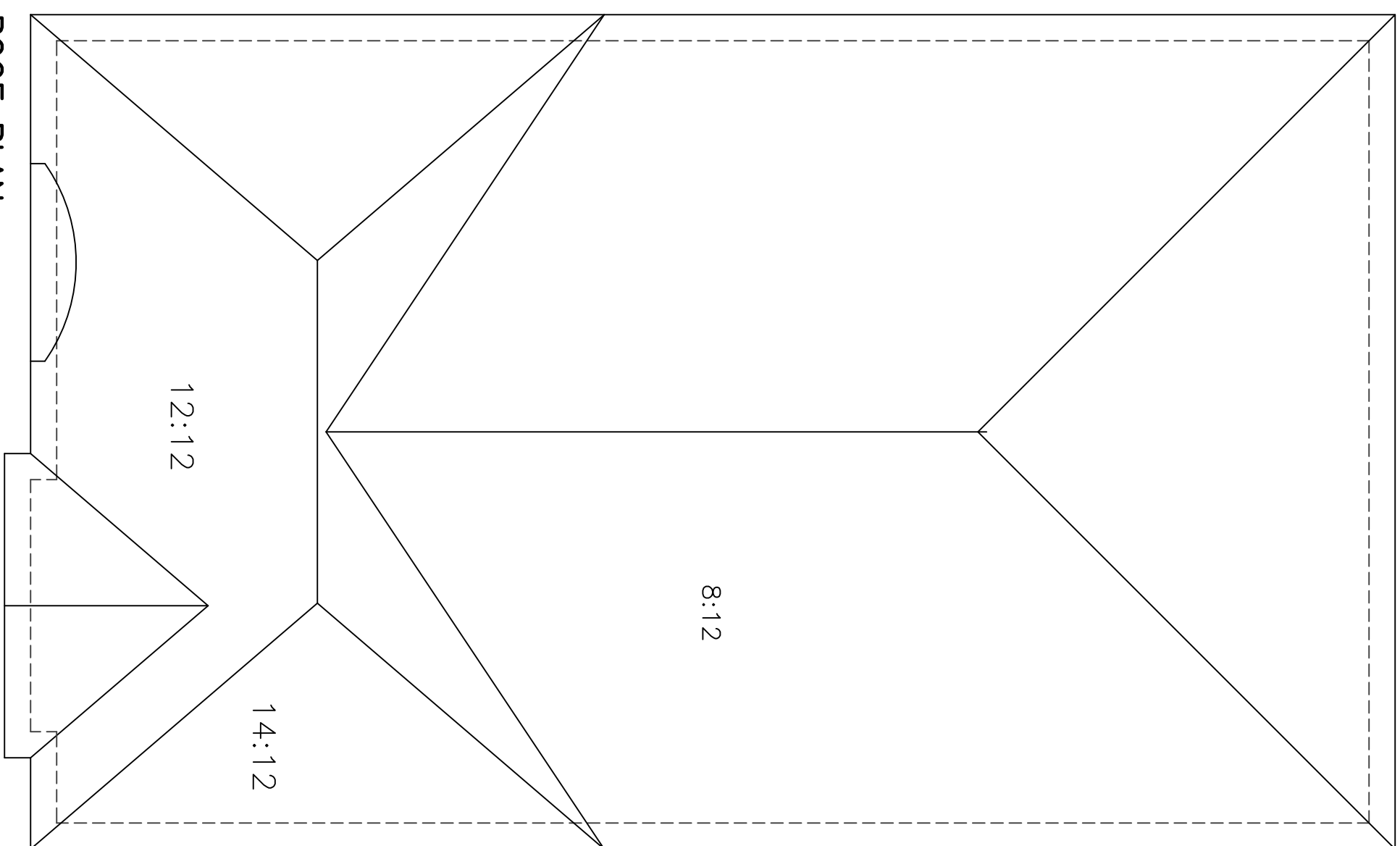
PROPOSED  
BUNGALOW DWELLING  
FOR: LORMEL HOMES  
AT: BRADFORD

DRAWING  
FRONT ELEV 'C'  
AND ROOF PLAN

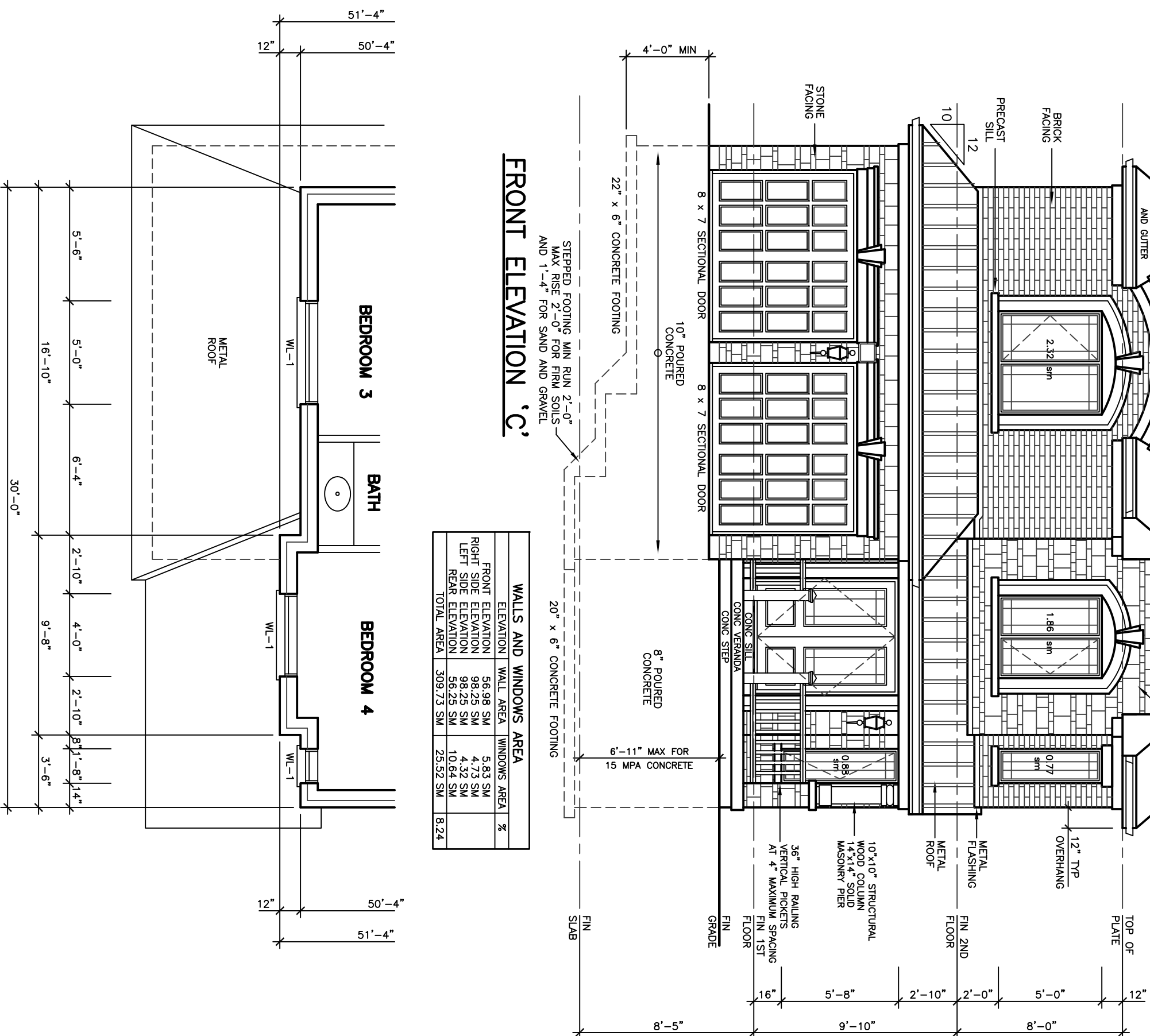
19-64

|      |            |
|------|------------|
| N.L. | DRAWING NO |
|------|------------|

38' LOT



ROOF PLAN  
ELEVATION 'C'



SECOND FLOOR PLAN  
ELEVATION 'C'

FINISHED GRADE'S PEOPLE LINE IS GENERIC AND DOES NOT REFLECT EXACT ELEVATION.

TYPE OF GLASS AND PROTECTION OF GLASS SHALL BE IN ACCORDANCE WITH OBC 9.6.1.4.

RESISTANCE TO FORCED ENTRY SHALL BE OBC 9.6.2.2 AND PASS IN ACCORDANCE WITH OBC 9.7.5.3.

GLASS SHALL CONFORM TO OBC 9.8.8.1 AND SHALL RESIST LOADS IN CONFORMANCE WITH TABLE 9.8.8.2.

GLASS IN GUARDS CONFORM TO OBC SECTION 9.8.5.1.

THE MAXIMUM OPENING AREA OF UNPROTECTED APERTURES IN AN EXPOSING BUILDING FACE SHALL CONFORM TO TABLE 9.10.14.4.

FOR BUILDINGS CONTAINING ONLY DWELLING UNITS, EACH EXPOSING BUILDING FACE AND EXPOSING BUILDING FACE THAT ENCLOSES AN ATTIC OR ROOF SPACE SHALL:

(A) BE AT LEAST 1.2 M (4 FT) FROM THE EXPOSING BUILDING FACE, WHEN THE MINIMUM DISTANCE IS LESS THAN 1.2 M, THE BUILDING FACE SHALL BE PROTECTED BY:

(B) A FIRE RESISTANT CURTAIN RAINING OF NOT LESS THAN 45 MIN. AND ALSO BE CLAD WITH NONCOMBUSTIBLE MATERIAL, WHEN THE MINIMUM DISTANCE IS LESS THAN 0.6 m (9.10.15.3(2)).

EVERY WINDOW WELL SHALL BE DRAINED TO THE EXTERIOR BY A DRAIN SURFACE LOCATION. [OBC 9.14.6.3].

WHERE STEP DOWNINGS ARE USED, THE VERTICAL SILL BETWEEN THE HORIZONTAL PORTIONS SHALL NOT EXCEED 600 mm (19.685 IN). [OBC 9.14.6.3].

RESES SHALL NOT BE LESS THAN 600 mm (19.685 IN). [OBC 9.15.3.3].

THE THICKNESS AND HEIGHT OF FOUNDATION WALLS MADE OF UNREINFORCED CONCRETE BLOCKS OR SOLID CONCRETE AND SUBJECT TO TABLE 9.15.4.2.2, FOR WALLS NOT EXCEEDING 2.5 m IN UNBUPPORTED HEIGHT. [OBC 9.15.4.2].

EXTERIOR FOUNDATION WALLS SHALL EXTEND NOT LESS THAN 150 mm ABOVE FINISHED GRADE LEVEL. [OBC 9.15.4.6].

VENING FOR ROOF SPACES SHALL CONFORM TO OBC 9.19.1.2.

THE UNBROADCASTED ROOF VENT AREA SHALL BE NOT LESS THAN 1/200 OF THE INSULATED AREA OF THE ROOF. ROOFS THAT ARE LESS THAN 1 m (3 FT) IN ROOFS THAT ARE CONSTRUCTED WITH ROOF JOISTS, THE NOT LESS THAN 1/50 OF THE INSULATED CEILING AREA. [OBC 9.19.1.2].

FLASHING SHALL BE INSTALLED IN MASONRY AND MASONRY VENEER WALLS IN CONFORMANCE WITH OBC 9.20.13.3.(1).

THROUGHOUT FLASHING SHALL BE PROVIDED IN A MASONRY VENEER WALL SUCH THAT ANY SPACE WILL BE DIRECTED TO THE EXTERIOR OF THE BUILDING. [OBC 9.20.13.3.(2)].

WHERE SLOPING SURFACES OF A WALL, THE ROOF'S INTERIOR TO FORM A VALLEY, THE VALLEY SHALL BE FLASHED IN CONFORMANCE WITH OBC 9.26.4.3.

IN AN EXTERIOR LIGHTING OUTLET WITH FUTURE CONTROLLED BY A WALL SWITCH LOCATED AT EVERY ENTRANCE TO BUILDINGS OF RESIDENTIAL OCCUPANCY. [OBC 9.3.4.2.1]

FOR REFER TO LOT GRADING / SITE PLAN FOR REQUIRED TO NOT NUMBER OF STEPS DOWN TO BE PRESENTLY WALKOUT CONDITION.

EVERY SURFACE TO WHICH ACCESS IS REQUIRED FOR MAINTENANCE PURPOSES SHALL BE PROTECTED BY A GUARD, IN CONFORMANCE WITH OBC 9.18.8.

(A) THERE IS A DIFFERENCE IN ELEVATION OF MORE THAN 1.2 M (4 FT) FROM THE WALKING SURFACE, WITHIN 1.2 m OF THE WALKING SURFACE, OF MORE THAN 1.2 m. [OBC 9.8.8.1(1)].

FOR BUILDINGS CONTAINING ONLY DWELLING UNITS, EACH EXPOSING BUILDING FACE AND EXPOSING BUILDING FACE THAT ENCLOSES AN ATTIC OR ROOF SPACE SHALL:

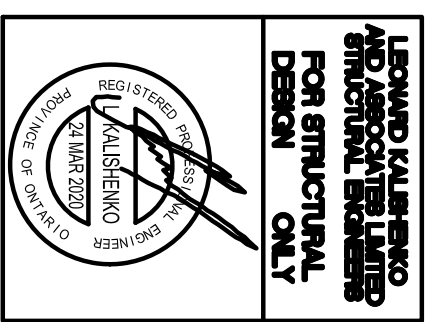
(A) BE AT LEAST 1.2 M (4 FT) FROM THE EXPOSING BUILDING FACE, WHEN THE MINIMUM DISTANCE IS LESS THAN 1.2 M, THE BUILDING FACE SHALL BE PROTECTED BY:

(B) A FIRE RESISTANT CURTAIN RAINING OF NOT LESS THAN 45 MIN. AND ALSO BE CLAD WITH NONCOMBUSTIBLE MATERIAL, WHEN THE MINIMUM DISTANCE IS LESS THAN 0.6 m (9.10.15.3(2)).

FRONT ELEVATION 'C'

| WALLS AND WINDOWS AREA |           |              |      |
|------------------------|-----------|--------------|------|
| ELEVATION              | WALL AREA | WINDOWS AREA | %    |
| FRONT ELEVATION        | 56.98 SM  | 5.83 SM      |      |
| RIGHT SIDE ELEVATION   | 98.25 SM  | 4.73 SM      |      |
| LEFT SIDE ELEVATION    | 98.25 SM  | 4.32 SM      |      |
| REAR ELEVATION         | 36.25 SM  | 10.84 SM     |      |
| TOTAL AREA             | 309.73 SM | 25.52 SM     | 8.24 |

WALLS AND WINDOWS AREA

[illegible]

ALL DRAWINGS & SPECIFICATIONS ARE THE PROPERTY OF THE ARCHITECT AND CANNOT BE USED OR REPRODUCED WITHOUT HIS APPROVAL.

THE CONTRACTORS SHALL CHECK AND VERIFY ALL DIMENSIONS ON THE SITE AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.

DRAWINGS MUST NOT BE SCALED.

**ARCHITECTURAL  
DESIGN INC.**



56 PENNSYLVANIA AVE.  
UNIT 1  
CONCORD, ONT. L4K 3V9  
TEL 905 660-9393  
FAX 905 660-9419

**ROSEMOUNT**  
**MODEL 2800**

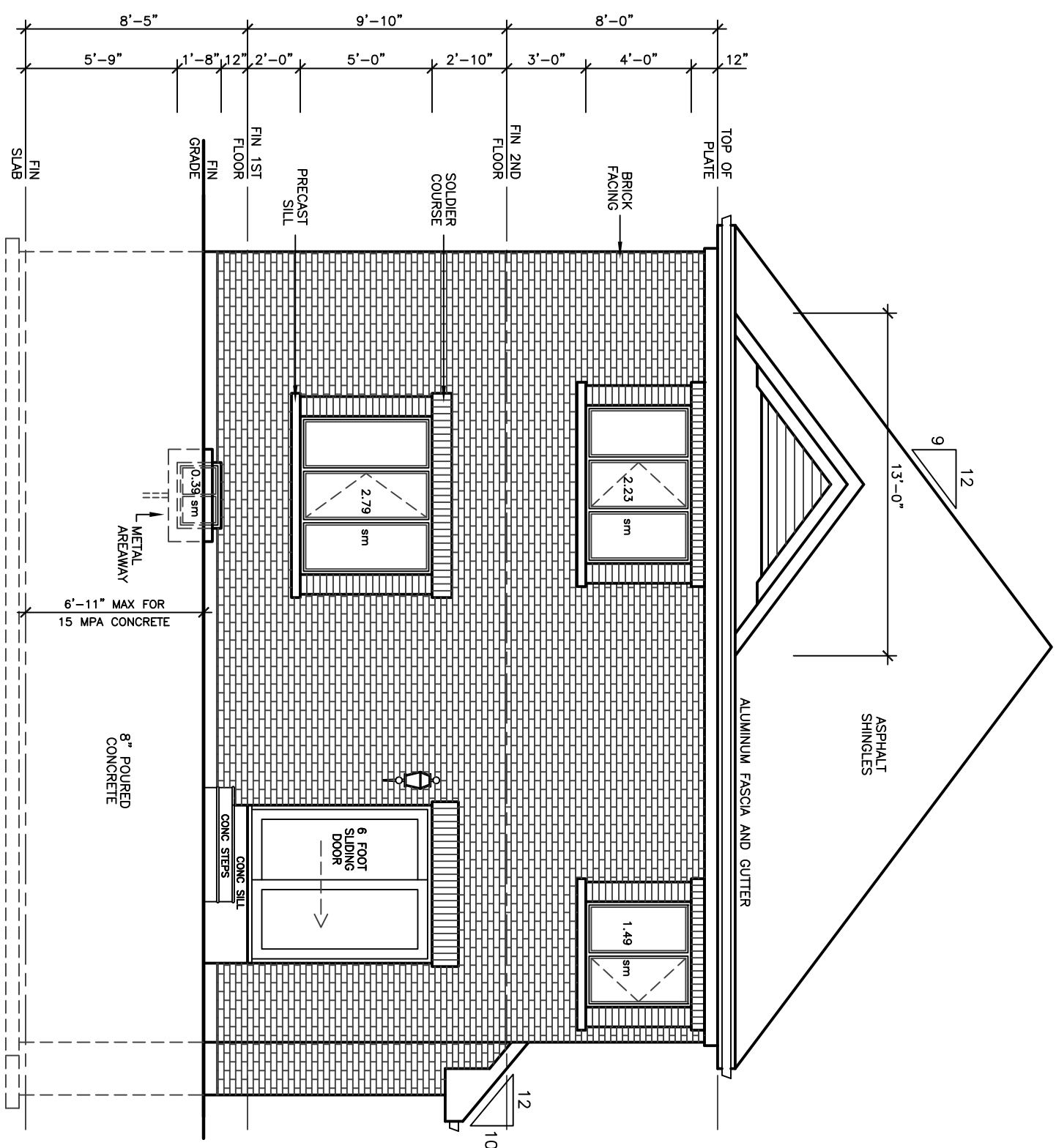
PROJECT  
PROPOSED  
BUNGALOW DWELLING  
FOR: LORMEL HOMES  
AT: BRADFORD

**DRAWING**  
**UPGRADE REAR**  
**SIDE ELEVATIONS 'A'**

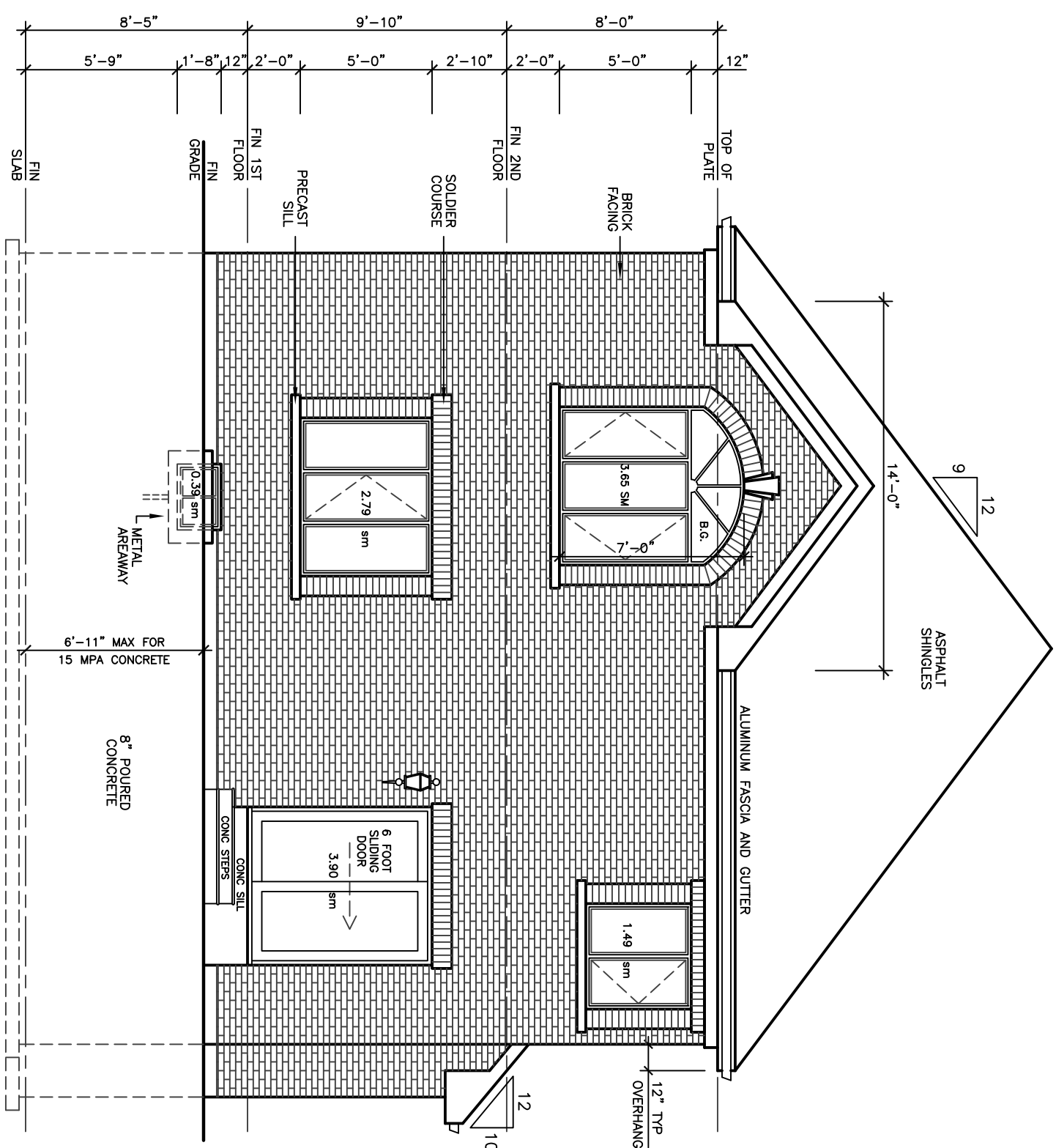
19-64

|         |            |
|---------|------------|
| N.L.    | DRAWING NO |
| CHECKED |            |

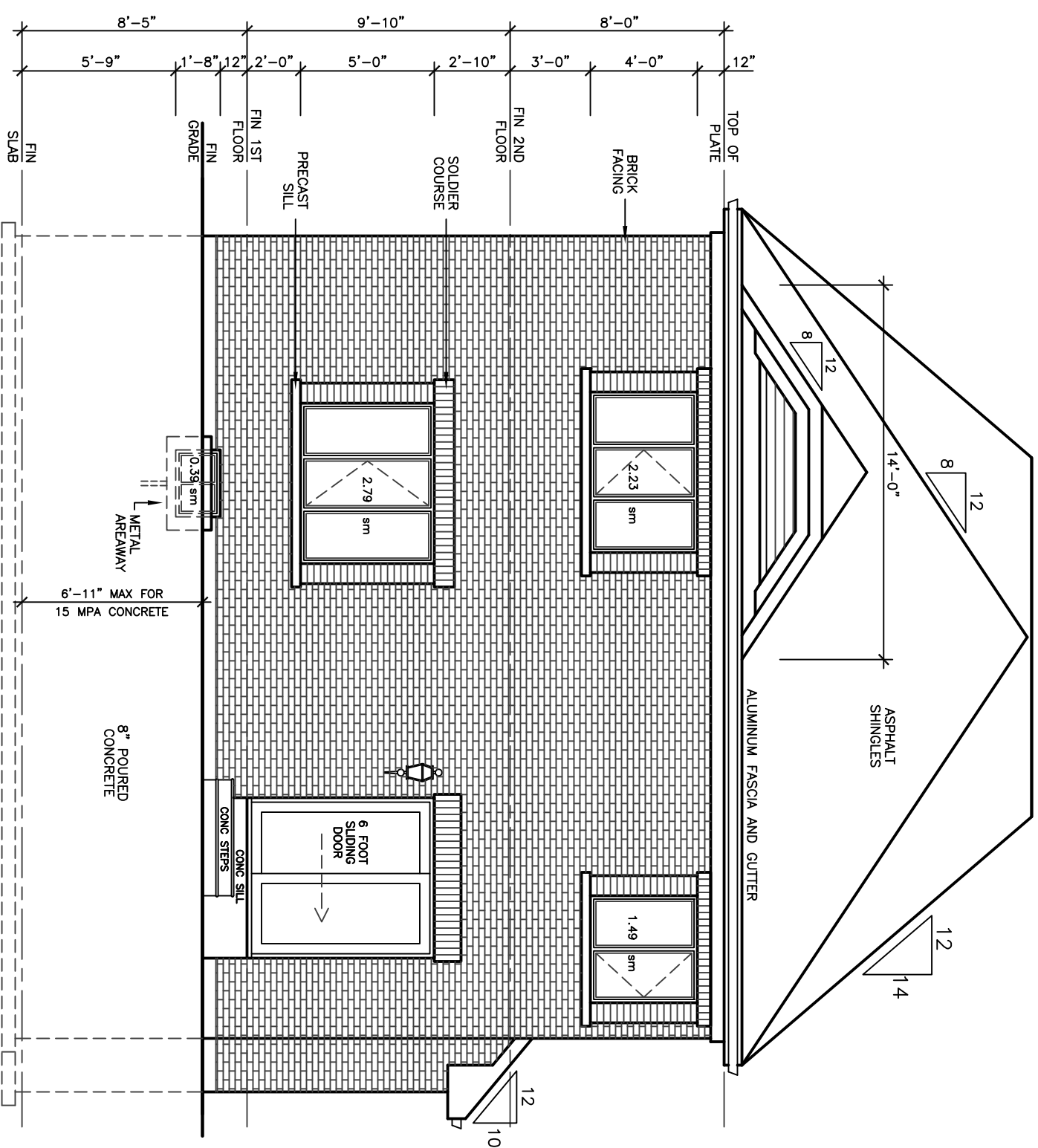
SCALE 3/16"=1'-0"



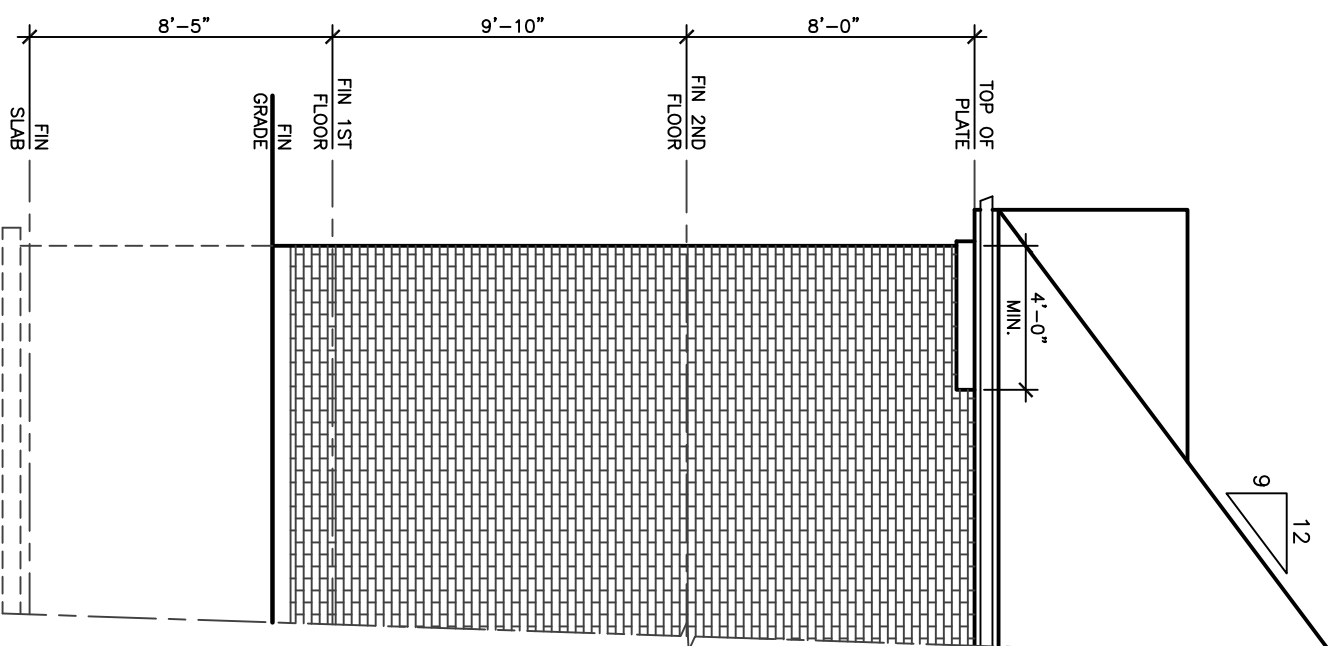
UPGRADE REAR ELEVATION 'B'



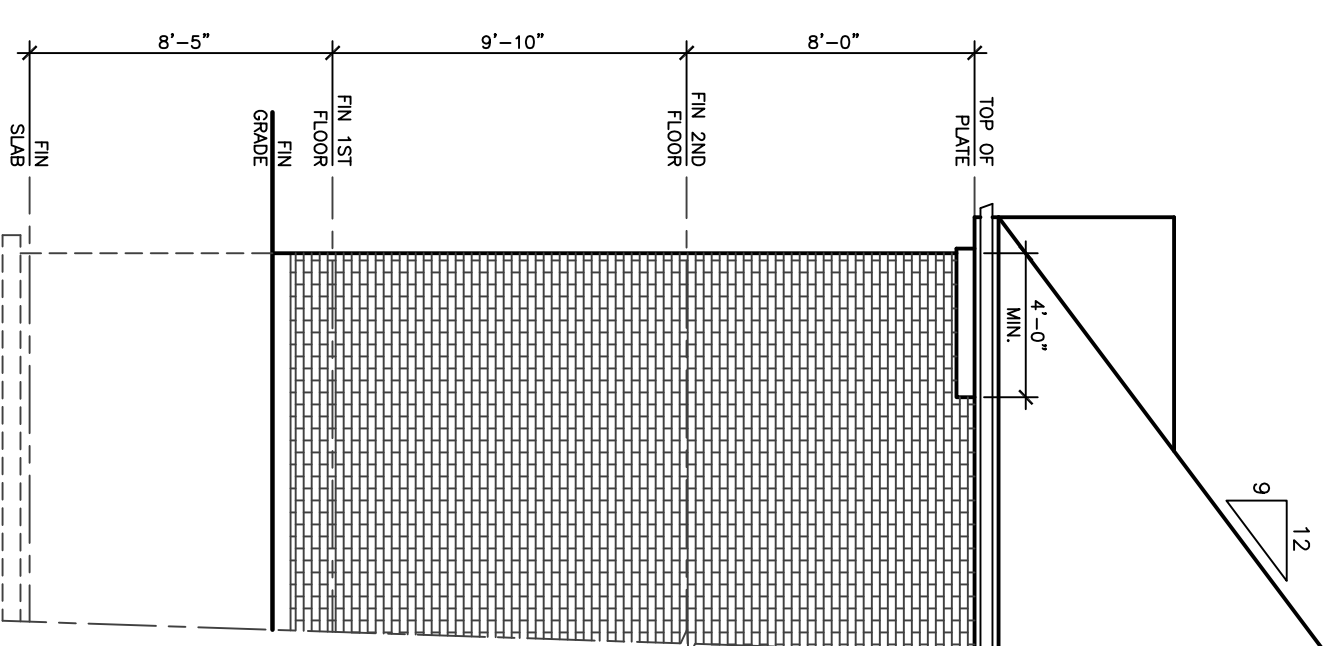
UPGRADE REAR ELEVATION 'A'



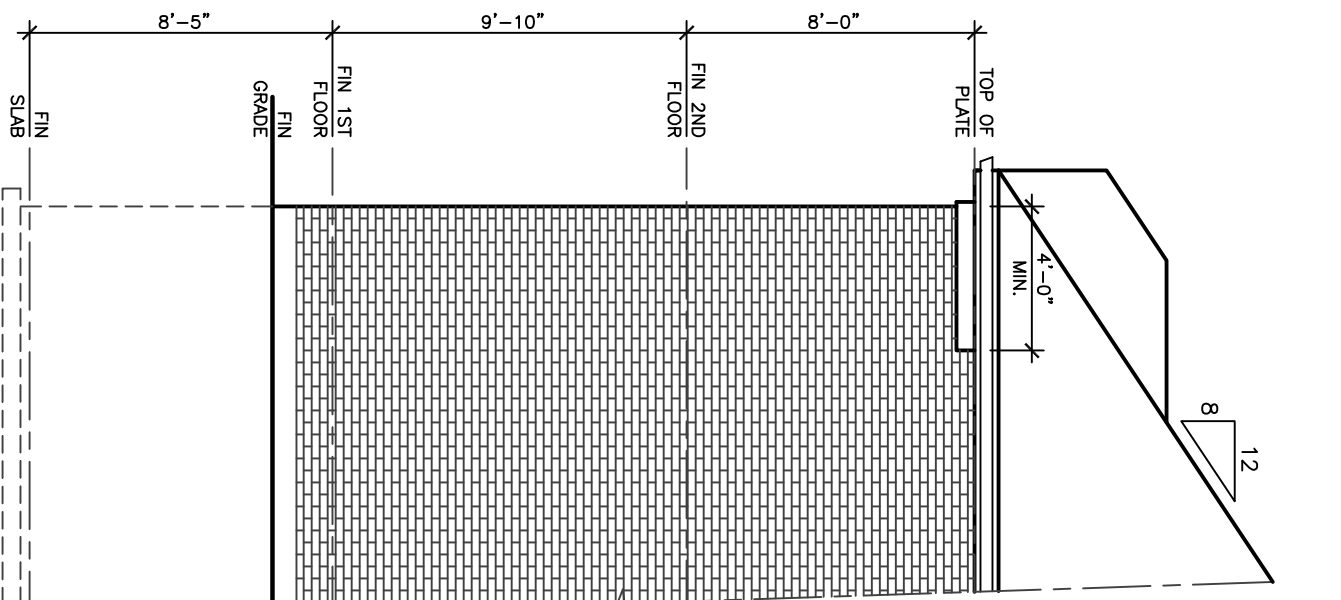
UPGRADE REAR ELEVATION 'C'



LEFT SIDE ELEVATION 'A'



LEFT SIDE ELEVATION 'B'



LEFT SIDE ELEVATION 'C'

38' LOT