

PLANNING DEPARTMENT

COMPLIES WITH ZONING BY-LAW: 2010-050

DATE REVIEWED: 06/01/2020

REVIEWED BY: *Cole Engineering*

ENGINEERING REVIEW

☒ ACCEPTED

☐ ACCEPTED AS NOTED

☐ REQUIRES RE-SUBMISSION

THIS PLAN HAS BEEN REVIEWED WITH RESPECT TO GENERAL CONFORMANCE WITH THE OVERALL LOT GRADING PLAN AND OUR APPROVAL OF THIS PLAN FOR NO OTHER REASON. WE ACCEPT NO RESPONSIBILITY FOR THE ACCURACY OF THE ELEVATIONS AND DIMENSIONS PROVIDED BY OTHERS.

August 19, 2020

DATE REVIEWED BY: *[Signature]*

(TOWN OF BRADFORD WEST GWILLIMBURY USE ONLY)

LEGEND

- ☒ SINGLE CATCHBASIN
- ☒ DOUBLE CATCHBASIN
- SANITARY MH
- STORM MH
- SANITARY SERVICE
- STORM SERVICE
- GAS SERVICE
- HYDRO SERVICE
- CABLE SERVICE
- FLOW DIRECTION
- * ENGINEERED FILL
- 000.00 EXISTING ELEVATION
- 000.00 PROPOSED ELEVATION
- SW 000.00 SWALE ELEVATION
- FFF FINISHED 1ST FLOOR
- TW TOP OF FOUNDATION WALL
- TWG TOP OF WALL IN GARAGE
- FS FINISHED SLAB
- USF U/S FOOTING
- USFG U/S FOOTING GARAGE
- ☉ SURF PUMP
- HYDRANT AND VALVE
- ⊕ VALVE AND BOX
- ⊗ BELL PEDESTAL
- ⊕ CABLE PEDESTAL
- ⊗ HYDRO TRANSFORMER
- ⊕ LIGHT STANDARD
- ⊗ SUPER MAILBOX
- ⊕ DOWNSPOUT
- 1234 MUNICIPAL ADDRESS
- SLOPE 3:1 MAXIMUM
- FOOTINGS LOWERED FOR 1.22m FROST PROTECTION

ARCHITECTURAL CONTROL

☐ Approved

☒ Approved as Noted

MARTIN ASSOCIATES

26-03-2020 TM

SITE INFORMATION

THIS PLAN IS BASED ON PLAN OF SUBDIVISION OF PART OF LOT 14, CONCESSION 8, GEOGRAPHIC TOWNSHIP OF GWILLIMBURY AND ALL OF BLOCK 131, REGISTERED PLAN 51M-962, TOWN OF BRADFORD WEST GWILLIMBURY, COUNTY OF SIMCOE.

SURVEY PREPARED BY HUNT SURVEYS INC., O.L.S. DATED MAY 11, 2016

THE BUILDER SHALL BE RESPONSIBLE FOR VERIFICATION OF HOUSE TYPE AND FRONT ELEVATION PRIOR TO COMMENCEMENT OF CONSTRUCTION

ZONING INFORMATION

ZONE DESIGNATION BY-LAW	PERMITTED	PROVIDED
FRONT YARD SETBACK (m)	6.0	6.00
FRONT FACE OF GARAGE		
FRONT YARD SETBACK (m)	3.0	3.0
OTHER PORTIONS OF DWELLING	3.0	3.0
INTERIOR SIDE YARD SETBACK (m) (EAST)	1.2	1.27
INTERIOR SIDE YARD SETBACK (m) (WEST)	0.6	0.67
REAR YARD SETBACK (m)	7.5	13.10
GARAGE INTERIOR WIDTH (m)	2.7	3.30
GARAGE INTERIOR LENGTH (m)	6.0	6.15
GARAGE PROJECTION (m)	3.0	1.32

STRUCTURE

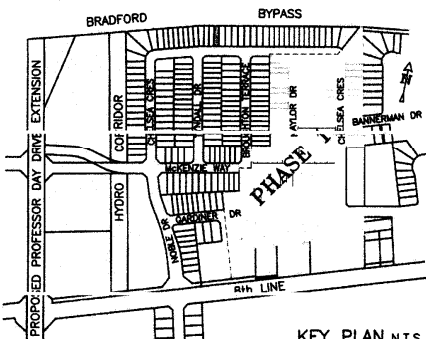
MODEL NAME	ASHBURY 2350 B
HOUSE STYLE (i.e. walkout, bungalow etc.)	TWO STOREY
EAST	N/A
WEST	GLENARM 2250 C
NORTH	N/A
SOUTH	N/A
FIREBREAK LOT	NO

SERVICING CHECK BOX

SERVICE	YES/NO	DEPTH AT P/L	INVERT @ P/L
WATER	YES	1.7	

NOTE: CONTRACTOR TO CONFIRM STORM AND SANITARY LATERAL INVERTS PRIOR TO COMMENCEMENT OF CONSTRUCTION.

KEY PLAN N.T.S.



PROJECT

PROPOSED DWELLING FOR: LORMEL HOMES

AT: 199 CHELSEA CRESCENT, BRADFORD, ONTARIO

THE PROPOSED LOT GRADING IS APPROVED AS BEING IN GENERAL CONFORMITY WITH THE OVERALL APPROVED GRADING PLAN FOR THIS SUBDIVISION.

COMPANY NAME: *COLE ENGINEERING*

APPROVED BY: *Daniel MA*

SIGNATURE: *Daniel MA*

DATE: *March 25, 2020*

DEVELOPER:

TOWN OF BRADFORD WEST GWILLIMBURY - BUILDING DEPARTMENT

REVIEWED

INSPECTOR: *[Signature]*

PERMIT NO.: PRBD202000460 DATE: Aug. 20, 2020

CONSULTANT: CONSTRUCTION SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE STATUTORY REGULATIONS. THE REVIEWED DOCUMENTS MUST BE KEPT ON SITE AT ALL TIMES.

INSPECTION REQUEST FORM

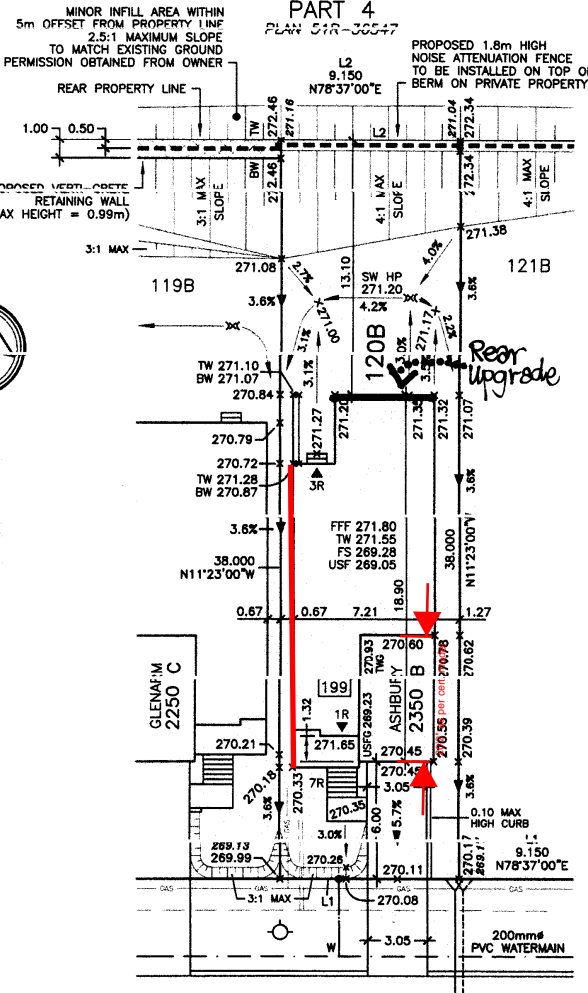
INSPECTION REQUEST FAX: (905) 778-2035

INSPECTION REQUEST TELEPHONE: (905) 778-2055 EXT. 1500

BRADFORD BYPASS

PART 4

PLAN 51M-30547



CHELSEA CRESCENT

45min. FRR

5 4 3 2 1 0 5 10 15

BENCHMARK: CONCRETE CULVERT UNDER HIGHWAY No. 88, 1.8km WEST OF POST OFFICE, TABLET IN WEST FACE OF CULVERT, 30cm FROM NORTH END, 1.02m BELOW TOP, 11.0m NORTH OF CENTRELINE OF ROAD, 1.2m BELOW ROAD LEVEL, 4.3m SOUTHEAST OF TELEPHONE POLE No. 256-JP, HAVING AN ELEVATION OF 249.431m.

ELEVATION: 249.431

MAX BUILDING HEIGHT: 11.00 m	LOT AREA: 347.70 m ²	SAN INVERT: 267.20 m
BUILDING HEIGHT: 8.04 m	LOT FRONTAGE: 9.15 m	STM INVERT: 267.50 m
AVERAGE GRADE: 270.77 m	LOT COVERAGE: 37.32 %	DESIGNED: TP
		DRAWN: TP
		DATE: MAR 2020
2 REVISED PER COLE ENGINEERING REVIEW	MR 25 20	SCALE: 1:250
1 ISSUED	MR 17 20	PLAN: 51M-1087
Revision	Date	

SITING & GRADING PLAN

LOT NO: 120

PHASE 2

UR 25, 2020 14:10 TP

INSPECTION REQUEST FORM: BUILDING INSPECTIONS @ TOWN OF BWG.COM