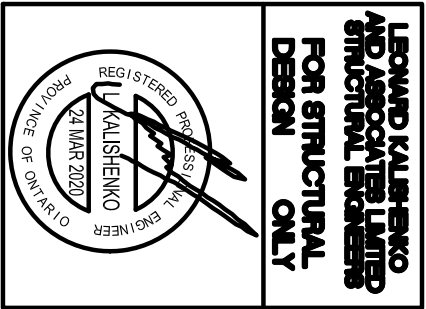


REVISIONS	
#	DATE
1	REVISED STRUCTURE TO A.S. JOIST
	MR 19 19



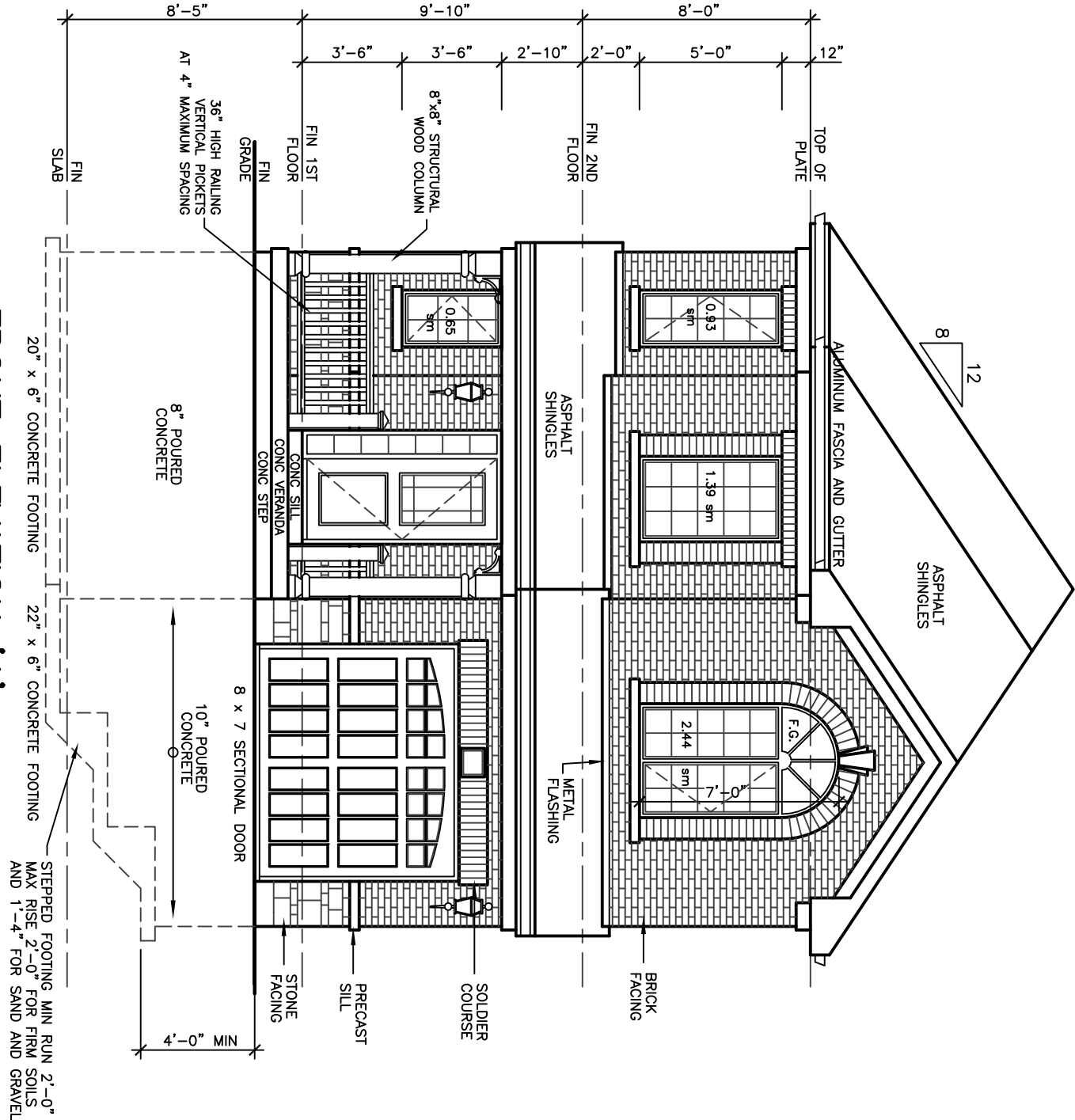
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**ARCHITECTURAL
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TEL 905 660-9393
FAX 905 660-9419

**GLENARM
MODEL 2250**

PROJECT
PROPOSED
TWO STOREY DWELLING
FOR: LORAMEL HOMES
AT: BRADFORD

DRAWING	PROJECT NO
DATE JAN '19	19-64
DRAWN N.L.	DRAWING NO
CHECKED	
SCALE 3/16"=1'-0"	A-4



WALLS AND WINDOWS AREA			
ELEVATION	WALL AREA	WINDOWS AREA	%
FRONT ELEVATION	45.51 SM	5.41 SM	
RIGHT SIDE ELEVATION	98.42 SM	5.01 SM	
LEFT SIDE ELEVATION	42.87 SM	- SM	
REAR ELEVATION	11.17 SM	- SM	
TOTAL AREA	288.73 SM	21.59 SM	7.53

WEEP HOLES THAT ARE SPACED NOT MORE THAN 600 mm. ROOF SHALL BE PROVIDED WITH DRAINAGE SYSTEMS OF ASSURANCE IN MASONRY VENER WALLS AND ABOVE UNITS OVER WINDOW AND DOOR OPENINGS. [OBC 9.26.13.6]

A CHIMNEY FLUE SHALL EXTEND NOT LESS THAN 1.2 m ABOVE THE FINISHED ROOF AT WHICH THE CHIMNEY COMES IN CONTACT WITH THE ROOF, AND SHALL EXTEND NOT LESS THAN 3 m ABOVE THE FINISHED ROOF SURFACE OF STRUCTURE WITHIN 3 m OF THE CHIMNEY. [OBC 9.21.4.4]

THE SLOPE OF ROOF SURFACES, ON WHICH ROOF COVERINGS MAY BE APPLIED, SHALL CONFORM TO OBC 9.26.3.1.

FLASHING SHALL BE INSTALLED AT ALL INTERSECTIONS LISTED OBC 9.26.4 WHERE SLOPING SURFACES OF SHINGLED ROOFS INTERSECT TO FORM A VALEY. THE VALEY SHALL BE FLASHED IN CONFORMANCE WITH OBC 9.26.4.3.

AN EXTERIOR LIGHTING OUTLET WITH FIXTURE CONTAINED WITHIN A SHINGLED ROOF AT EVERY ENTRANCE TO BUILDINGS OF RESIDENTIAL OCCUPANCY. [OBC 9.34.2.1]

REFER TO LOT GRADING / SITE PLAN FOR REQUIRED NUMBER OF EXTERIOR STEPS, DECK OR BASEMENT WALKOUT CONDITION.

DECK SURFACE TO WHICH ACCESS IS PROVIDED FOR OTHER THAN MAINTENANCE PURPOSES, SHALL BE PROTECTED BY A 8 ON EACH SIDE THAT IS NOT PROTECTED BY A WALL FOR THE LENGTH WHERE:

(A) OF PROTECT LOW FENCE IN ELEVATION OF MORE THAN 1.2 m, OR

(B) THE ADJACENT SURFACE WITHIN 1.2 m OF THE WALKING SURFACE HAS A SLOPE OF MORE THAN 1 IN 2. [OBC 9.6.1.1(1)]

FOR BUILDINGS CONTAINING ONLY DWELLING UNITS, THE MINIMUM FINISHED FLOOR AND ANY EXTERIOR WALL LOCATED ABOVE AN EXPOSING BUILDING FACE THAT ENCLOSSES (A) HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 45 MIN. WHERE THE LIMITING LESS THAN 0.6 m, OR

(B) HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 1.2 m, AND

WITH NONCOMBUSTIBLE MATERIALS, WHERE THE LIMITING DISTANCE IS LESS THAN 0.6 m. [OBC 9.10.15.3.12]

FINISHED GRADE'S PROFILE LINE IS GENERIC AND DOES NOT REFLECT EXACT ELEVATION. TYPES OF GLASS AND PROTECTION OF GLASS SHALL BE, IN ACCORDANCE WITH OBC 9.8.1.1.

RESISTANCE TO FORCED ENTRY SHALL BE PROVIDED FOR ALL EXTERIOR UNITS IN ACCORDANCE WITH OBC 9.7.5.2 AND FOR WINDOWS IN ACCORDANCE WITH OBC 9.7.5.3.

GUARDS SHALL CONFORM TO OBC 9.8.8.1 AND SHALL RESIST LOADS IN CONFORMANCE WITH TABLE 9.8.8.2.

GLASS IN GUARDS CONFORM TO OBC SECTION 9.8.8.1.

THE MAXIMUM AGGREGATE AREA OF UNPROTECTED OPENINGS IN AN EXPOSING BUILDING FACE SHALL CONFORM TO TABLE 9.10.14.4.

FOR BUILDINGS CONTAINING ONLY DWELLING UNITS, CONSTRUCTION OF EXPOSING BUILDING FACES SHALL CONFORM TO OBC 9.10.15.5. EVERY WINDOW WELL SHALL BE DRAINED TO THE FOOTING LEVEL OR OTHER SUITABLE LOCATION. [OBC 9.14.6.3]

WHERE STEP FOOTINGS ARE USED, THE VERTICAL RISE BETWEEN THE HORIZONTAL, AND THE HORIZONTAL DISTANCE BETWEEN RISERS SHALL BE NOT LESS THAN 600 mm. [OBC 9.13.3.9]

THE THICKNESS AND HEIGHT OF FOUNDATION WALLS MADE OF UNREINFORCED CONCRETE SHALL BE NOT LESS THAN 150 mm AND SHALL CONFORM TO TABLE 9.15.4.2.2. FOR WALLS NOT MORE THAN 2.3 m IN UNSUPPORTED HEIGHT. [OBC 9.15.4.2]

EXTERIOR FOUNDATION WALLS SHALL EXTEND NOT LESS THAN 150 mm ABOVE FINISHED GROUND LEVEL. [OBC 9.15.4.6]

VENTING FOR ROOF SPACES SHALL CONFORM TO OBC 9.19.1.2.

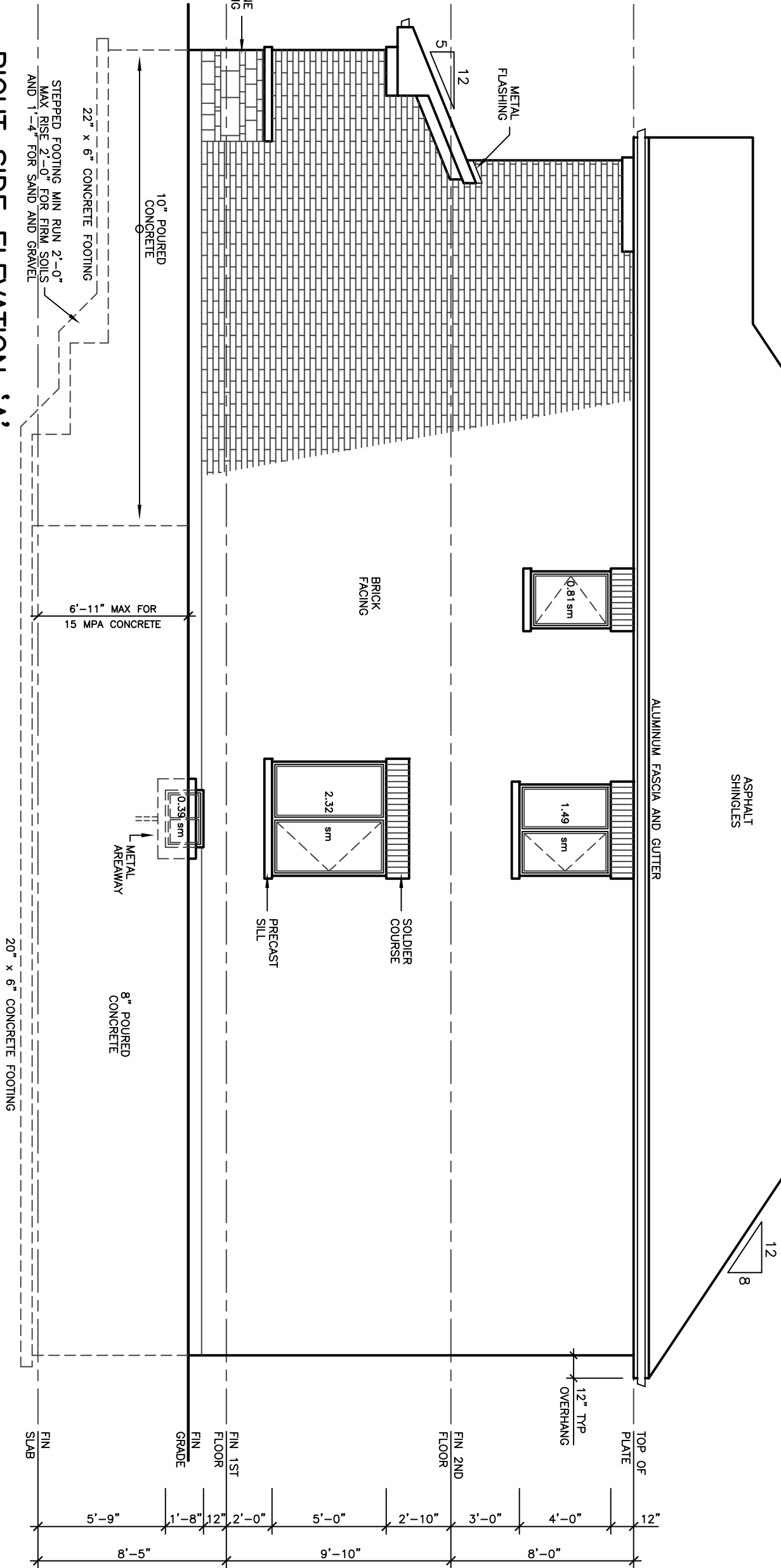
THE UNSTRUCTURED ROOF VENT AREA SHALL BE NOT LESS THAN 1/200 OF THE INSULATED CEILING AREA WHERE THE ROOF SLOPE IS LESS THAN 12 IN 12. IN ROOFS THAT ARE CONSTRUCTED WITH ROOF JOISTS THAT ARE UNSTRUCTURED VENT AREA SHALL BE NOT LESS THAN 1/100 OF THE INSULATED CEILING AREA. [OBC 9.19.1.2]

FLASHING SHALL BE INSTALLED IN MASONRY AND CONCRETE CONSTRUCTION IN ACCORDANCE WITH OBC 9.20.13.3.(1).

TROUGHWALL FLASHING SHALL BE PROVIDED IN A MASONRY VENER WALL SUCH THAT AIR MOISTURE WHICH ACCUMULATES IN THE AIR SPACE WILL BE DIRECTED TO THE EXTERIOR OF THE BUILDING. [OBC 9.20.13.3.(2)]

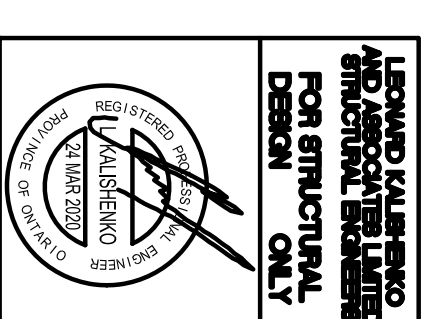
CONSTRUCTION INFORMATION & MATERIALS REQUESTED BY CITY

1. SIDING MATERIAL WILL BE VINYL SIDING
2. SPRAY FOAM WILL BE USED IN GARAGE BY SUCCESSFUL BIDDER
3. DOORS AND WINDOWS WILL BE BY "BROWN" CO.
4. GUARDS AND RAILING BY "CPL ALUM. RAIL INC."
5. WOOD DECK (TYP) IS SUPPLIED ON MODEL WHICH HAS DECK
6. SEE NOTE 1, ABOVE
7. ALL DOWNERS CONSTRUCTED OF 2X4
8. EXTERIOR DOORS AND MUNICIPAL NUMBERS, LIGHTING TO BE PROVIDED
9. REINFORCED FOUNDATION WALL AND STUMP
10. FOUNDATION WALL INSULATION TO EXTEND TO FLOOR OF BASEMENT
11. EXTERIOR GUARD ON VERANDAS TO BE 42"
12. AND BY CPL ALUMINUM RAILING INC
13. SLOPE INDICATORS TO BE PROVIDED ON ALL MAIN LEVELS



ALLOWABLE UNPROTECTED OPENINGS			
LIMITING DISTANCE	3.94 FT	1.20 M	
MAXIMUM PERCENTAGE	7.00 %		
TOTAL WALL AREA	1070.23 SF	99.43 SM	
ALLOWABLE PERCENTAGE	4.90 %		
ACTUAL OPENINGS	50.56 SF	4.70 SM	

30' LOT

[illegible]

Lorne
HOMES



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DRAWINGS MUST NOT BE SCALED.

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RATHBURN
MODEL 1960

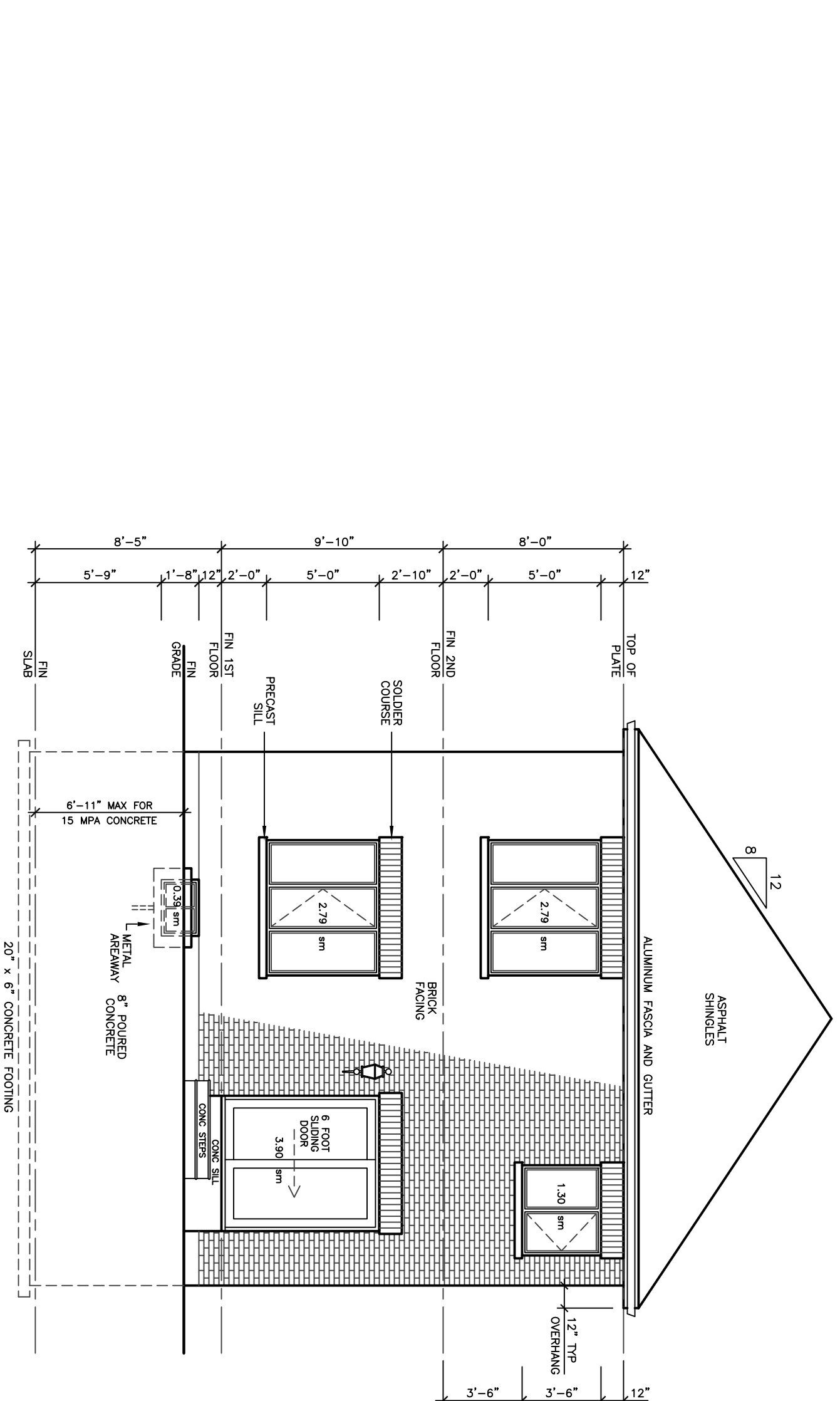
PROJECT
PROPOSED
TWO STOREY DWELLING
FOR: LORMEL HOMES
AT: BRADFORD

DRAWING
REAR AND LEFT
SIDE ELEVATIONS 'A'

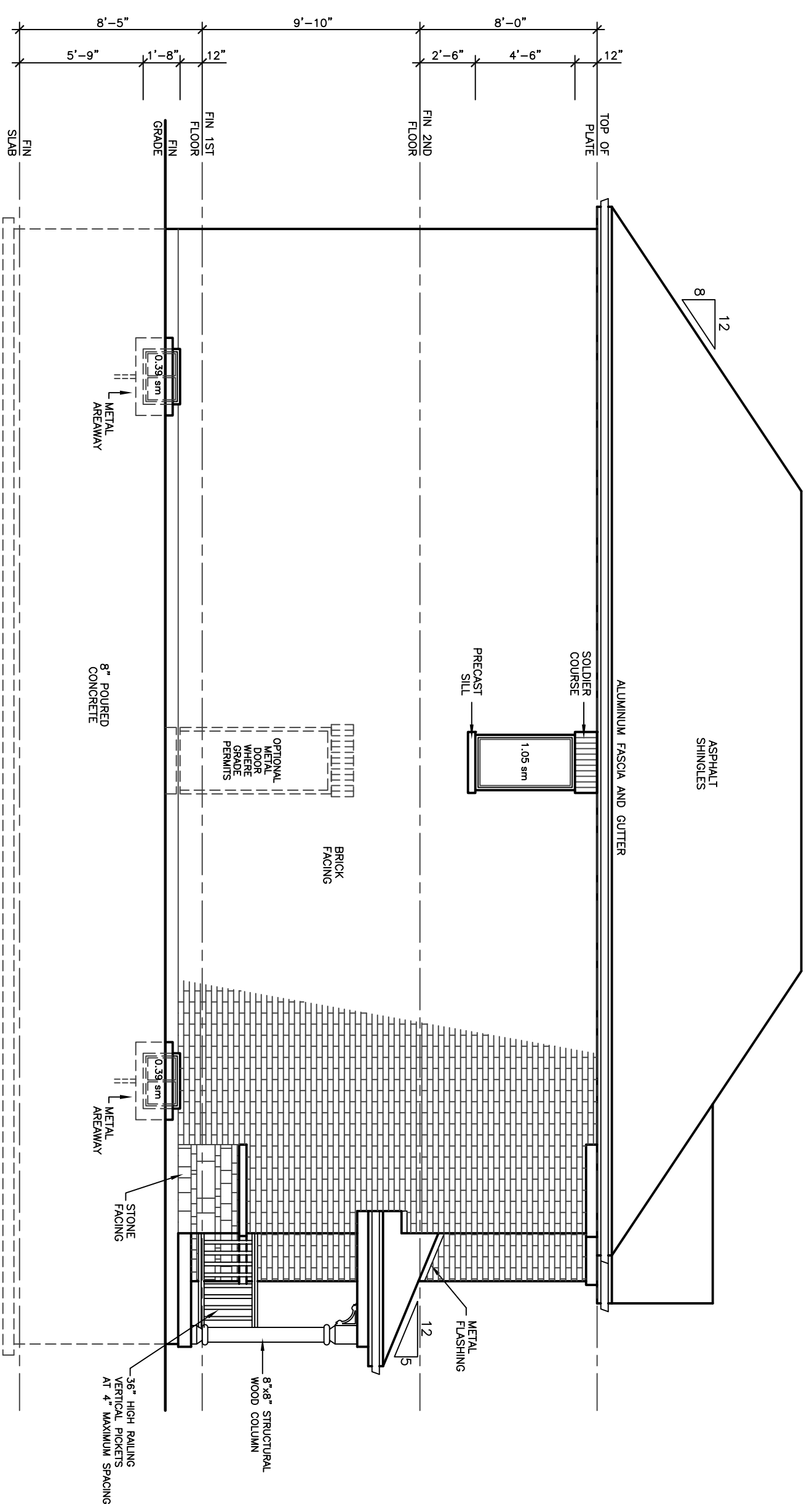
DATE	JAN '19	PROJECT NO	19-64
DRAWN	N.L.	DRAWING NO	

SCALE 1/4" = 1' 0"

A-5



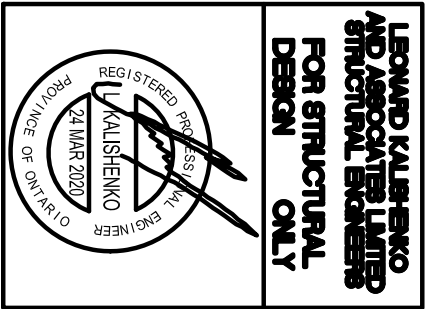
REAR ELEVATION 'A'



LEFT SIDE ELEVATION 'A'

30' LOT

REVISIONS	
#	DATE
1	REVISED STRUCTURE TO A.S. JOISTS MAR 19 19



LEONARD KULSHENKO
REGISTERED PROFESSIONAL ENGINEER
FOR STRUCTURAL DESIGN ONLY



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FAX 905 660-9419

GLENARM
MODEL 2250

PROJECT
PROPOSED
TWO STOREY DWELLING
FOR: LORMEL HOMES
AT: BRADFORD

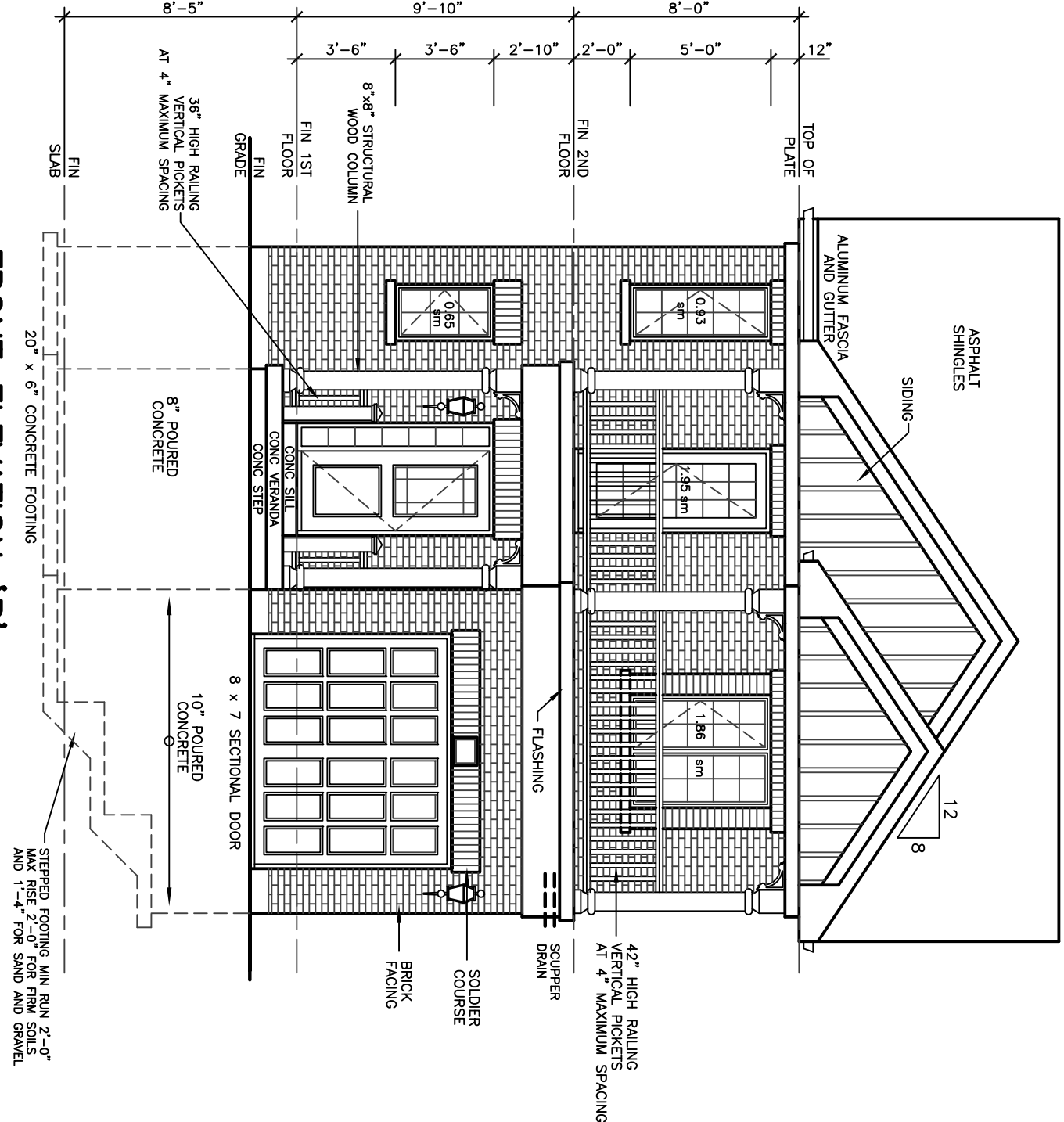
DRAWING

FRONT AND RIGHT
SIDE ELEVATIONS 'B'

DATE	JAN '19	PROJECT NO	
DRAWN	N.L.	19-64	
CHECKED		DRAWING NO	

SCALE 3/16"=1'-0"

30' LOT



FRONT ELEVATION 'B'

STEPPED FOOTING MIN RUN 2'-0"
MAX RISE 2'-0" FOR FIRM SOILS
AND 1'-4" FOR SAND AND GRAVEL

WEED LOCUS THAT ARE SPACED NOT MORE THAN 800 mm APART SHALL BE PROVIDED AT THE BOTTOM OF CAVITIES OR AIR SPACES IN MASONRY EXTERIOR WALLS AND ABOVE FINISHED FLOORING AND DOOR THRESHOLDS. [OBC 9.20.13.8]

A CHIMNEY FLUE SHALL EXTEND NOT LESS THAN 900 mm ABOVE THE HIGHEST POINT AT WHICH THE CHIMNEY COMES IN CONTACT WITH THE ROOF SURFACE OR STRUCTURE WITHIN 3 m OF THE CHIMNEY. [OBC 9.21.4.4]

THE SLOPE OF ROOF SURFACES, ON WHICH ROOF GUTTERS MAY BE APPLIED, SHALL CONFORM TO OBC 9.26.5.1.

FLASHING SHALL BE INSTALLED AT ALL INTERSECTIONS LISTED OBC 9.26.4 WHERE SLOPING SURFACES OF SHINGLED ROOFS INTERSECT TO FORM A VALLEY. THE FLASHING SHALL BE INSTALLED IN CONFORMANCE WITH OBC 9.26.4.3.

AN EXTERIOR LIGHTING OUTLET WITH A FUTURE CONTROLLED BY A WALL SWITCH LOCATED WITHIN THE BUILDING SHALL BE PROVIDED FOR EACH EXTERIOR LIGHTING OUTLET. [OBC 9.44.4.1]

REFER TO L-10 DRAWING OF THE PLAN FOR THE LOCATION OF EXTERIOR LIGHTING, DOOR BETWEEN GARAGE AND DWELLING, DECK OR BASEMENT WALKOUT CONDITION.

EVERY SURFACE TO WHICH ACCESS IS PROVIDED, FOR OTHER THAN MAINTENANCE PURPOSES, SHALL BE PROTECTED BY A GUARD, IN CONFORMANCE WITH OBC 9.8.8, ON EACH SIDE THAT IS NOT PROTECTED BY (a) THERE IS THE DIFFERENCE IN ELEVATION OF MORE THAN 600 mm, OR (b) THE AVERAGE SURFACE WITH A SLOPE OF MORE THAN 1 IN 2. [OBC 9.8.8.1(1)]

FOR BUILDINGS CONTAINING ONLY DWELLING UNITS, EACH EXPOSING BUILDING FACE AND ANY EXTERIOR WALL LOCATED ABOVE AN ATIC OR ROOF SPACE SHALL ENCLOSURE (a) HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 0.8 m, OR (b) LESS THAN 0.8 m, BUT NOT LESS THAN 3 MIN AND ALSO BE CLAD WITH NONCOMBUSTIBLE MATERIAL WHERE THE UNITS ARE LOCATED WITHIN LESS THAN 0.8 m. [OBC 9.10.15.3(2)]

FINISHED GRADE'S PROFILE LINE IS GENERIC. TYPES OF GLASS AND PROTECTION OF GLASS SHALL BE IN ACCORDANCE WITH OBC 9.6.1.4.

RESISTANCE TO FORCED ENTRY SHALL BE PROVIDED FOR DOORS IN ACCORDANCE WITH OBC 9.7.12.2 AND FOR WINDOWS IN ACCORDANCE WITH OBC 9.7.13.3.

GUARDS SHALL CONFORM TO OBC 9.8.8.1 WITH TABLE 9.8.8.2, LOADS IN CONFORMANCE WITH TABLE 9.8.8.2.

GLASS IN GUARDS CONFORM TO OBC SECTION 9.8.8.1.

THE MINIMUM AGGREGATE AREA OF UNPROTECTED OPENING IN A WALL EXPOSING BUILDING FACE SHALL CONFORM TO TABLE 9.10.14.4.

FOR BUILDINGS CONTAINING ONLY DWELLING UNITS, CONSTRUCTION OF EXPOSING BUILDING FACES SHALL CONFORM TO OBC 9.10.13.3.

EVERY WINDOW WELL SHALL BE DRAINED TO LOCATION. [OBC 9.14.4.3]

WHERE STEP FOOTINGS ARE USED, THE EXPOSING BUILDING FACE SHALL BE PROTECTED AND THE HORIZONTAL DISTANCE BETWEEN PORTIONS SHALL NOT EXCEED 600 mm. [OBC 9.15.3.9]

THE THICKNESS AND HEIGHT OF FOUNDATION WALLS SHALL BE IN ACCORDANCE WITH OBC 9.15.3.9. AND THE HORIZONTAL DISTANCE BETWEEN PORTIONS SHALL NOT EXCEED 600 mm.

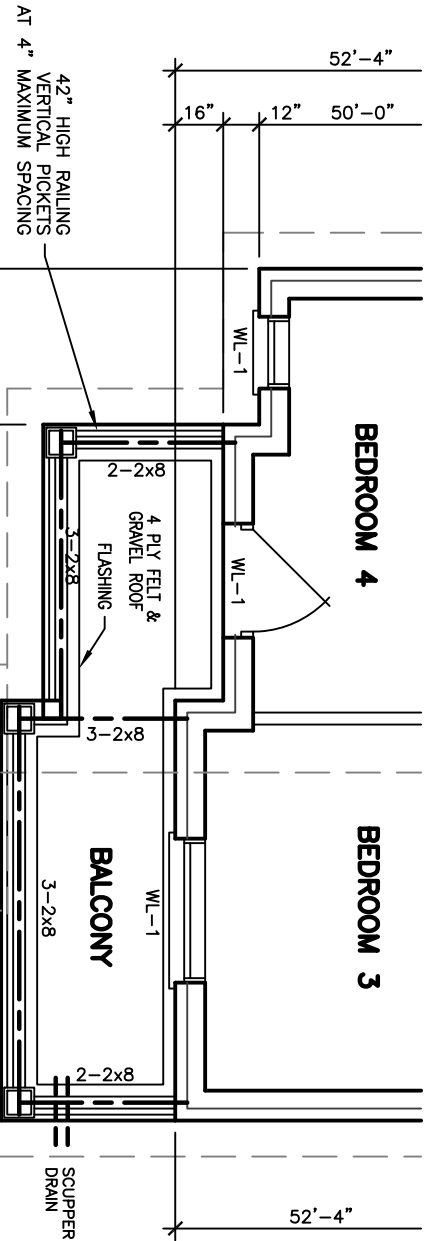
EXTERIOR FOUNDATION WALLS SHALL EXTEND NOT LESS THAN 150 mm ABOVE FINISHED GROUND LEVEL. [OBC 9.15.4.6]

VENTING FOR ROOF SPACES SHALL CONFORM TO OBC 9.19.1.2.

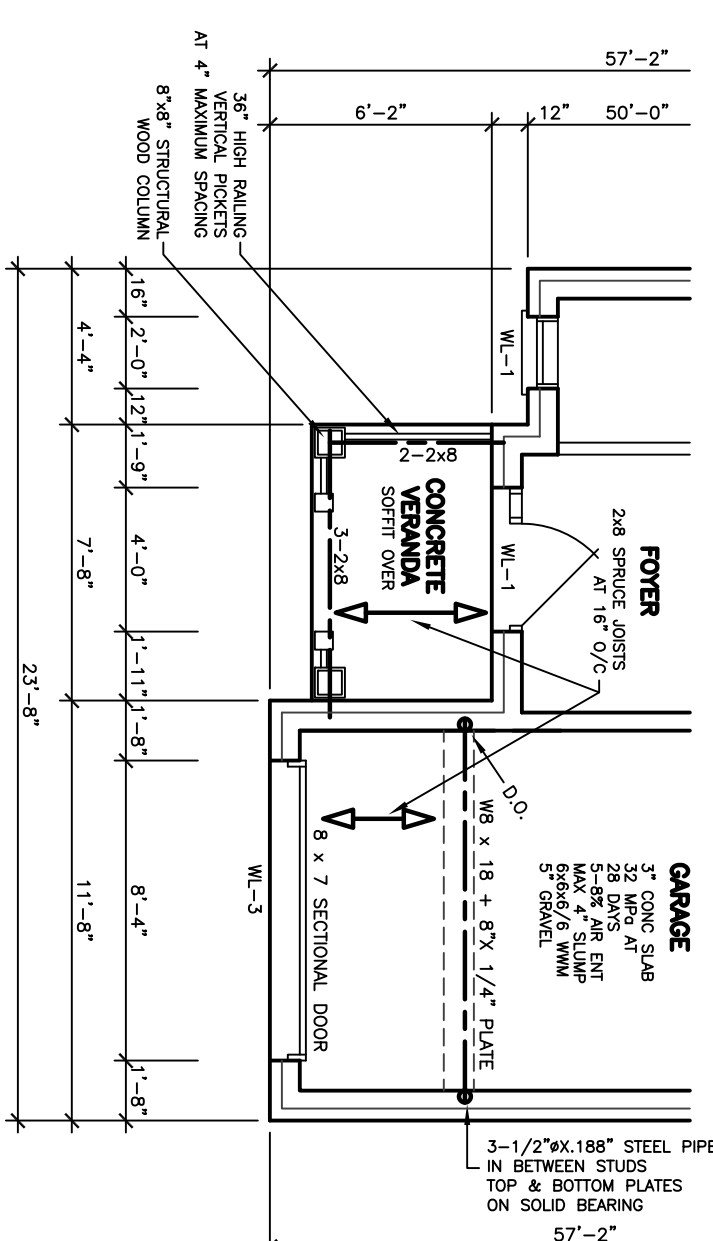
THE UNOBSTRUCTED ROOF VENT AREA SHALL BE NOT LESS THAN 1/200 OF THE INSULATED AREA OF THE ROOF. IN ROOFS THAT ARE CONSTRUCTED WITH ROOF JOISTS, THE UNOBSTRUCTED ROOF VENT AREA SHALL NOT BE LESS THAN 1/50 OF THE INSULATED CEILING AREA. [OBC 9.19.1.2]

FLASHING SHALL BE INSTALLED IN MASONRY AND MASONRY VENEER WALLS IN CONFORMANCE WITH OBC 9.20.13.3.(1).

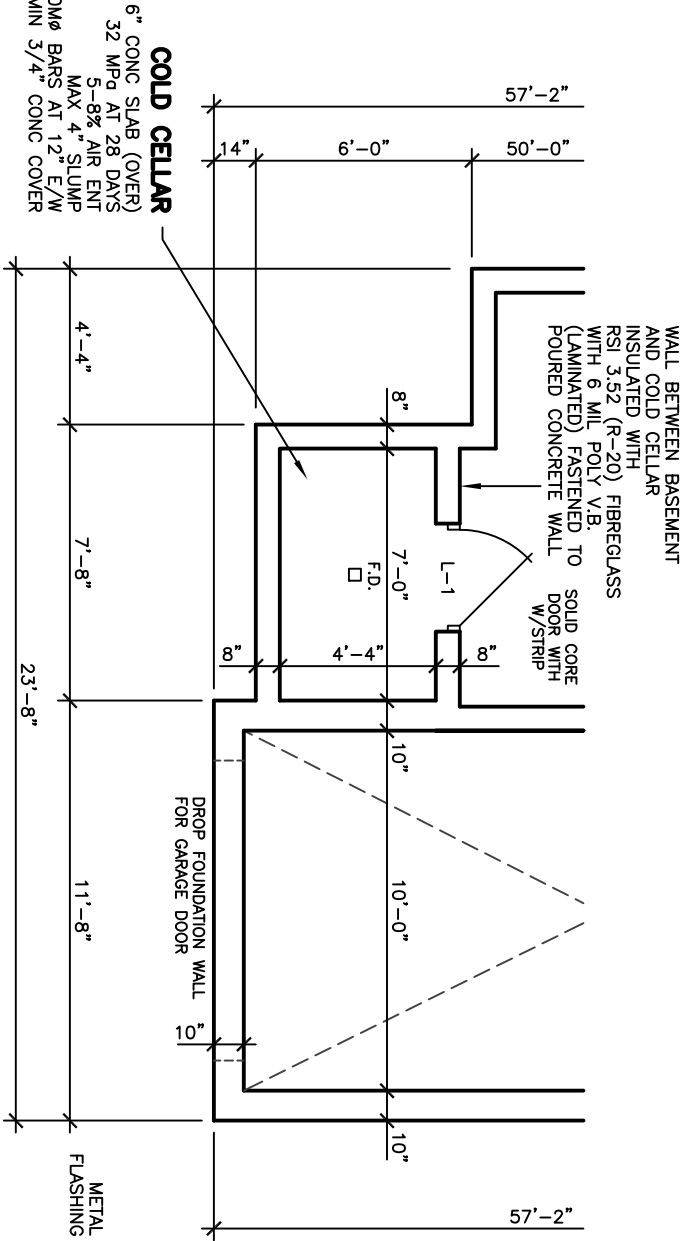
THROUGHWALL FLASHING SHALL BE PROVIDED IN A MASONRY VENEER WALL SUCH THAT ANY WATER, WHEN DIRECTED TO THE EXTERIOR OF THE BUILDING. [OBC 9.20.13.3.(2)]



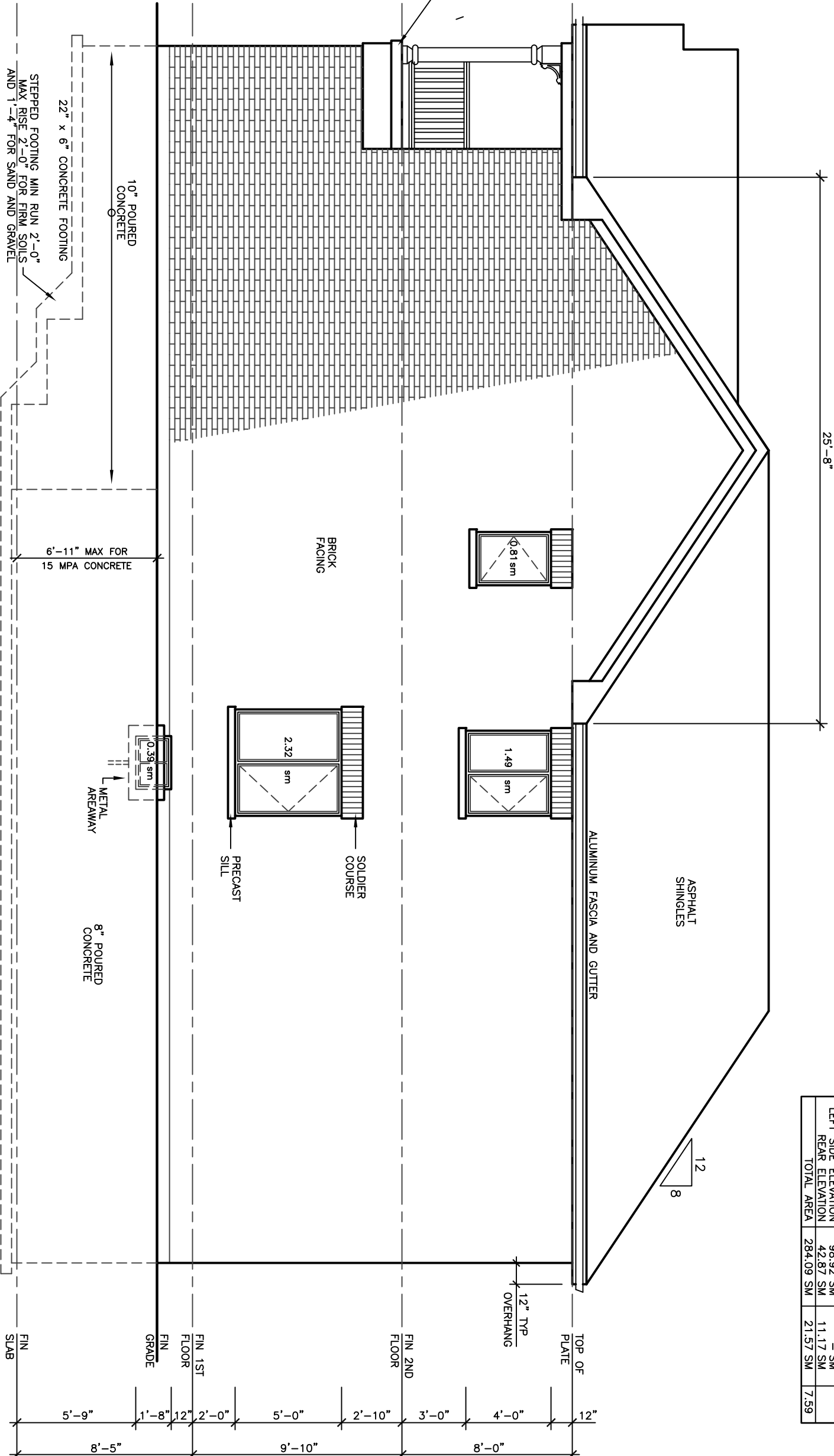
SECOND FLOOR PLAN 'B'



FIRST FLOOR PLAN 'B'



BASEMENT FLOOR PLAN 'B'

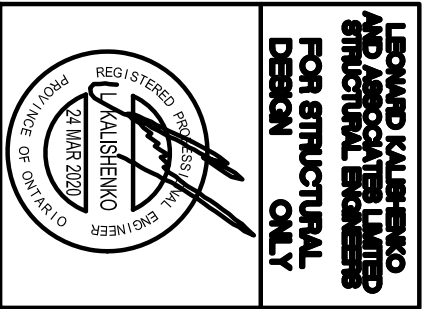


RIGHT SIDE ELEVATION 'B'

ALLOWABLE UNPROTECTED OPENINGS		
LIMITING DISTANCE	3.94 FT	1.20 M
MAXIMUM PERCENTAGE	10.73 %	99.75 SM
ALLOWABLE OPENINGS	75.16 SF	6.98 SM
ACTUAL OPENINGS	50.58 SF	4.70 SM

30' LOT

REVISIONS		DATE
#	DESCRIPTION	DATE
1	REVISED STRUCTURE TO A.S. JOISTS	MAR 19 19



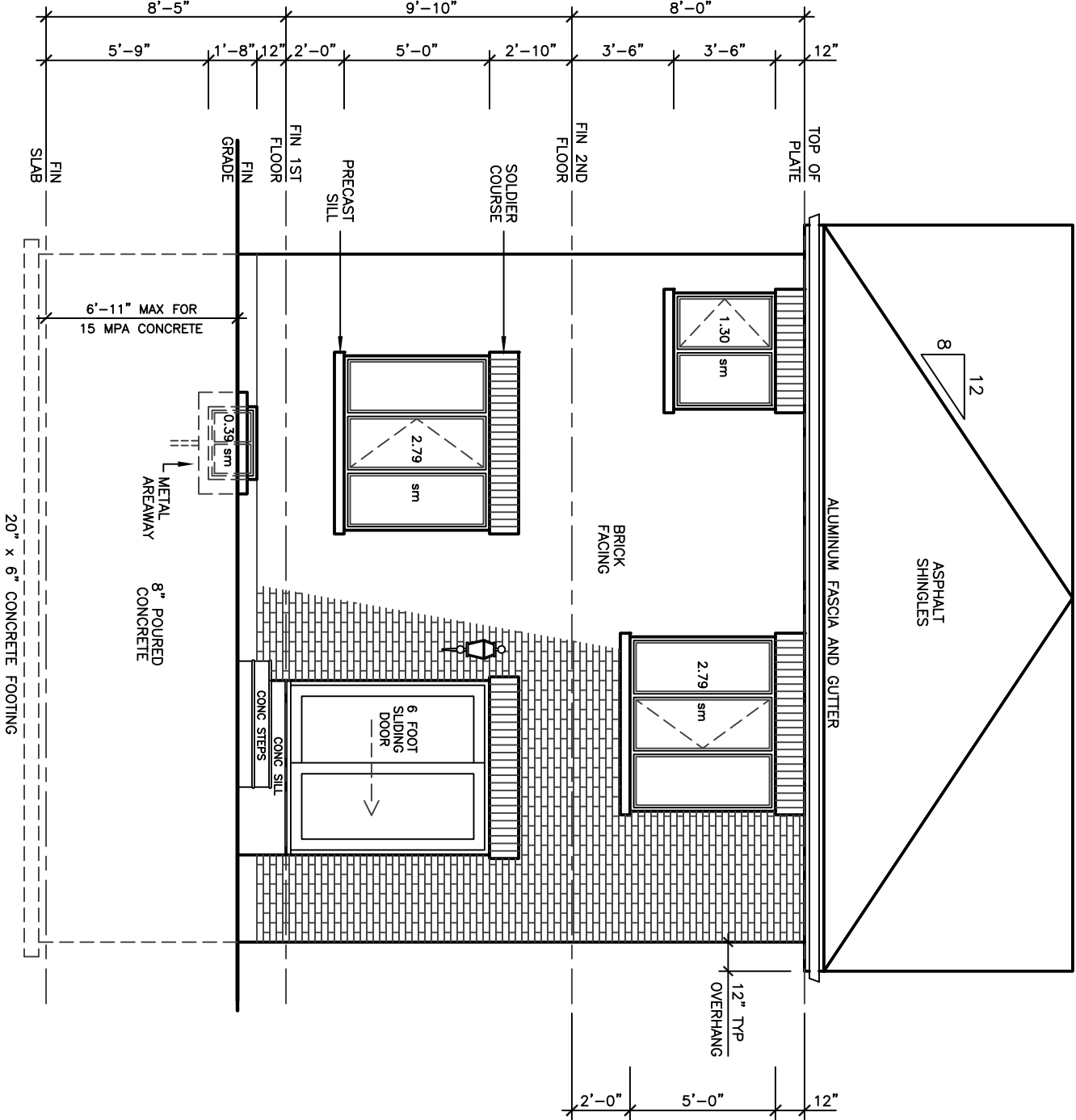
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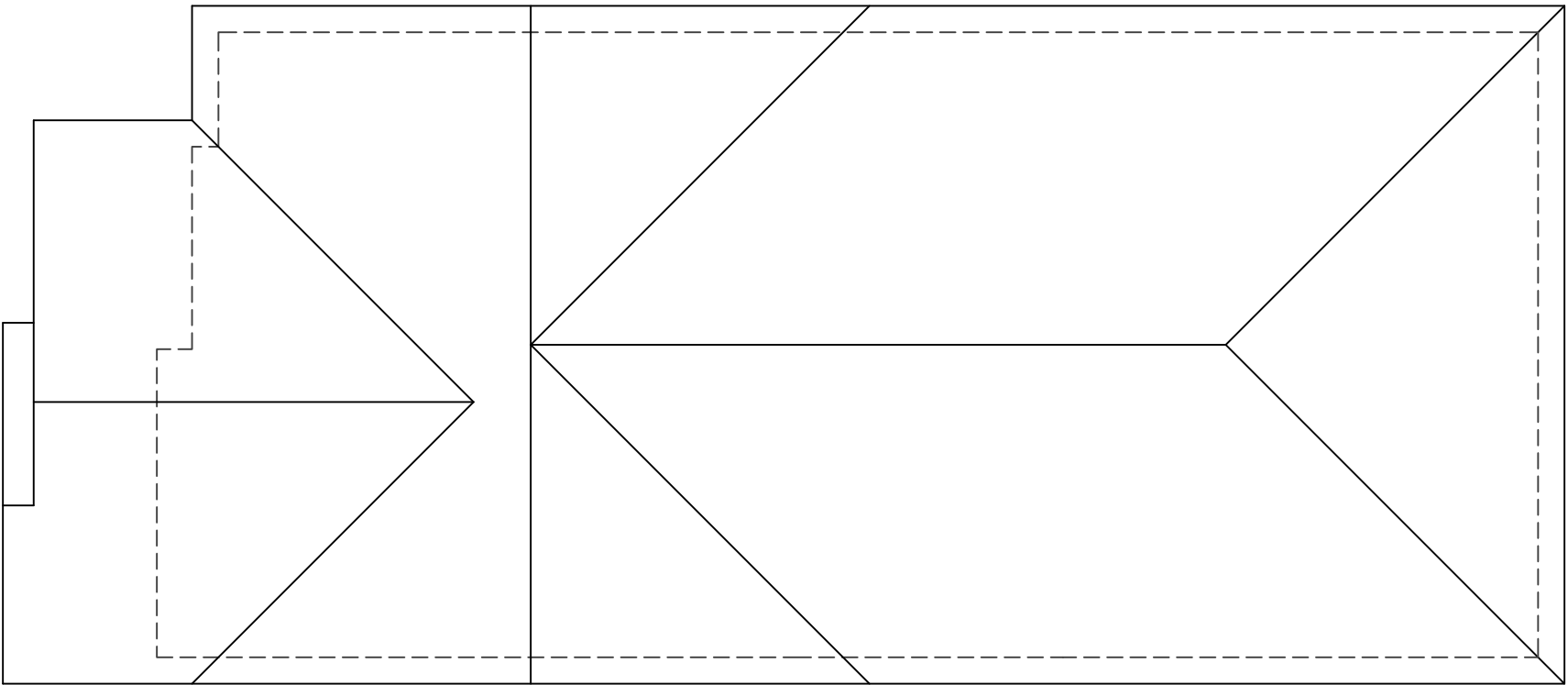
**GLENARM
MODEL 2250**

PROJECT
PROPOSED
TWO STOREY DWELLING
FOR: LORAMEL HOMES
AT: BRADFORD

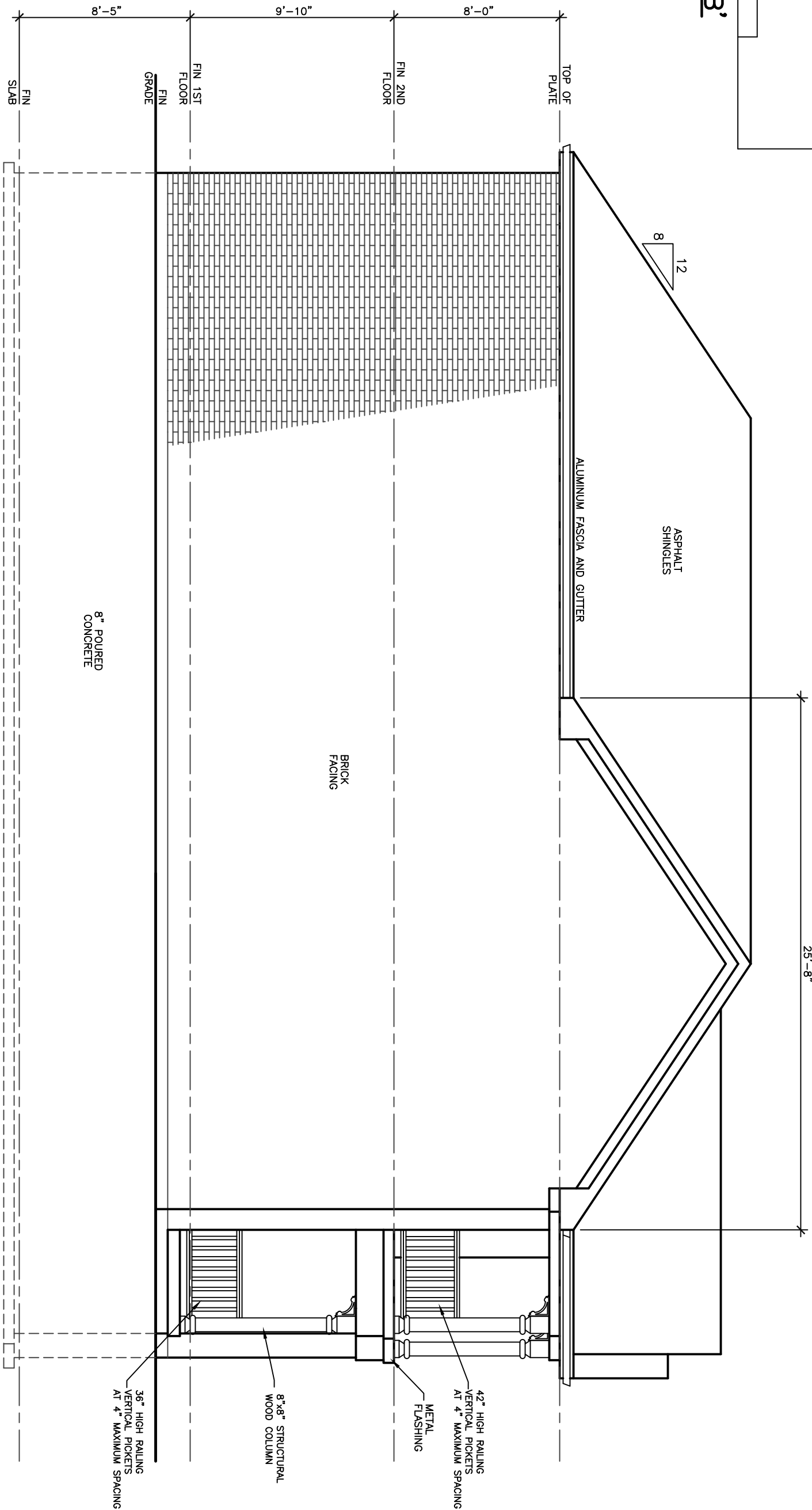
DRAWING REAR AND LEFT SIDE ELEVATIONS 'B' ROOF PLAN 'B'	
DATE JAN '19	PROJECT NO
DRAWN N.L.	19-64
CHECKED	DRAWING NO
SCALE 3/16"=1'-0"	A-7



REAR ELEVATION 'B'



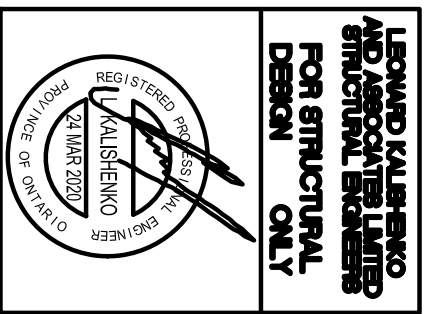
ROOF PLAN 'B'



LEFT SIDE ELEVATION 'B'

DWL TO BE 5/8" TYPE "X" WHERE WALL
IS LESS THAN 48" FROM LOT LINE
IN GARAGE WHERE THERE IS NO DWL
1/2" DWL TYPE "X" E.S. OF NO STUDS
IF WALL IS LESS THAN 4'-0" TO LOT

30' LOT

[illegible]

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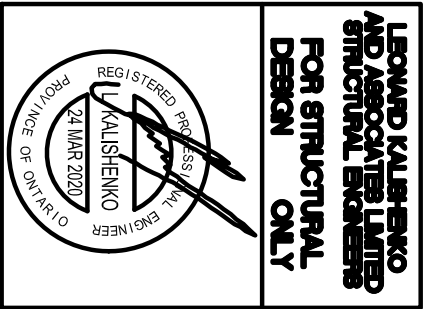
56 PENNSYLVANIA AVE.
UNIT 1
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TEL 905 660-9393
FAX 905 660-9419

GLENARM
MODEL 2250

PROJECT
PROPOSED
TWO STOREY DWELLING
FOR: LORMEL HOMES
AT: BRADFORD

DRAWING		PROJECT NO	
FRONT ELEV 'C'		19-64	
AND ROOF PLAN			
DATE	JAN '19		
DRAWN	N.L.	DRAWING NO	
CHECKED			
SCALE		A-8	

REVISIONS		DATE



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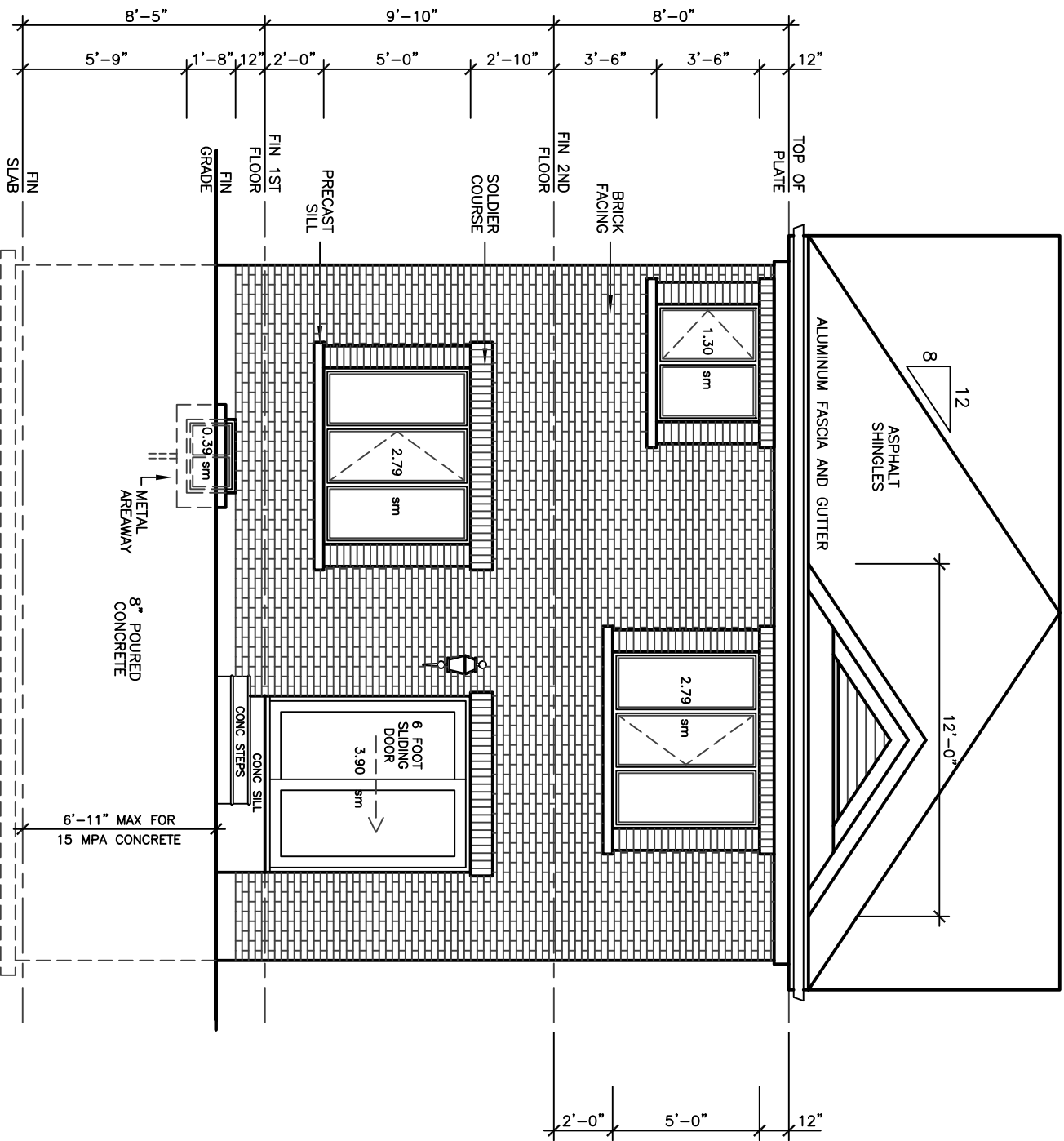


**GLENARM
MODEL 2250**

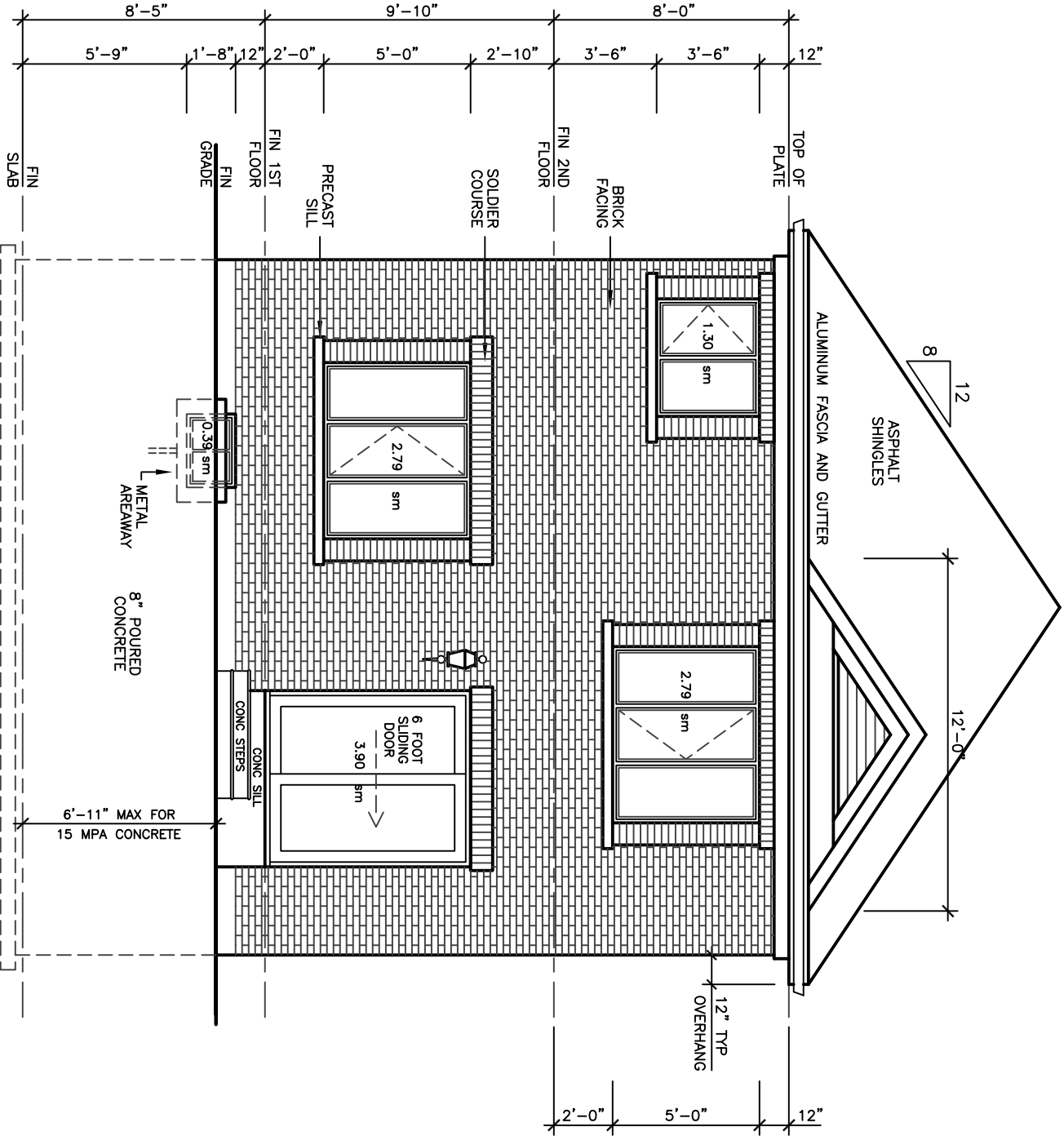
PROJECT
PROPOSED
TWO STOREY DWELLING
FOR: LORAMEL HOMES
AT: BRADFORD

DRAWING
UPGRADE REAR
ELEVATIONS

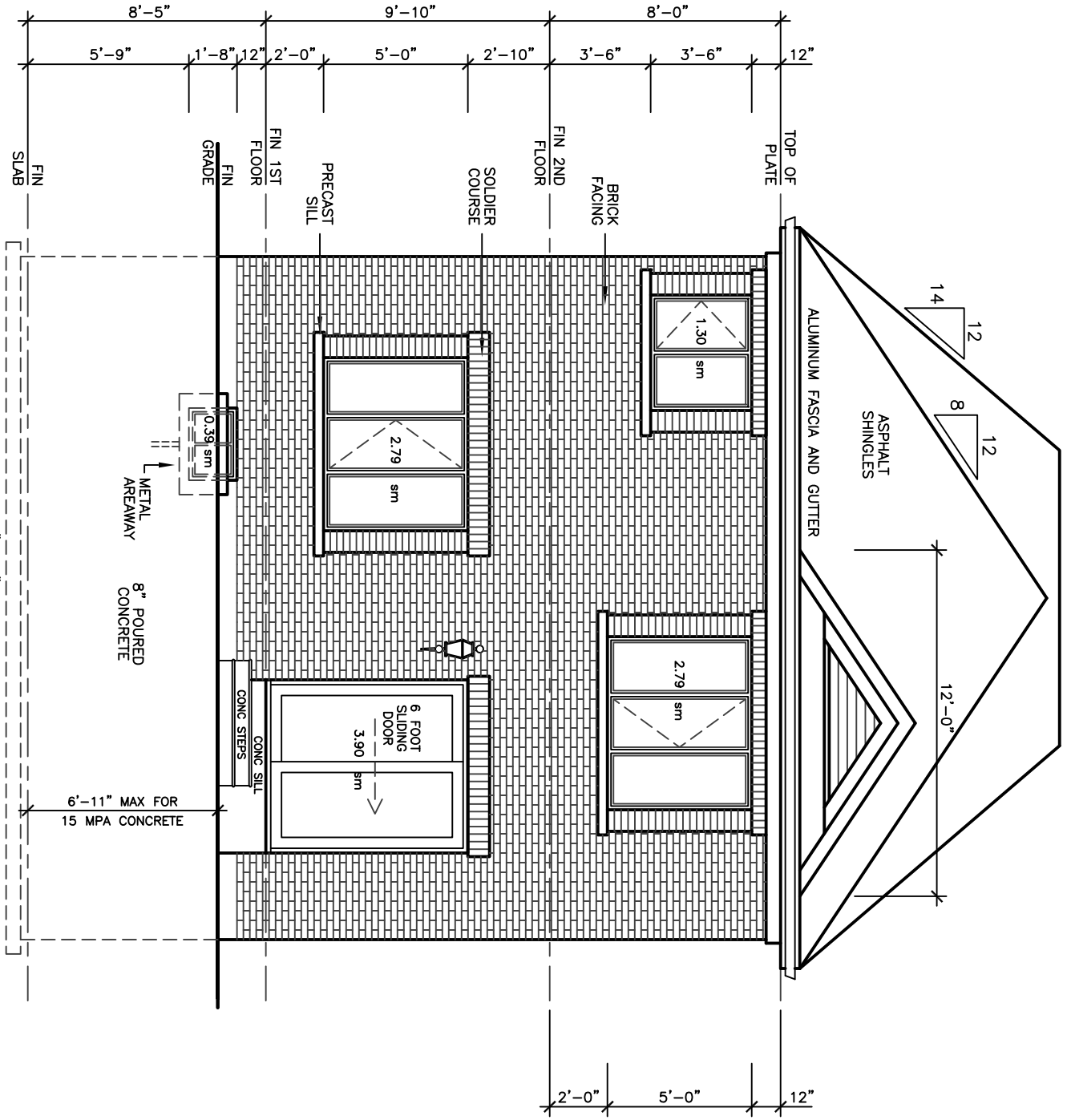
DATE	JAN '19	PROJECT NO	19-64
DRAWN	N.L.	DRAWING NO	A-9
CHECKED			
SCALE	3/16"=1'-0"		



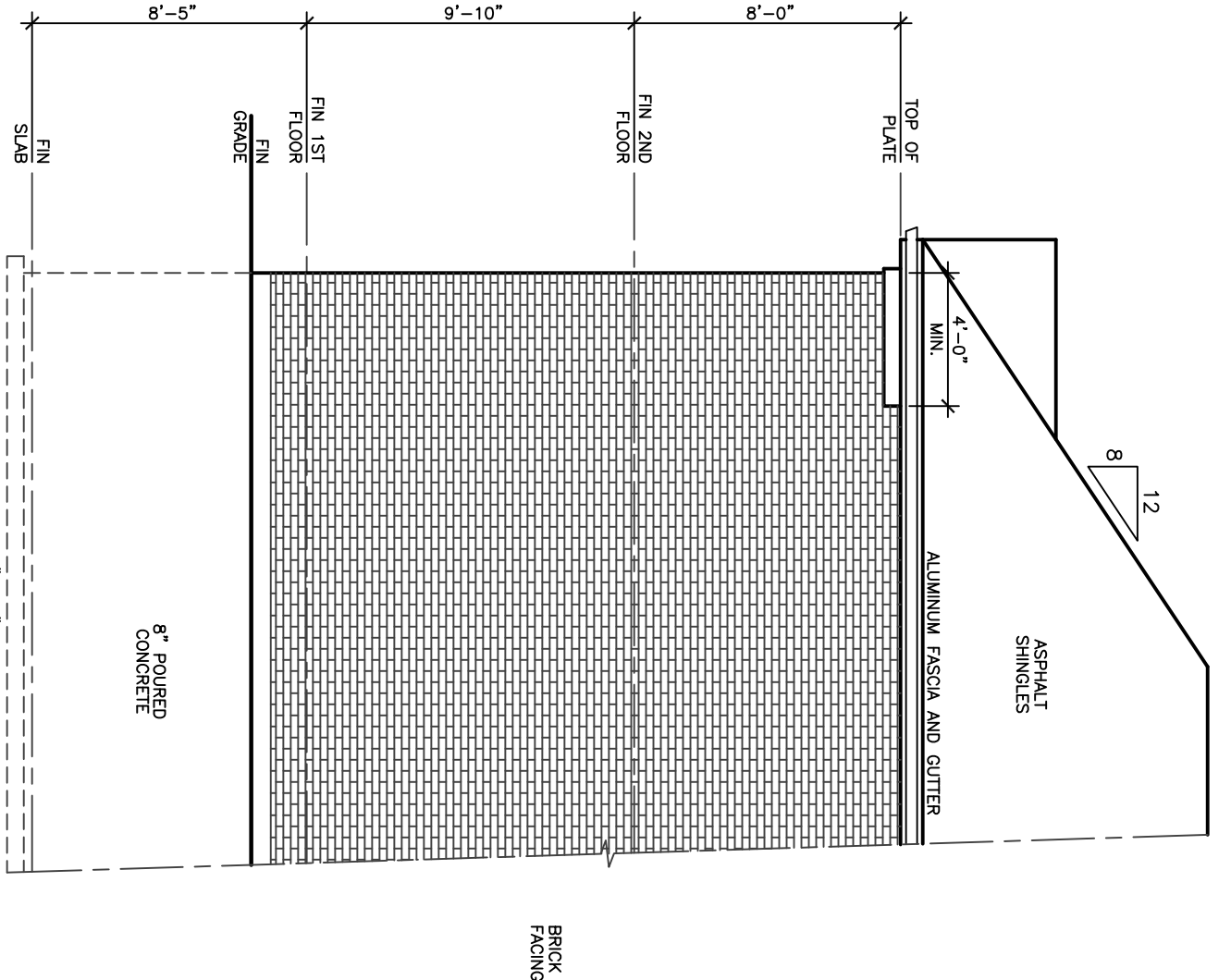
UPGRADE REAR ELEVATION 'B'



UPGRADE REAR ELEVATION 'A'



UPGRADE REAR ELEVATION 'C'



LEFT SIDE ELEVATION

30' LOT