Bradford Gwillimbury

PLANNING DEPARTMENT

COMPLIES WITH ZONING BY-LAW:

DATE REVIEWED:

REVIEWED BY:

ENGINEERING REVIEW

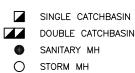
☐ ACCEPTED ☐ ACCEPTED AS NOTED

☐ REQUIRES RE-SUBMISSION

THIS PLAN HAS BEEN REVIEWED WITH RESPECT TO GENERAL CONFORMANCE WITH THE OVERALL LOT GRADING PLAN AND OUR APPROVAL OF THIS PLAN FOR NO OTHER REASON. WE ACCEPT NO RESPONSIBILITY FOR THE ACCURACY OF THE ELEVATIONS AND DIMENSIONS PROVIDED BY OTHERS.

REVIEWED BY DATE (TOWN OF BRADFORD WEST GWILLIMBURY USE ONLY)

## **LEGEND**



SANITARY SERVICE STORM SERVICE WATER SERVICE

GAS SERVICE HYDRO SERVICE CABLE SERVICE FLOW DIRECTION

\*

000.00 EXISTING ELEVATION PROPOSED ELEVATION 000.00 SW 000.00 SWALE ELEVATION

FFF FINISHED 1ST FLOOR TW TOP OF FOUNDATION WALL

ENGINEERED FILL

TWG TOP OF WALL IN GARAGE FS FINISHED SLAB

USF U/S FOOTING USFG U/S FOOTING GARAGE

SPO SUMP PUMP

**⊹** HYDRANT AND VALVE 0 VALVE AND BOX

 $oldsymbol{X}$ BELL PEDESTAL Δ CABLE PEDESTAL  $\blacksquare$ HYDRO TRANSFORMER

✡ LIGHT STANDARD MB SUPER MAILBOX DOWNSPOUT

1234 MUNICIPAL ADDRESS SLOPE 3:1 MAXIMUM FOOTINGS LOWERED FOR 1.22m FROST PROTECTION

## ARCHITECTURAL DESIGN INC.



56 PENNSYLVANIA AVE. UNIT 1 CONCORD, ONT. L4K 3V9 TEL 905 660-9393 FAX 905 660-9419



ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE ARCHITECT AND CANNOT BE USED OR REPRODUCED WITHOUT HIS APPROVAL THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS ON THE SITE AND REPORT ANY DISCREPANCIES TO THE ARCHITECT

DRAWINGS MUST NOT BE SCALED

## **PROJECT**

APPROVED BY:

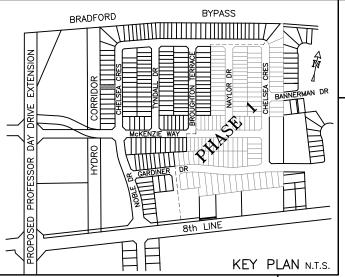
PROPOSED DWELLING FOR: LORMEL HOMES AT: 291 CHELSEA CRESCENT BRADFORD, ONTARIO

THE PROPOSED LOT GRADING IS APPROVED AS BEING IN GENERAL CONFORMITY WITH THE OVERALL APPROVED GRADING PLAN FOR THIS SUBDIVISION.

COMPANY NAME: <u>IBI</u> Group Kishan Pai

Kishan Pai SIGNATURE:

19-JUL-2021 DATE: 100503842



ZONING INFORMATION ZONE DESIGNATION BY-LAW PERMITTED PROVIDED FRONT YARD SETBACK (m) FRONT FACE OF GARAGE 6.00 FRONT YARD SETBACK (m) OTHER PORTIONS OF DWELLING 6.20 INTERIOR SIDE YARD SETBACK (m) (NORTH) 1.2 1.23 INTERIOR SIDE YARD SETBACK (m) (SOUTH) 0.6 0.62 REAR YARD SETBACK (m) 7.5 11.47 GARAGE INTERIOR WIDTH (m) 5.59 5.4 GARAGE INTERIOR LENGTH (m) 6.0 6.10 GARAGE PROJECTION (m) 3.0 1.88 **STRUCTURE** 

	SINOCIONE							
	MODEL NAME	ROSEMOUNT 2800 A						
	HOUSE STYLE (i.e. walkout, bungal	TWO STOREY WALKOUT						
		EAST	N/A					
-	ADJACENT MODEL	WEST	N/A					
	ADJACENT MODEL	NORTH	REDWING 2280 A					
		SOUTH	REDWING 2280 A					
	FIREBREAK LOT		NO					
	SERVICING CHECK BOX							

NOTE: CONTRACTOR TO CONFIRM STORM AND SANITARY LATERAL INVERTS PRIOR TO COMMENCEMENT OF CONSTRUCTION.

DEPTH AT P/L

INVERT @ P/L

## SITE INFORMATION

YES/NO

YES

SERVICE

WATER

THIS PLAN IS BASED ON PLAN OF SUBDIVISION OF PART OF CONTROL OF BRADFORD WEST GWILLIMBURY

AND ALL OF BLOCK 131

REGISTERED PLAM 51M-962

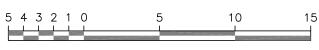
TOWN OF BRADFORD WEST GWILLIMBURY COUNTY OF SIMCOE

SURVEY PREPARED BY HUNT SURVEYS INC., O.L.S. DATED MAY 11, 2016

THE BUILDER SHALL BE RESPONSIBLE FOR VERIFICATION OF HOUSE TYPE AND FRONT ELEVATION PRIOR TO COMMENCEMENT OF CONSTRUCTION

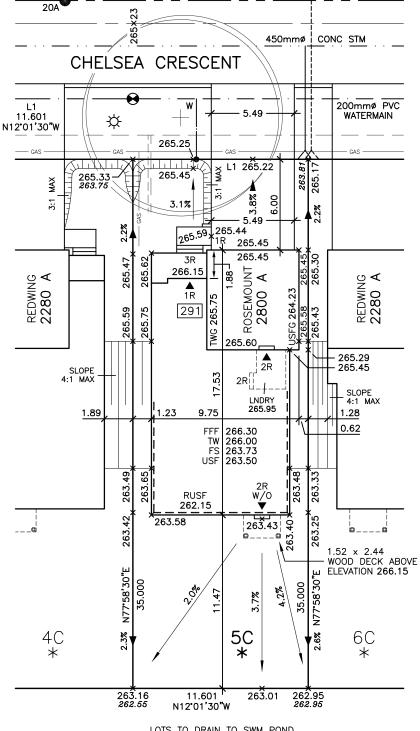
> Town of Bradford West Gwillimbury Complies with Zoning By-law 2010-050 2021-07-22 Date: Reviewed by: CdeRewer

\*Zoning reviewed for deck only\*



BENCHMARK: CONCRETE CULVERT UNDER HIGHWAY No. 88, 1.8km WEST OF POST OFFICE, TABLET IN WEST FACE OF CULVERT, 30cm FROM NORTH END, 1.02m BELOW TOP, 11.0m NORTH OF CENTRELINE OF ROAD, 1.2m BELOW ROAD LEVEL, 4.3m SOUTHEAST OF TELEPHONE POLE No. 256-JP, HAVING AN ELEVATION OF 249.431m. ELEVATION: 249.431

200mmø PVC SAN



LOTS TO DRAIN TO SWM POND PER EXISTING DRAINAGE CONDITIONS

HYDRO CORRIDOR

GINEER	DEVELOPER:	MA:	X BUILDING HEIGHT: 11.00 m	LOT AREA: 4	06.03 m²	SAN INVE	RT: 262.20 m	
Ħ	V	BUILDING HEIGHT: 9.26 m LOT		LOT FRONTAGE: 1	FRONTAGE: 11.601 m		STM INVERT: 262.71 m	
0		AVI	ERAGE GRADE: 264.51 m	LOT COVERAGE:	40.28 %	DESIGNED	: TP	
/		4				DRAWN:	TP	
	BUILDER:	3	3 ADDED WOOD DECK		JL 06 21	DATE:	MAR 2020	
		2	REVISED PER COLE ENGINEERIN	IG REVIEW	MR 08 20	SCALE:	1:250	
		1 ISSUED			MR 01 20	PLAN:	51M-1087	
	CONSULTANT:	No	Revision		Date	LOT NO: 5 PHASE 3		
			SITING & GRA	DING PLAN	7			