Bradford Gwillimbury

PLANNING DEPARTMENT

ZONING BY-LAW: DATE REVIEWED:

REVIEWED BY:

COMPLIES WITH

ENGINEERING REVIEW

☐ ACCEPTED

☐ ACCEPTED AS NOTED

☐ REQUIRES RE-SUBMISSION

THIS PLAN HAS BEEN REVIEWED WITH RESPECT TO GENERAL CONFORMANCE WITH THE OVERALL LOT GRADING PLAN AND OUR APPROVAL OF THIS PLAN FOR NO OTHER REASON. WE ACCEPT NO RESPONSIBILITY FOR THE ACCURACY OF THE ELEVATIONS AND DIMENSIONS PROVIDED BY OTHERS.

REVIEWED BY DATE (TOWN OF BRADFORD WEST GWILLIMBURY USE ONLY)

OF TELEPHONE POLE No. 256-JP, HAVING AN ELEVATION OF 249.431m.

ELEVATION: 249.431

LEGEND

SW 000.00

SINGLE CATCHBASIN DOUBLE CATCHBASIN SANITARY MH

0 STORM MH SANITARY SERVICE STORM SERVICE WATER SERVICE

GAS SERVICE HYDRO SERVICE CABLE SERVICE FLOW DIRECTION

*ENGINEERED FILL 000.00 EXISTING ELEVATION PROPOSED ELEVATION 000.00

FFF FINISHED 1ST FLOOR TW TOP OF FOUNDATION WALL

SWALE ELEVATION

TWG TOP OF WALL IN GARAGE FS FINISHED SLAB

USF U/S FOOTING

USFG U/S FOOTING GARAGE SPO SUMP PUMP

⊹ HYDRANT AND VALVE 0 VALVE AND BOX

 $oldsymbol{X}$ BELL PEDESTAL

Δ CABLE PEDESTAL \blacksquare HYDRO TRANSFORMER

✡ LIGHT STANDARD MB SUPER MAILBOX DOWNSPOUT

1234 MUNICIPAL ADDRESS SLOPE 3:1 MAXIMUM FOOTINGS LOWERED FOR 1.22m FROST PROTECTION

ARCHITECTURAL DESIGN INC.



56 PENNSYLVANIA AVE. UNIT 1 CONCORD, ONT. L4K 3V9 TEL 905 660-9393 FAX 905 660-9419



ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE ARCHITECT AND CANNOT BE USED OR REPRODUCED WITHOUT HIS APPROVAL THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS ON THE SITE AND REPORT ANY DISCREPANCIES TO THE ARCHITECT

DRAWINGS MUST NOT BE SCALED

PROJECT

PROPOSED DWELLING FOR: LORMEL HOMES AT: 283 CHELSEA CRESCENT BRADFORD, ONTARIO

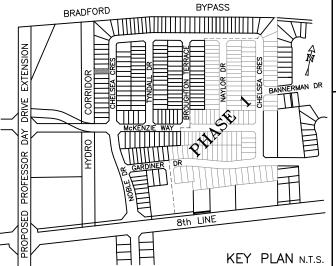
THE PROPOSED LOT GRADING IS APPROVED AS BEING IN GENERAL CONFORMITY WITH
THE OVERALL APPROVED GRADING PLAN FOR THIS SUBDIVISION.

IBI Group COMPANY NAME:

Kishan Pai APPROVED BY: <u>Kishan Pai</u> SIGNATURE:

19-JUL-2022 DATE:

PROFESSIONAL K.P. PAI 100503842 19-JUL-2021 INCE OF ONTER



ZONING INFORMATION ZONE DESIGNATION BY-LAW PERMITTED PROVIDED FRONT YARD SETBACK (m) FRONT FACE OF GARAGE 6.00 FRONT YARD SETBACK (m) OTHER PORTIONS OF DWELLING 6.00 INTERIOR SIDE YARD SETBACK (m) (NORTH) 1.2 1.45 INTERIOR SIDE YARD SETBACK (m) (SOUTH) 0.6 0.85 REAR YARD SETBACK (m) 7.5 13.71 GARAGE INTERIOR WIDTH (m) 5.59 5.4 GARAGE INTERIOR LENGTH (m) 6.0 6.10 GARAGE PROJECTION (m) 3.0 1.78 **STRUCTURE** CAMERON 2030 C MODEL NAME HOUSE STYLE (i.e. walkout, bungalow etc.) TWO STOREY WALKOUT **EAST** N/A N/A WEST

ADJACENT MODEL NORTH ROSEMOUNT 2800 C SOUTH REDWING 2280 A FIREBREAK LOT SERVICING CHECK BOX SERVICE YES/NO DEPTH AT P/L INVERT @ P/L WATER YES

NOTE: CONTRACTOR TO CONFIRM STORM AND SANITARY LATERAL INVERTS PRIOR TO COMMENCEMENT OF CONSTRUCTION.

SITE INFORMATION

THIS PLAN IS BASED ON PLAN OF SURVEY OF BLOCKS 163 AND 164 REGISTERED PLAN 51M-1087 TOWN OF BRADFORD WEST GWILLIMBURY COUNTY OF SIMCOE

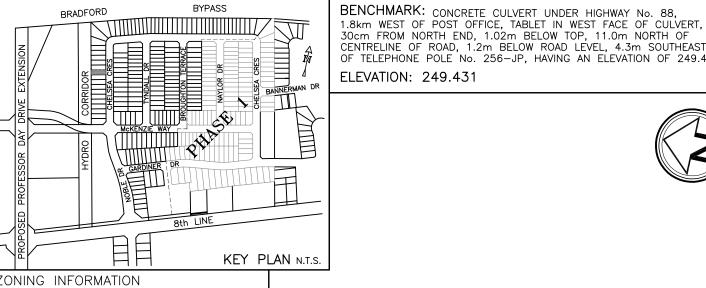
SURVEY PREPARED BY HUNT SURVEYS INC., DATED MAY 17, 2019 0.L.S.

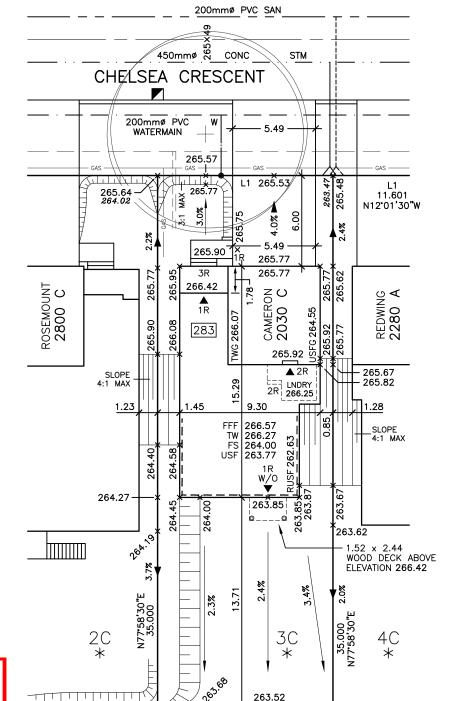
THE BUILDER SHALL BE RESPONSIBLE FOR VERIFICATION OF HOUSE TYPE AND FRONT ELEVATION PRIOR TO COMMENCEMENT OF CONSTRUCTION

Town of Bradford West Gwillimbury Complies with Zoning By-law 2010-050 Date: 2021-07-22

Reviewed by: Cdekewer

Zoning reviewed for deck only





LOTS TO DRAIN TO SWM POND PER EXISTING DRAINAGE CONDITIONS

11.601

N12'01'30"W

HYDRO CORRIDOR

5 10 5 4 3 2 1 0 15

DEVELOPER:	MAX BUILDING HEIGHT: 11.00 m LOT AREA:			406.03 m²	SAN INVE	RT: 262.80 m
	BU	ILDING HEIGHT: 8.47 m	LOT FRONTAGE: 11.601 m		STM INVE	RT: 262.91 m
	ΑV	ERAGE GRADE: 265.01 m	LOT COVERAGE:	32.92 %	DESIGNED	: TP
	4				DRAWN:	TP
BUILDER:	3			DATE:	MAR 2020	
	2 ADDED WOOD DECK			JL 06 21	SCALE:	1:250
	1	ISSUED		MR 27 20	PLAN:	51M-1087
CONSULTANT:	No	lo Revision			LOT NO: 3	
		SITING & GRADING PLAN			PHASE 3	