



LORMEL DEVELOPMENTS (BRADFORD) LTD.
PURCHASER EXTRAS

PART - 012 P.E #002A – LEXINGTON Elev. C – 3240

Attention Trades...

The following items below are Purchaser Extras, please make sure that they are done on time and properly complete. Any outstanding items will be Back Charged. If you have any questions please call Roberto Ruiz. Make sure that you review ALL of the items on the Purchaser Extras.

Please be advised that Purchase Orders will come at a later date.

***Also it is very important to speak to Roberto Ruiz before starting on site **

TRADE: ITEMS TO BE COMPLETED

Allstar Carpentry	#1, #2, #5, #6, #15, #17
Brown Window	#1, #2, #14
Stairfab	#1
Maple Drywall	#1
Medi Group	#1
CPL Aluminum	#3
Internazionale Electric	#4, #7, #10
Tofino	#5, #6
All-Tronic	#7, #8, #9
Liberty	#10, #17
Kingswood	#11, #12, #13
Metropolitan	#15
Pipecon	#16, #17

Date: July 16, 2020

NOTE: If more information is needed please call Roberto Ruiz cell-416-6889324

If more information needed on quotes or changes, please call Zachary
905-832-2023 ext. 224

From: Lormel Homes

Site Trailer – Jai Fitzgerald
Tel: 905-775-3633
Site Trailer Fax: 905-775-9083

Constructors
GSM

May 12, 202

Schedule B-3 – Purchaser's Extras

forming part of the Agreement of Purchase and Sale



HORIZ
A NEW LAND

VENDOR:

LORMEL DEVELOPMENTS (BRADFORD) LTD.

PURCHASER(S): Joewin Vilavinal Wilson & Tinta Joewin Wilson
LOT NUMBER: PART 012 PHASE: 3
MODEL: Lexington 3240
P.E.#: 002

It is understood and agreed that no requests for changes, additions or deletions will be accepted by the Vendor for the above extras after acceptance of this order.

No.	DESCRIPTION
1.	Provide for 10ft Ceilings on the main floor in lieu of standard, window sizes will be increased by 6" in height (does not include areas where bulkheads are required, includes standard door heights, standard door style/hardware, and standard white window frames) PATIO SLIDER
2.	Provide and install 8ft front door in lieu of standard, Door style to remain the same
3.	Provide and install black exterior railing in lieu of standard
4.	Provide for Rough-in conduit in garage for future electric car charger
5.	Provide and install 8ft interior doors throughout the main floor in lieu of standard. Based on same door style and hardware. Please note (door to garage is not included
6.	Provide and install a trimmed opening (as wide as possible) between the family room and living room), refer to sketch. Provide and install coffered ceiling in the living room (same as family room)
7.	Provision for wall mount TV above standard fireplace. Includes dedicated electrical, conduit for future Tech cable to floor level receptacle and to end beside the fireplace. This does not include any brackets or mounting for TV
8.	Provide and install conduit from basement to attic
9.	Provide and install an additional smart wire above the fireplace.
10.	Provide for Built-in appliances in kitchen. Cost includes, cabinetry and electrical for Built-in oven(s) c/w bottom drawer, microwave cut out, upper cabinet, plus cooktop c/w false drawer, plus pots and pan drawers in kitchen area. Refer to sketch
	Net upgrades continued on page 2
Extra's Subtotal: H.S.T. New Total: Less Bonus Package (if Applicable) TOTAL: Net upgrades continued on Page 2	
TOTAL	

ARCHES
TO MATCH

The above extras and upgrades are to be included during the construction of the above house for the above-named purchaser subject to the following conditions:

- The Vendor will undertake to install the above extras but will not be liable to the purchaser if for any reason the work covered by the extra In that event, the price of the extra shall be refunded to the purchaser without any interest.
- It is understood and agreed that if the transaction of Purchase and Sale is not completed for any reason whatsoever, the total cost of this extra is understood and agreed that if the transaction of Purchase and Sale is not completed for any reason whatsoever, the total cost of this extra is refundable.

PAID: _____ TERMS: CASH OR CHEQUE IN ADVANCE

PURCHASER
Tinta Joewin Wilson
PURCHASER
LORMEL DEVELOPMENTS (BRADFORD) LTD.
Per:
VENDOR



Schedule B-3 – Purchaser’s Extras

forming part of the Agreement of Purchase and Sale

May 12, 2012

H O R I

VENDOR:

LORMEL DEVELOPMENTS (BRADFORD) LTD.

PURCHASER(S): Joewin Vilavinal Wilson & Tinta Joewin Wilson
LOT NUMBER: PART 012 PHASE: 3
MODEL: Lexington 3240
P.E.#: 002

It is understood and agreed that no requests for changes, additions or deletions will be accepted by the Vendor for the above extras acceptance of this order.

No.	DESCRIPTION
	Net upgrades continued from page 1
11.	Upgrade to 8" exhaust vent in lieu of standard
12.	Provide and install gass line for stove
13.	Provide and instll gas line for BBQ at rear
14.	Provide and install black / iron ore exterior window frames, throughout in lieu of standard white. This includes the patio doors and front door frames. 9this does nto include basement windows
15.	2 nd Ensuite - Increase opening to the shower - wall to wall , provide for frameless glass shower enclosure.
16.	Provide and install rough-in plumbing (only) for future pot-filler in kitchen area
17.	Provide for single wall mounted vanity (floating vanity) in the powder room. (price includes vendor's standard cabinetry/hardware, standard countertop, standard sink and lav. faucet (vanity w/2 doors) (CARP STRAP WALL)
18.	
19.	
Extra's Subtotal:	
H.S.T.	
New Total:	
Less Bonus Package (if Applicable)	
TOTAL:	
Total amount due	
TOTAL	

The above extras and upgrades are to be included during the construction of the above house for the above-named purchaser subject to the follo conditions:

- The Vendor will undertake to install the above extras but will not be liable to the purchaser if for any reason the work covered by the ext In that event, the price of the extra shall be refunded to the purchaser without any interest.
- It is understood and agreed that if the transaction of Purchase and Sale is not completed for any reason whatsoever, the total cost of this refundable.

PAID: _____ TERMS: CASH OR CHEQUE IN ADVANCE

PURCHASER
Tinta Joewin Wilson
PURCHASER
LORMEL DEVELOPMENTS (BRADFORD) LTD.
Per: *[Signature]*
VENDOR

THE NIXON



ELEVATION A 3,240 SOFT.

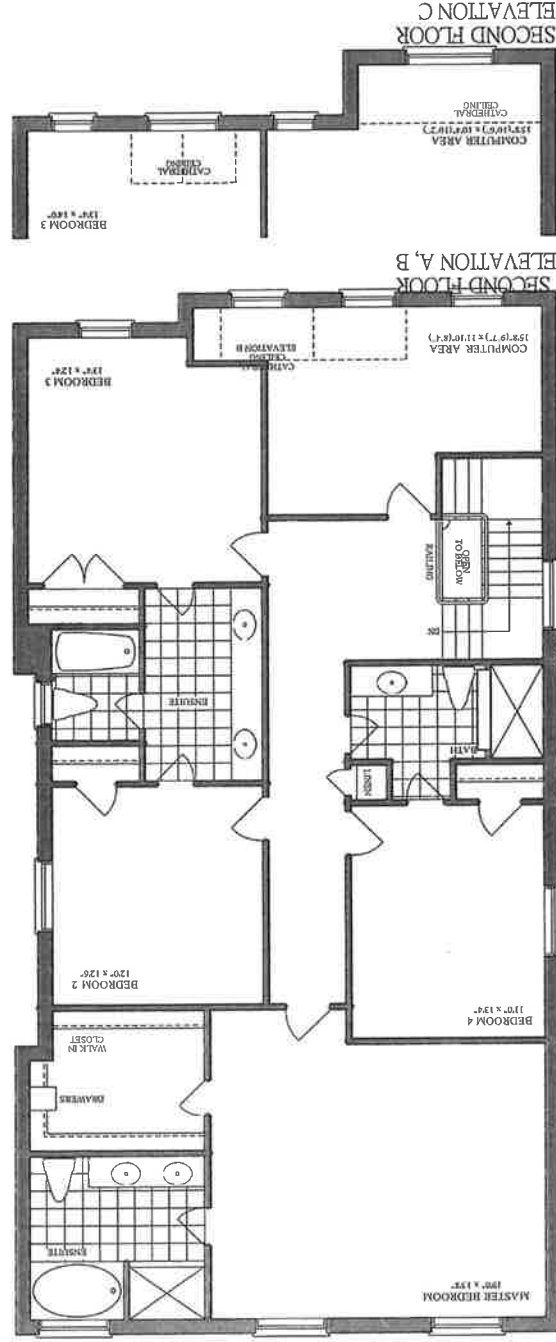
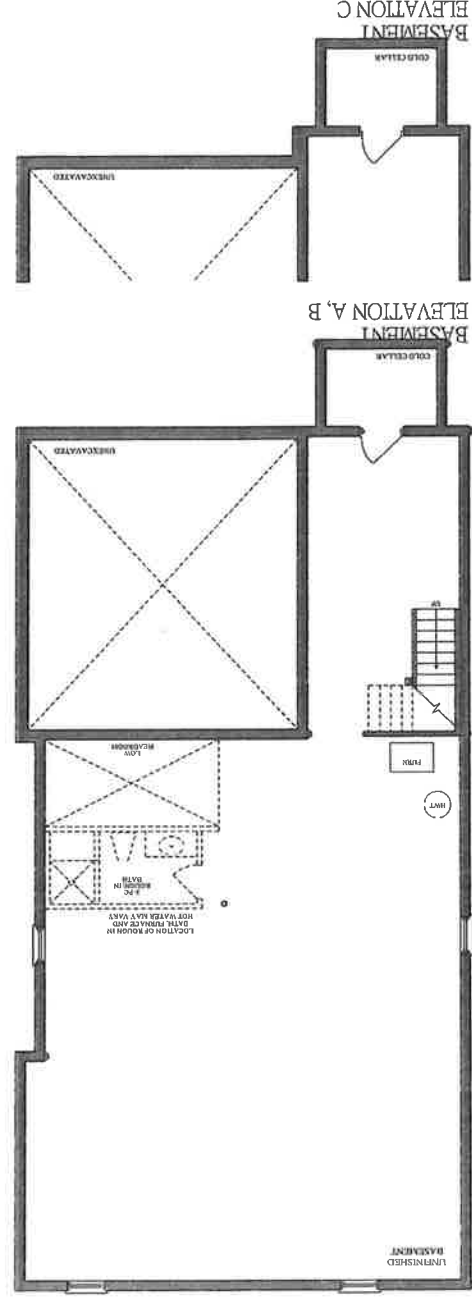


ELEVATION B 3,240 SO FT.

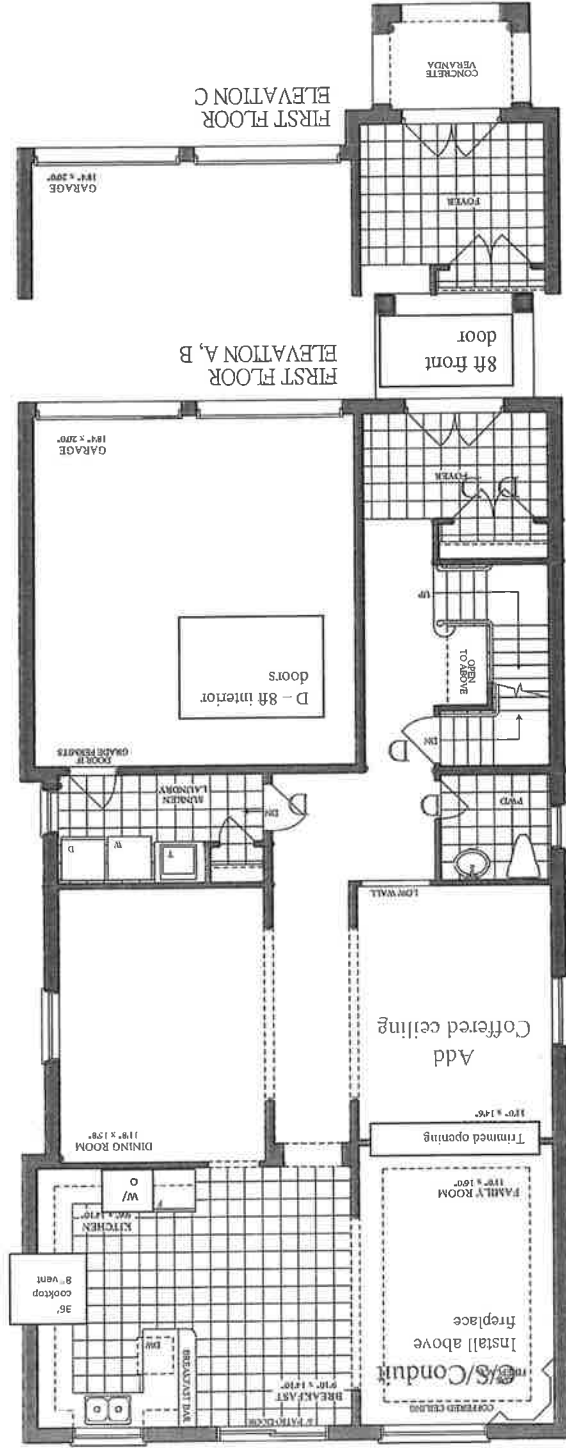


3,240 SO. 11. ELEVATION C.

Plans and specifications are subject to change without notice. E & O E. Actual usage may vary from the stated limit area. All recordings are artist's copyright.



Increase
opening to
shower
provide
frame-less
glass showe



Customer		LORMEL DEV. (BRADFORD) LTD. P		Project		HORIZON	
Address		331 CITYVIEW BLVD., SUITE 300		Delivery Address		BRADFORD	
City		VAUGHAN		City		BRADFORD	
Province		ON L4H 3M3		Province			
Telephone		(905) 832-2023 Fax: (905) 832-1926		Project Telephone			
PO#				Sales Rep		Angelo Cutone	
Delivery Date				Quotation Date		July 13, 2020	
Terms		COD		Printing Date		July 15, 2020	



Line		Room	Qty	Code	Width	Height	Options		Diagram	RSO W	RSO H
1		COLD	1	SINGLE DOOR OS	33.3125	81.2500	Steel, Standard, 32, 6 1/2, Standard Sill, 1" Wood Brickmould, Ball Bearing Nickel model Color: Wood			34 1/16	82
2		POWDER	1	RH VCA	30.0000	48.0000	475 Series, 3/4, No Grills, Preserve, Regular Handle, Regular Hinge 7 7/8" Jamb Depth SCREENS LATER model Color: Matte Black			30 3/4	48 3/4
3		LIVING	1	Contour 2 x 1	48.0000	54.0000	475 Series, 3/4, No Grills, Preserve, Regular Handle, Regular Hinge 7 7/8" Jamb Depth SCREENS LATER model Color: Matte Black			48 3/4	54 3/4
4		FAMILY	1	Contour 3 x 1	72.0000	66.0000	475 Series, 3/4, No Grills, Preserve, Regular Handle, Regular Hinge 7 7/8" Jamb Depth SCREENS LATER model Color: Matte Black			72 3/4	66 3/4
5		DINETTE	1	VISTA 2 PANEL PD	71.5000	95.2500	LO 71 1/2 in, 95 1/4 in, LoE-180, 7 7/8in OA, Assembled, Matte Black, Yes, Yes, Torino, White, None model Color: Matte Black			72 1/4	96
6		KITCHEN	1	Contour 2 x 1	48.0000	48.0000	475 Series, 3/4, No Grills, Preserve, Regular Handle, Regular Hinge 7 7/8" Jamb Depth SCREENS LATER model Color: Matte Black			48 3/4	48 3/4
7		DINING	1	Contour 2 x 1	48.0000	54.0000	475 Series, 3/4, No Grills, Preserve, Regular Handle, Regular Hinge 7 7/8" Jamb Depth SCREENS LATER model Color: Matte Black			48 3/4	54 3/4
8		LAUNDRY	1	LH VCA	30.0000	48.0000	475 Series, 3/4, No Grills, Preserve, Regular Handle, Regular Hinge 7 7/8" Jamb Depth SCREENS LATER model Color: Matte Black			30 3/4	48 3/4
9		STAIR	1	VFC	48.0000	48.0000	475 Series, 3/4, Preserve, No Grills 7 7/8" Jamb Depth model Color: Matte Black			48 3/4	48 3/4
10		BED4	1	Contour 2 x 1	48.0000	48.0000	475 Series, 3/4, No Grills, Preserve, Regular Handle, Regular Hinge 7 7/8" Jamb Depth SCREENS LATER model Color: Matte Black			48 3/4	48 3/4
11		MASTER	1	Contour 2 x 1	48.0000	48.0000	475 Series, 3/4, No Grills, Preserve, Regular Handle, Regular Hinge 7 7/8" Jamb Depth SCREENS LATER model Color: Matte Black			48 3/4	48 3/4
12		MASTER	1	Contour 2 x 1	48.0000	48.0000	475 Series, 3/4, No Grills, Preserve, Regular Handle, Regular Hinge 7 7/8" Jamb Depth SCREENS LATER model Color: Matte Black			48 3/4	48 3/4
13		ENSUITE	1	Contour 2 x 1	48.0000	42.0000	475 Series, 3/4, No Grills, Preserve, Regular Handle, Regular Hinge 7 7/8" Jamb Depth SCREENS LATER model Color: Matte Black			48 3/4	42 3/4
14		BED2	1	Contour 2 x 1	48.0000	48.0000	475 Series, 3/4, No Grills, Preserve, Regular Handle, Regular Hinge 7 7/8" Jamb Depth SCREENS LATER model Color: Matte Black			48 3/4	48 3/4

Brown Window Corp.
185 Snow Blvd, Concord, L4K 4N9, ONTARIO, CANADA
TEL (905) 738-6045 FAX (905) 738-1342

QUOTATION 1433 / 38'-3240, LEXINGTON, ELEV. C, G/R, LOT PT. 12

Customer		LORMEL DEV. (BRADFORD) LTD. P			Project		HORIZON	
Address		331 CITYVIEW BLVD., SUITE 300			Delivery Address		BRADFORD	
City		VAUGHAN			City		BRADFORD	
Province		ON L4H 3M3			Province		BRADFORD	
Telephone		(905) 832-2023 Fax: (905) 832-1926			Project Telephone			
PO#					Sales Rep		Angelo Cutone	
Delivery Date					Quotation Date		July 13, 2020	
Terms		COD			Printing Date		July 15, 2020	
Line	Room	Qty	Code	Width	Height	Options		
15	SHARED BATH	1	LH VCA	30.0000	42.0000	475 Series, 3/4, No Grills, Preserve, Regular Handle, Regular Hinge 7 7/8" Jamb Depth SCREENS LATER model Color: Matte Black		
16	GARAGE	1	GARAGE DOOR STD	98.3750	88.0000	2x6 Wood, 8-0 98 3/8in, 7-0 88in, Wood Brickmould, Wood model Color: Wood		
17	GARAGE	1	GARAGE DOOR STD	98.3750	88.0000	2x6 Wood, 8-0 98 3/8in, 7-0 88in, Wood Brickmould, Wood model Color: Wood		
18	FRON ENTRY	1	DOUBLE DOOR IS	65.8750	98.0000	Internal, Black/White, Prairie, Preserve, Steel, Standard, 32, No Screen, Matte Black, Mortise Lock, 8 3/4 Cladded, Mill Finish, Right Active 5/8in Flat COLONIAL BAR - 1/4 x 5/8 model Color: Matte Black		
19	COMP	1	CAMBER VINYL 2x1	60.0000	64.7500	475 Series, Internal, Black/White, Prairie, Preserve, 4 3/4in, Regular Handle, Regular Hinge 5/8in Flat 7 7/8" Jamb Depth SCREENS LATER COLONIAL BAR - 1/4 x 5/8 model Color: Matte Black Frame Radius 97.112		
20	COMP	1	VFC	28.0000	60.0000	475 Series, 3/4, Internal, Black/White, Prairie, Preserve 5/8in Flat 7 7/8" Jamb Depth COLONIAL BAR - 1/4 x 5/8 model Color: Matte Black		
21	BED3	1	CAMBER VINYL 2x1	48.0000	64.7500	475 Series, Internal, Black/White, Prairie, Preserve, 4 3/4in, Regular Handle, Regular Hinge 5/8in Flat 7 7/8" Jamb Depth SCREENS LATER COLONIAL BAR - 1/4 x 5/8 model Color: Matte Black Frame Radius 63.007		
22	BED3	1	RH VCA	28.0000	60.0000	475 Series, 3/4, Internal, Black/White, Prairie, Preserve, Regular Handle, Regular Hinge 5/8in Flat 7 7/8" Jamb Depth SCREENS LATER COLONIAL BAR - 1/4 x 5/8 model Color: Matte Black		
23		1	INSTALLATION					

Brown Window Corp.
185 Snow Blvd, Concord, L4K 4N9, ONTARIO, CANADA
TEL (905) 738-6045 FAX (905) 738-1342





Stairfab

COMPANY: Lornel Homes

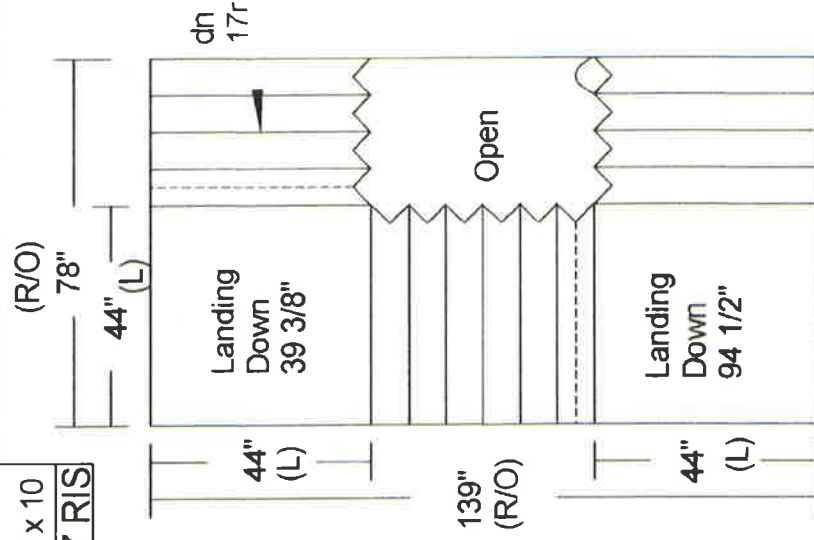
SITE: Bradford Ph3

MODEL: 3240-Lexington-GRH

DATE: June 30/20

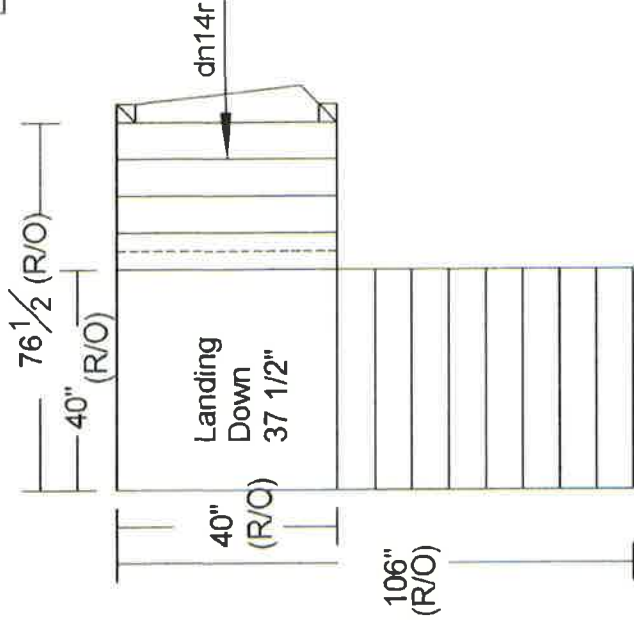
2 x 10
17 RIS

10' CEILING



Uppers

10' CEILING



Lowers

8 1/2"
RUN

All stair dimensions are done to blue prints specs as supplied to stairfab. Measurements shown on layouts are required to install our stairs. Any problems with headroom or strapping allowances. Stairfab will not be responsible. Stair layouts should be checked by Carpenter or Site Super to make sure there is no discrepancies before proceeding with construction.

PREPARED BY:



STRUCTURAL LEGEND

J1 DENOTES 9 1/2" I-BEAM @ 18" O/C WITH 3/4" OSB SUBFLOOR.
J2 DENOTES 9 1/2" I-BEAM @ 12" O/C WITH 3/4" OSB SUBFLOOR.
WL-1 DENOTES (3) 1-3/4" x 9-1/2" 2x6 LVL AT SECOND FLOOR LEVEL GLUED NAILED CONNECTED TO SECOND FLOOR BEAMS AT EACH END BY MEAN OF TWO 3/4" BY 10" MITER - 4 DETAILS ON ON LVL1

EXHAUST DUCTS CONNECTED TO LAUNDRY DRYING EQUIPMENT SHALL BE:
(A) INDEPENDENT OF OTHER EXHAUST DUCTS.
(B) DESIGNED AND INSTALLED SO THAT THE ENTIRE DUCT CAN BE CLEANED, AND
(C) CONSTRUCTED OF MATERIAL THAT IS SMOOTH AND CORROSION-RESISTANT. [CBC 9.2.3.5(7)]

THE COMPRESSIVE STRENGTH OF UNREINFORCED CONCRETE AFTER 28 DAYS SHALL BE NOT LESS THAN:
(A) 32 MPa FOR GARAGE FLOORS, CARRPORT FLOORS AND ALL EXTERIOR FLATWORK,
(B) 25 MPa FOR INTERIOR FLOORS, AND
(C) 20 MPa FOR GARAGE AND CARRPORT FLOORS AND EXTERIOR STEPS SHALL HAVE AIR ENTRAINMENT OF 5 TO 8% [CBC 9.3.1.8]

IF WOOD OR SHEET STEEL WALL STUDS ENCLOSE THE MAIN BATHROOM IN A DWELLING UNIT, REINFORCEMENT SHALL BE INSTALLED TO PERMIT THE FUTURE INSTALLATION OF A GRAB BAR IN CONFORMANCE WITH CBC 9.5.2.3.

WINDOWS, DOORS AND SKYLIGHTS SHALL CONFORM TO CBC 9.9.7

A DOOR BETWEEN AN ATTACHED OR BUILT-IN GARAGE AND A DWELLING UNIT SHALL BE TIGHT FITTING AND WEATHERSTRIPPED TO PROVIDE AN EFFECTIVE BARRIER AGAINST THE PASSAGE OF GASES AND EXHAUST FUMES AND SHALL BE FITTED WITH A SELF-CLOSING DEVICE [CBC 9.10.15.13]

A HANDRAIL SHALL BE PROVIDED:
(A) ON AT LEAST ONE SIDE OF STAIRS OR RAMPS LESS THAN 1,100 mm IN WIDTH,
(B) ON 2 SIDES OF CURVED STAIRS OR RAMPS OF ANY WIDTH, EXCEPT CURVED STAIRS WITHIN DWELLING UNITS, AND
(C) ON 2 SIDES OF STAIRS OR RAMPS, 1,100 mm IN WIDTH OR GREATER.
HANDRAILS ARE NOT REQUIRED FOR:
(A) INTERIOR STAIRS HAVING NOT MORE THAN 2 RISERS AND SERVING A SINGLE DWELLING UNIT, OR
(B) EXTERIOR STAIRS HAVING NOT MORE THAN 3 RISERS AND SERVING A SINGLE DWELLING UNIT. [CBC 9.8.7.1]

THE HEIGHT OF HANDRAILS ON STAIRS AND RAMPS SHALL BE NOT LESS THAN 865 mm AND NOT MORE THAN 965 mm. [9.8.7.4]

GUARDS SHALL CONFORM TO CBC 9.8.8.1 AND SHALL RESIST LOADS IN CONFORMANCE WITH TABLE 9.8.8.2.

WHERE A GARAGE IS ATTACHED TO OR BUILT INTO A BUILDING OF RESIDENTIAL OCCUPANCY, (A) AN AIR BARRIER SYSTEM IN CONFORMANCE WITH CBC 9.25.3 SHALL BE INSTALLED BETWEEN THE GARAGE AND THE REMAINDER OF THE BUILDING TO PROVIDE AN EFFECTIVE BARRIER TO GAS AND EXHAUST FUMES, AND
(B) EVERY DOOR BETWEEN THE GARAGE AND THE REMAINDER OF THE BUILDING SHALL CONFORM TO CBC 9.10.15.15.

A DOOR BETWEEN AN ATTACHED OR BUILT-IN GARAGE AND A DWELLING UNIT SHALL BE TIGHT-FITTING AND WEATHERSTRIPPED TO PROVIDE AN EFFECTIVE BARRIER AGAINST THE PASSAGE OF GASES AND EXHAUST FUMES AND SHALL BE FITTED WITH A SELF-CLOSING DEVICE. [CBC 9.10.15.15]

FACTORY-BUILT FIREPLACES AND THEIR INSTALLATION SHALL CONFORM TO "CAN/ULC-S810-M" FACTORY-BUILT FIREPLACES". [CBC 9.22.8.1]

LAUNDRY FACILITIES OR A SPACE FOR LAUNDRY FACILITIES SHALL BE PROVIDED IN EVERY DWELLING UNIT OR GROUPED ELSEWHERE IN THE BUILDING IN A LOCATION CONVENIENTLY ACCESSIBLE TO OCCUPANTS OF EVERY DWELLING UNIT. [9.31.4.2]

A CLOTHES DRYER EXHAUST DUCT SYSTEM SHALL CONFORM TO PART 6. [CBC 9.32.1.1]

AN EXHAUST AIR INTAKE SHALL BE INSTALLED IN EACH KITCHEN, BATHROOM AND WATER CLOSET ROOM. [CBC 9.32.3.5(2)]

EXCEPT FOR CLOTHES DRYERS, EXHAUST OUTLETS SHALL BE FITTED WITH SCREENS OF MESH NOT LARGER THAN 15 mm, EXCEPT WHERE CLIMATIC CONDITIONS MAY REQUIRE LARGER OPENINGS. [CBC 9.32.3.12(10)]

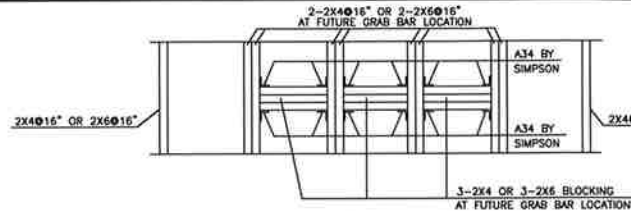
THE DESIGN, CONSTRUCTION AND INSTALLATION, INCLUDING THE PROVISION OF COMBUSTION AIR, OF SOLID-FUEL BURNING APPLIANCES AND EQUIPMENT, INCLUDING STOVES, COOK TOPS AND SPACE HEATERS, SHALL CONFORM TO CAN/CSA-B565-M "INSTALLATION CODE FOR SOLID-FUEL-BURNING APPLIANCES AND EQUIPMENT". [CBC 9.33.1.2]

A LIGHTING OUTLET WITH FIXTURE CONTROLLED BY A WALL SWITCH SHALL BE PROVIDED IN KITCHENS, UTILITY ROOMS, LAUNDRY ROOMS, DINING ROOMS, BATHROOMS, WATER-CLOSET ROOMS, VESTIBULES AND HALLWAYS, AS WELL AS IN BEDROOMS AND LIVING ROOMS THAT ARE NOT PROVIDED WITH A RECEPTACLE THAT IS CONTROLLED BY A WALL SWITCH. [CBC 9.34.2.2]

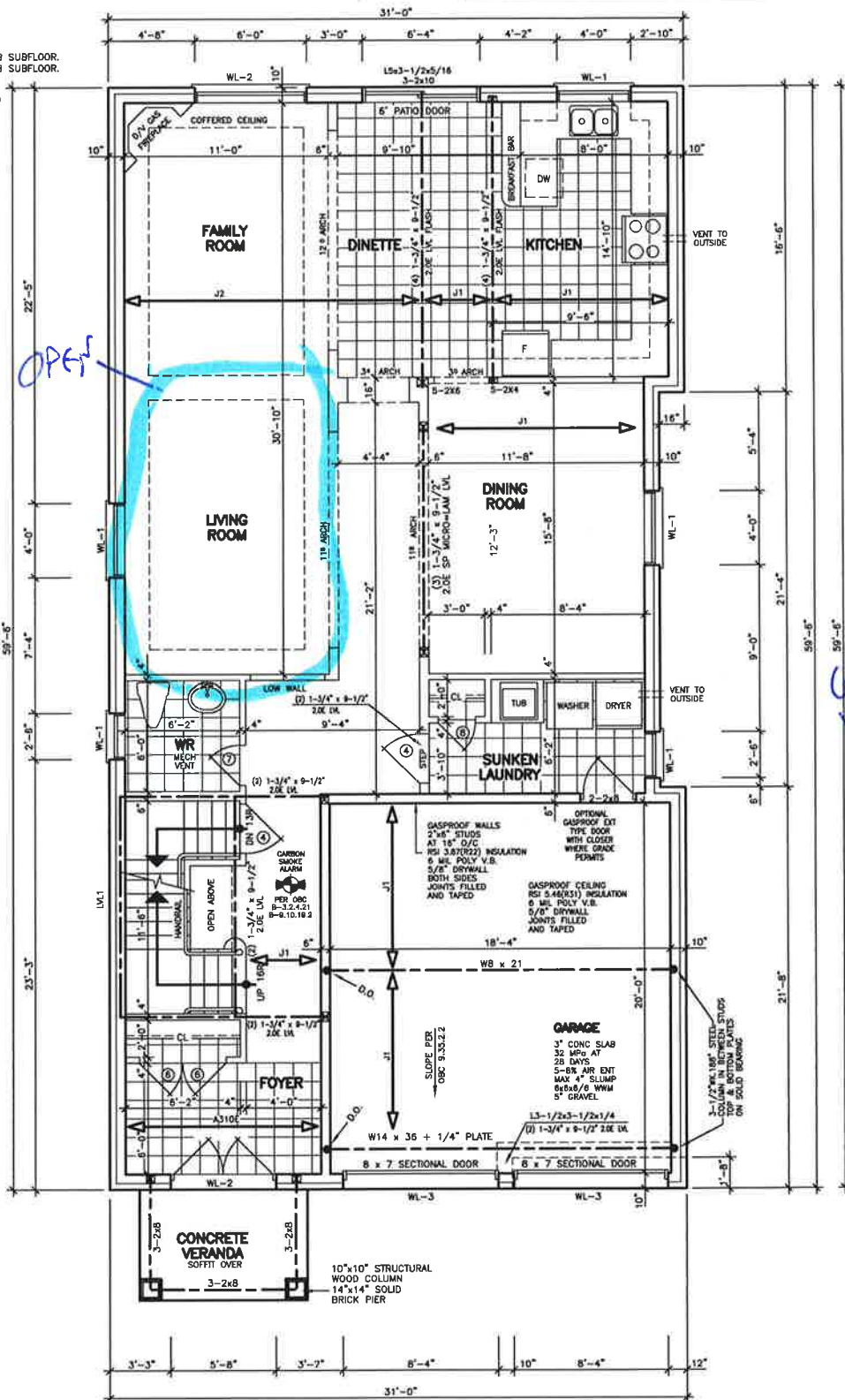
3-WAY WALL SWITCHES LOCATED AT THE HEAD AND FOOT OF EVERY STAIRWAY SHALL BE PROVIDED TO CONTROL AT LEAST ONE LIGHTING OUTLET WITH FIXTURE FOR STAIRWAYS WITH 4 OR MORE RISERS IN DWELLING UNITS. [CBC 9.34.2.3(2)]

A LIGHTING OUTLET WITH FIXTURE SHALL BE PROVIDED FOR AN ATTACHED, BUILT-IN OR DETACHED GARAGE OR CARRPORT. [CBC 9.34.2.6]

ASSUMED ROOF TRUSS BEARING ON THE EXTERIOR WALLS ONLY THE DESIGN OF STRUCTURE SHOULD BE REVIEWED TO ACCOMMODATE FINAL ROOF TRUSS LAYOUT



DETAIL OF STUD WALL CONSTRUCTION AT FUTURE GRAB BAR LOCATION



FIRST FLOOR PLAN 'A' 'B'

SPECIFIED DESIGN SNOW LOADS SHALL CONFORM TO CBC 9.4.2.2.

ATICS AND ROOF SPACES SHALL CONFORM TO CBC 9.4.2.4.

IF WOOD OR SHEET STEEL WALL STUDS ENCLOSE THE MAIN BATHROOM IN A DWELLING UNIT, REINFORCEMENT SHALL BE INSTALLED TO PERMIT THE FUTURE INSTALLATION OF A GRAB BAR IN CONFORMANCE WITH CBC 9.5.2.3.

GLASS OTHER THAN SAFETY GLASS SHALL NOT BE USED FOR A SHOWER OR BATHTUB ENCLOSURE. [CBC 9.8.1.4]

THE MINIMUM WINDOW GLASS AREA FOR ROOMS IN BUILDINGS OF RESIDENTIAL OCCUPANCY OR THAT ARE USED FOR SLEEPING SHALL CONFORM TO TABLE B 9.7.2.3.

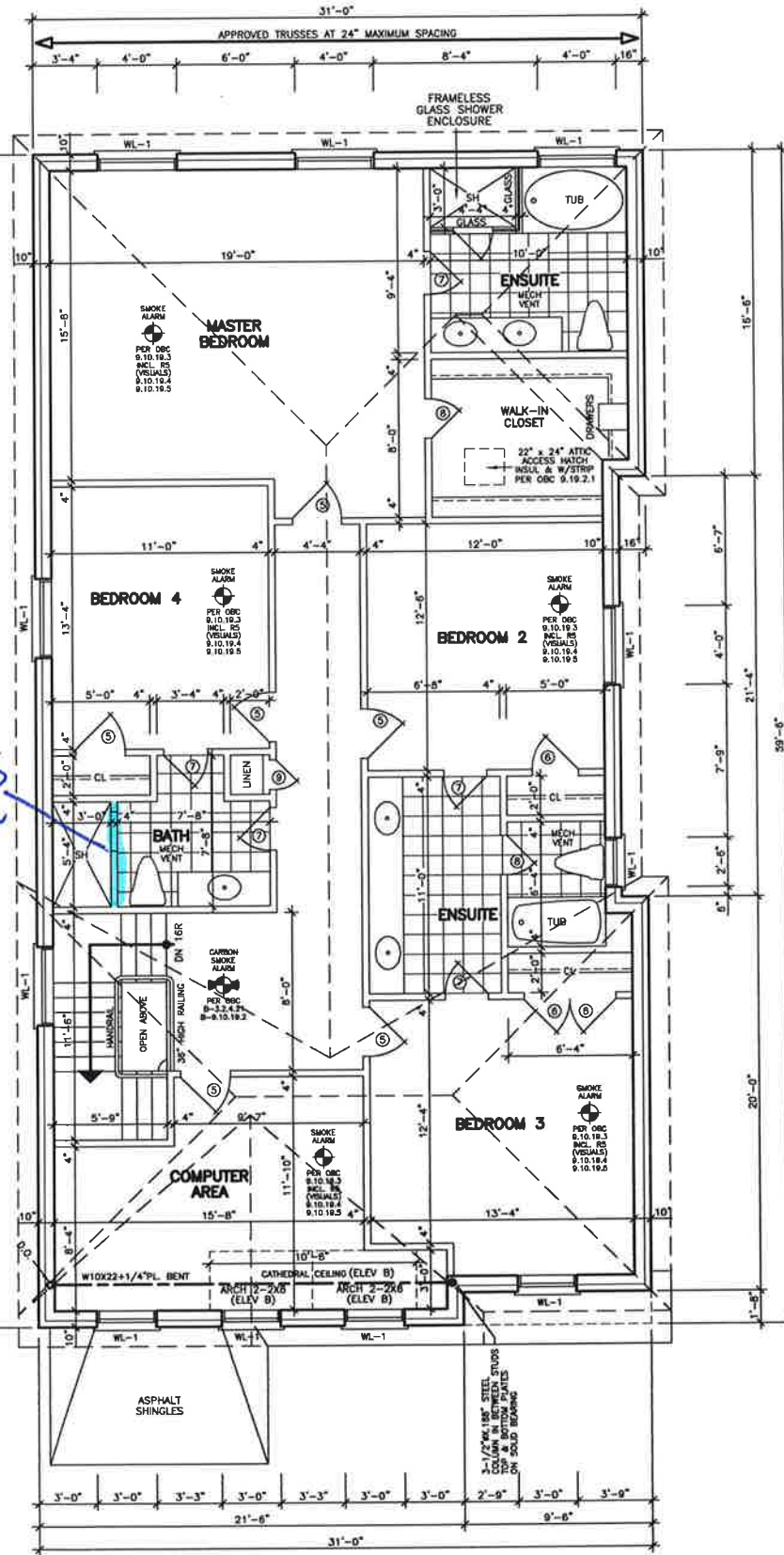
WINDOWS, DOORS AND SKYLIGHTS SHALL CONFORM TO CBC 9.9.7

DIMENSIONS FOR RECTANGULAR TREADS RISE MAX 200 mm, MIN 125 mm RUN MAX 355 mm, MIN 210 mm TREAD DEPTH MAX 355 mm, MIN 235 mm [CBC 9.8.4.2]

EVERY ATTIC OR ROOF SPACE SHALL BE PROVIDED WITH AN ACCESS HATCH WITH A MINIMUM AREA OF 0.32 m² AND WITH NO DIMENSION LESS THAN 545 mm. ACCESS HATCHES SHALL BE FITTED WITH DOORS OR COVERS. [CBC 9.19.2.1]

WOOD ROOF TRUSSES SHALL CONFORM TO CBC 9.23.13.11.

ROOFS AND OTHER PLATFORMS THAT EFFECTIVELY SERVE AS ROOFS WITH RESPECT TO ACCUMULATION OR DRAINAGE OF PRECIPITATION, SHALL BE PROTECTED WITH ROOFING, INCLUDING FLASHING, INSTALLED TO SHED RAIN EFFECTIVELY AND TO PREVENT WATER, DUE TO ICE DAMMING, FROM ENTERING THE ROOF. [CBC 9.28.1.1]



SECOND FLOOR PLAN 'A' 'B'

38' LOT

REVISIONS

#	REVISION	DATE
1	REVISED STRUCTURE TO AIS JOISTS	MR 19 19
2	REVISED ARCH'S OPENING	MY 06 20
3	REVISED STRUCTURE BY KALISHENKO	MY 23 20

ABOVE-GRADE MASONRY SHALL BE IN ACCORDANCE WITH O.B.C. SECTION 9.20

WOOD FRAME CONSTRUCTION SHALL BE IN ACCORDANCE WITH O.B.C. SECTION 9.23

FLOOR AREAS AND COVERAGE 'A' 'B'

1st FLOOR	=	1415.92 SF
	=	131.54 SM
2nd FLOOR	=	1800.22 SF
	=	167.25 SM
(-OPENINGS)	=	-10.12 SF
	=	-0.94 SM
TOTAL	=	3206.02 SF
	=	297.85 SM
COVERAGE	=	1870.06 SF
	=	173.73 SM

FLOOR AREAS AND COVERAGE 'C'

1st FLOOR	=	1440.25 SF
	=	133.80 SM
2nd FLOOR	=	1809.00 SF
	=	168.06 SM
(-OPENINGS)	=	-10.12 SF
	=	-0.94 SM
TOTAL	=	3239.13 SF
	=	300.92 SM
COVERAGE	=	1894.39 SF
	=	175.99 SM

PART 12
Lormel HOMES



ALL DRAWINGS & SPECIFICATIONS ARE THE PROPERTY OF THE ARCHITECT AND CANNOT BE USED OR REPRODUCED WITHOUT HIS APPROVAL.
THE CONTRACTORS SHALL CHECK AND VERIFY ALL DIMENSIONS ON THE SITE AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.
DRAWINGS MUST NOT BE SCALED.

ARCHITECTURAL DESIGN INC.

56 PENNSYLVANIA AVE. UNIT 1
CONCORD, ONT. L4K 3Y8
TEL 905 660-9393
FAX 905 660-9419

LEXINGTON MODEL 3240

PROJECT
PROPOSED
TWO STOREY DWELLING
FOR: LORMEL HOMES
AT: BRADFORD

DRAWING	FIRST AND SECOND FLOOR PLANS
DATE	JAN '19
DRAWN	N.L.
CHECKED	
SCALE	3/16"=1'-0"
PROJECT NO	19-64
DRAWING NO	A-3