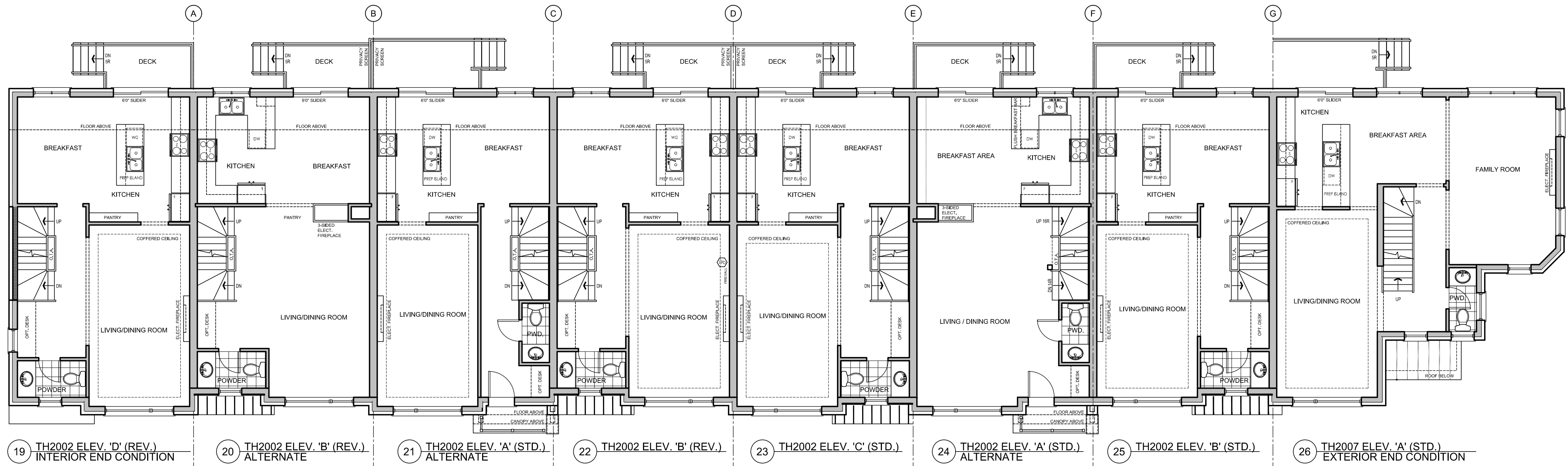
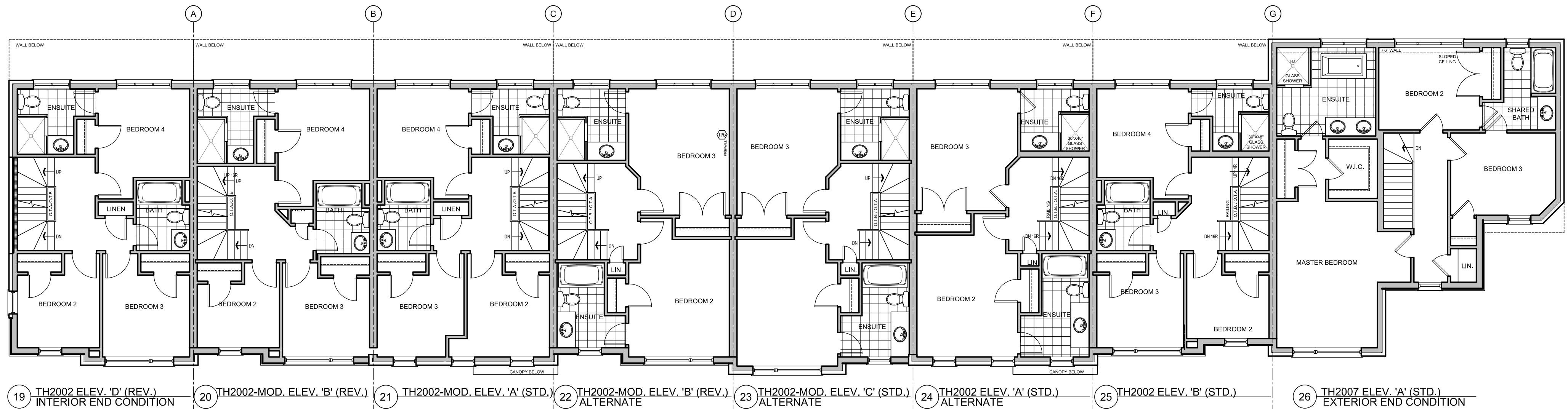




FIRST FLOOR PLAN - BLOCK 3



SECOND FLOOR PLAN- BLOCK 3

CONSTRUCTION SET

#	REVISIONS	DATE	OWN	CHK
1	ISSUED FOR CLIENT REVIEW	01/04/2014	P	NP
2	REV. LOT 21, 26 - TANDER GARAGE	23/07/2014	NP	NP
3	ISSUED FOR FINAL	26-Sep-14	P	NP
4	REVISED AS PER SITE COORDINATION	25-Nov-15	NP	P
5	REVISED AS PER DWG COORDINATION	22-Dec-15	PM	NP
6				
7				
8				
9				
10				
11				
12				

Client

NORTH 88 DEV. INC.

Project

238-252 FINCH AVENUE EAST
TORONTO, ONTARIO

Model

BLOCK 3

Project #

11097

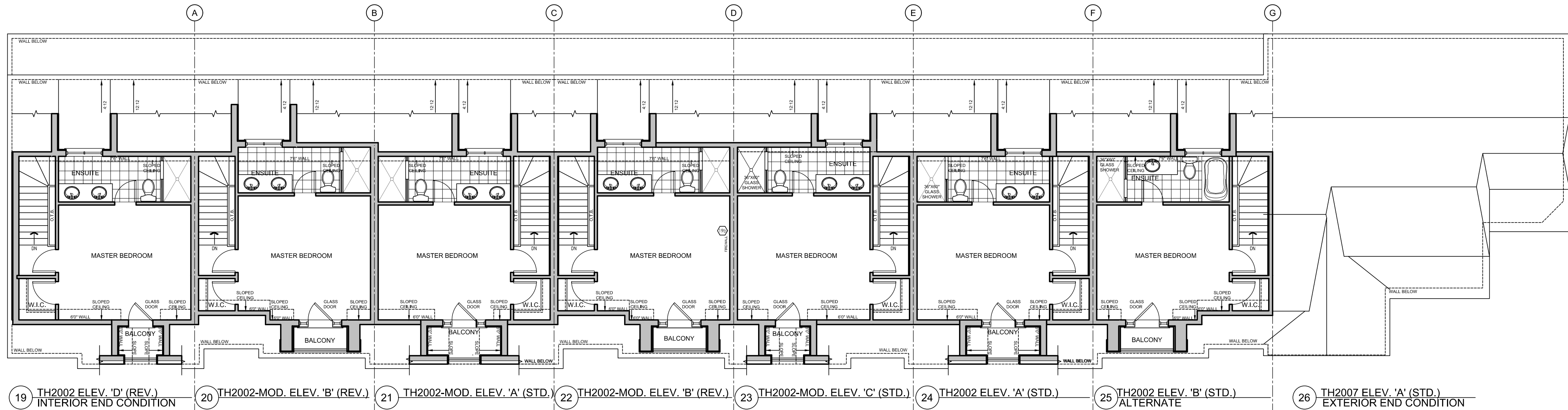
Scale

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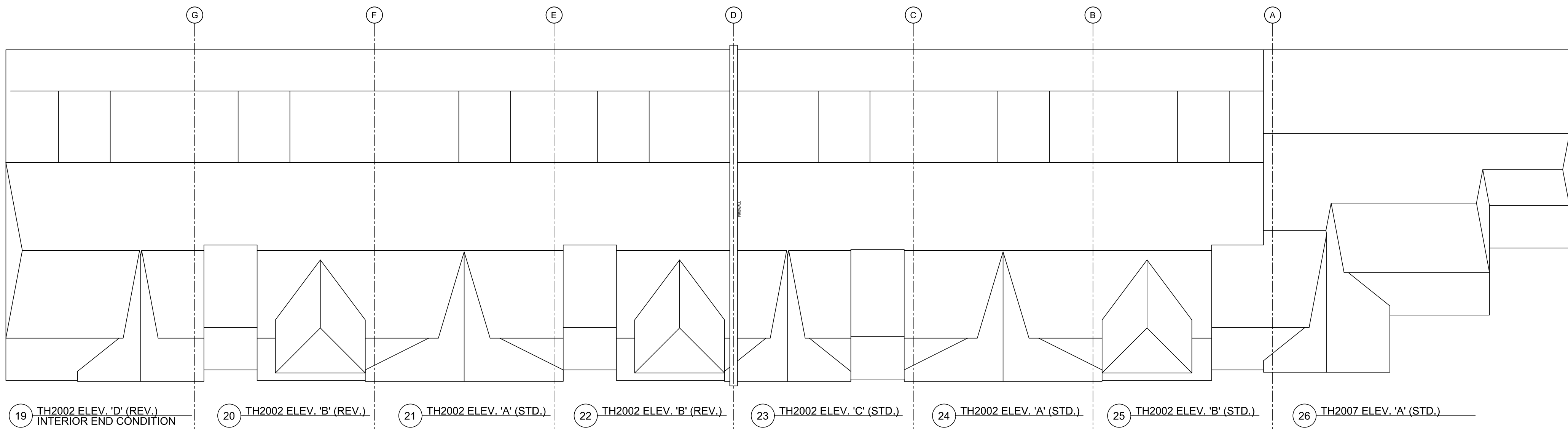
Page

I, NATALIE PANDOUR DECLARE THAT I HAVE REVIEWED AND
TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON
BEHALF OF **RN design** (AS UNDER DIVISION C PART 3)
SUBSECTION 3.3.4 OF THE BUILDING CODE (AM. QUALIFIED
AND THE REV. IS REGISTERED IN THE APPROPRIATE CLASSES /
CATEGORIES:
QUALIFIED DESIGNER SIGN: 41549
DATE: 26995
REV. ECN: SEPT. 26/14

SIGNATURE:



THIRD FLOOR PLAN - BLOCK 3



ROOF PLAN - BLOCK 3

REFER TO TRUSS DRAWINGS FOR
APPROVED TRUSS LAYOUT.

ALL CONVENTIONAL ROOF FRAMING TO CONFORM TO
PART 9 OF THE OBC. ROOF RAFTERS MAY MEET OR
CROSS OVER TRUSSES ARE TO BE 2"x4" SPF @ 24" o.c.,
WITH A 2"x4" SPF VERTICAL POST TO THE TRUSS
UNDER. AT EACH CROSS POINT, POSTS LONGER THAN
16' TO BE LATERALLY BRACED SO THAT THE DISTANCE
BETWEEN END POINTS & BETWEEN ROWS OF BRACING
DOES NOT EXCEED 16'.

CONSTRUCTION SET

#	REVISIONS	DATE	BY	CHK
1	ISSUED FOR CONSTRUCTION	01/06/2014	J	HP
2	REV. LOT 21, 24, 26 - SANDBOX GARAGE	23/07/2014	HP	HP
3	ISSUED FOR FINAL	24-Sep-14	J	HP
4	REVISED AS PER LIFE COORDINATION	25-Nov-15	PM	HP
5	REVISED AS PER DWG COORDINATION	22-Dec-15	PM	HP
6				
7				
8				
9				
10				
11				
12				

Client

NORTH 88 DEV. INC.

Project

238-252 FINCH AVENUE EAST

TORONTO, ONTARIO

Model

BLOCK 3

Project #

11097

Scale

1/8" = 1'0"

Page

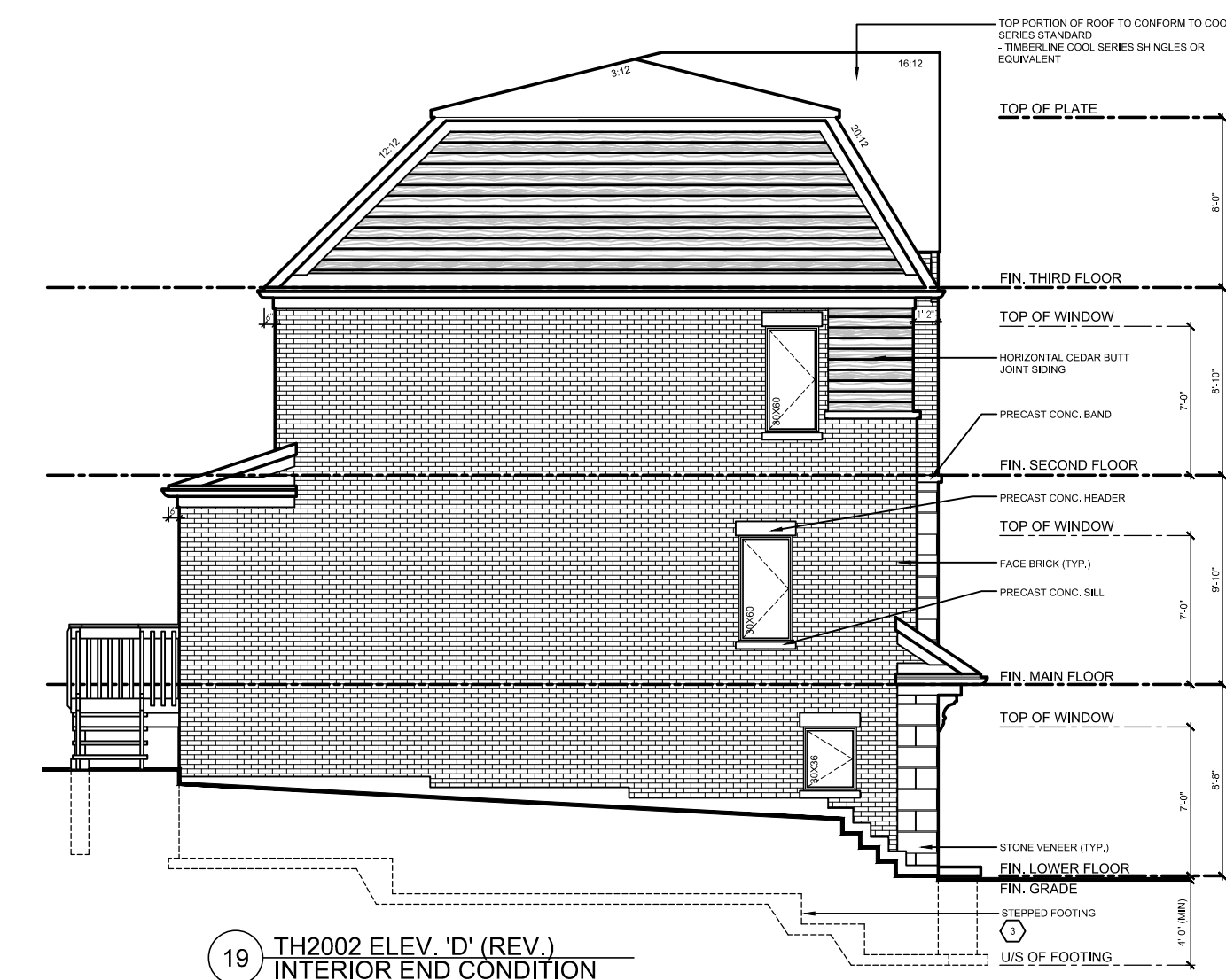
A3

I, NATALIE PANDOUR DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD UNDER DIVISION C (PART 3) SUBSECTION 3.3.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE REV. IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.
QUALIFIED DESIGNER SIGN: 4154P
DATE: 26/09/14
SIGNATURE: _____

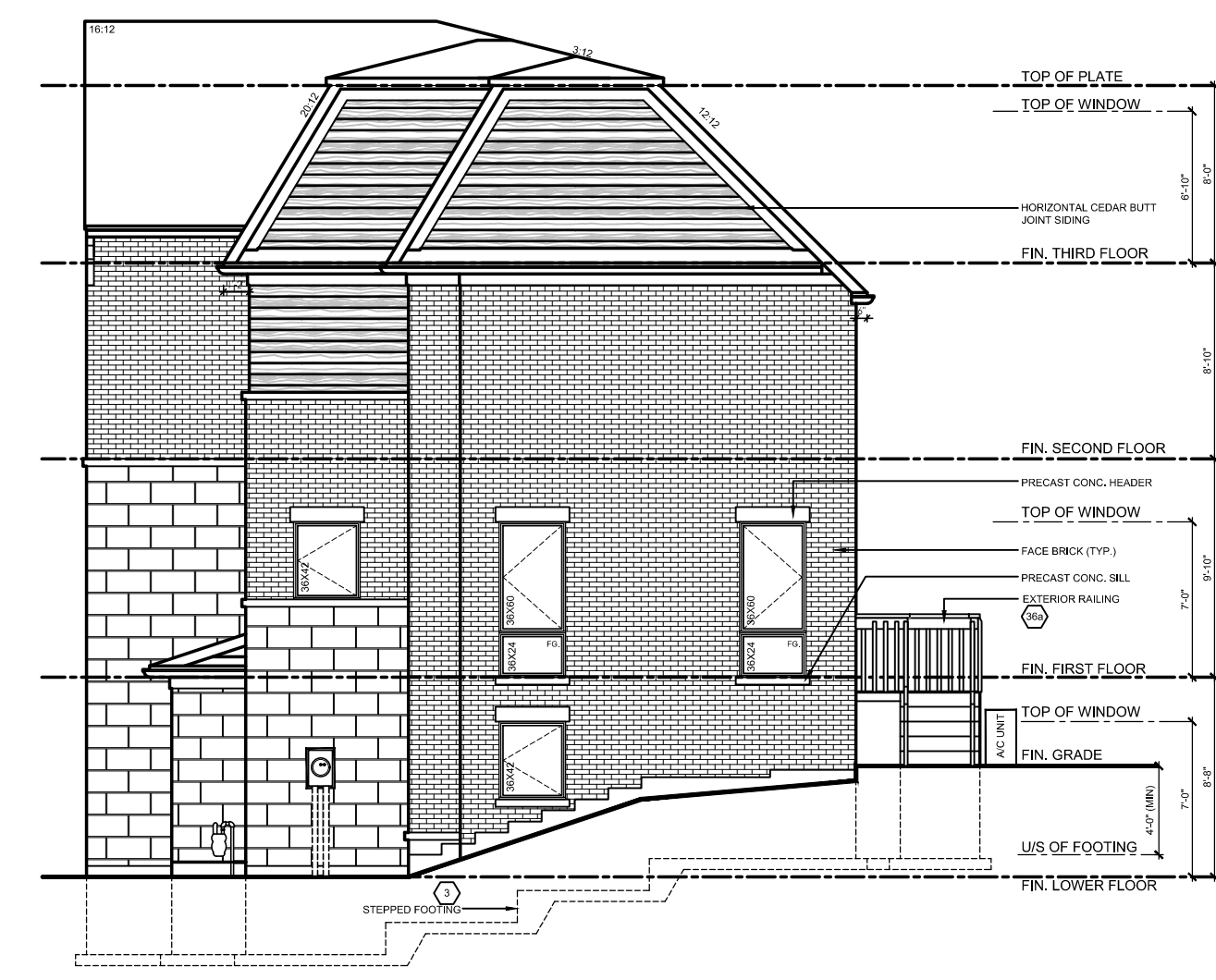
CONSTRUCTION SET



FRONT ELEVATION - BLOCK 3



LEFT SIDE ELEVATION - BLOCK 3



RIGHT SIDE ELEVATION - BLOCK 3



REAR ELEVATION - BLOCK 3

#	REVISIONS	DATE	BY	CHK
1	ISSUED FOR PERMIT REVIEW	01/06/2014	P	HP
2	REV. LOT 21, 24, SANDBOX GARAGE	20/07/2014	HP	HP
3	ISSUED FOR FINAL	24-Sep-14	P	HP
4	REVISED AS PER SITE COORDINATION	25-Nov-15	PP	P
5				
6				
7				
8				
9				
10				
11				
12				

Client: NORTH 88 DEV. INC.
Project: 238-252 FINCH AVENUE EAST
TORONTO, ONTARIO
Model: BLOCK 3
Project #: 11097
Scale: 1/8" = 1'0"
Page: