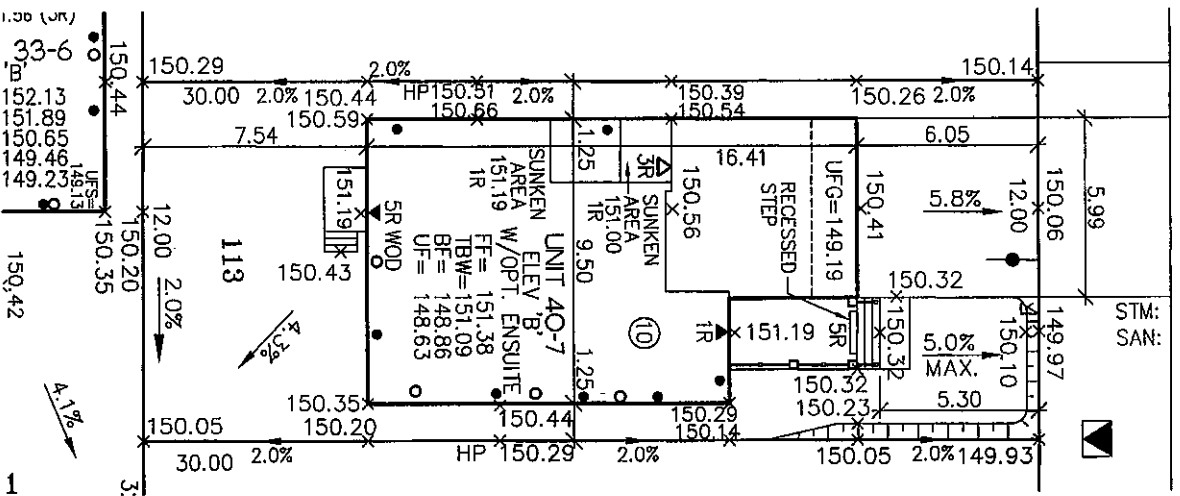


N/A
N/A

NOTES:

1. BUILDER TO VERIFY SERVICE CONNECTION INVERTS PRIOR TO CONSTRUCTION
2. BUILDER TO ENSURE 1:22M OF COVER ON ALL FOOTINGS; 200mm MAX. EXPOSED FOUNDATION WALL.
3. THIS PROPOSAL CONFORMS WITH THE MUNICIPALITY'S GRADING CRITERIA AND APPROVED SUBDIVISION MASTER LOT GRADING PLAN AND THE PROPOSED HOUSE TYPE IS COMPATIBLE WITH THE GRADING. THE PROPOSED DRIVEWAY LOCATION DOES NOT CONFLICT WITH ADJACENT DRIVEWAYS, WALKWAYS, CATCHBASIN, HYDRANT, VALVE OR ANY STREET UTILITY.

GHD INC.
66 Sunny Street
Whitby, ON L1M 8Y3
Phone: (905) 422-7878
LOT GRADING REVIEWED
FEB 20 2015

LOT AREA = 360.00 SM
HOUSE AREA W/O PORCH = 140.82 SM
HOUSE AREA W/ PORCH = 151.08 SM
HOUSE AREA W/ PORCH & DECK = 154.20 SM
HOUSE AREA W/ DECK (W/O PORCH) = 143.98 SM
COVERAGE W/O PORCH = 39.12 %
COVERAGE W/ DECK (W/O PORCH) = 39.99 %
MAX LOT COVERAGE (DWELLING) @ 40% = 144.00 SM
LANDSCAPED OPEN SPACE = 46.02 %

It is the builder's complete responsibility to ensure that all plans submitted for approval (including all applicable zoning by-laws, codes and all applicable regulations and requirements including zoning regulations and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining drawings with respect to any zoning or building code or permit number or that any house can be properly built or located on the lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Municipality of CLARINGTON.

ARCHITECTURAL REVIEW & APPROVAL

FEB 20 2015

John G. Williams Limited, Architect

Client **HIGHCASTLE HOMES**Project Name **NORTHLEEN
TOWN OF CLARINGTON**

Municipal Address

JOHN MATTHEW CRESCENTSheet Title **SITE PLAN**Lot **LOT 113**

REGISTERED PERSON
D.W. CASSIDY & CO.
ARCHITECTURAL TECHNOLOGISTS
FIRM BCN 28461

I, **STEPHEN P. KENNEDY** have reviewed and take responsibility for this design.

Signature *[Signature]*
BCN 23411 Date: **FEB. 19, 2015**

STREET LIGHT
HYDRANT
TRANSFORMER
VALVE CHAMBER
WATER SERVICE
CATCH BASIN
STYL & SAN CONNECT
SINGLE STM & SAN
SWALE DIRECTION
CABLE TV PEDISTAL
BELL PEDISTAL
SUPER MAIL BOX
EXTERIOR DOOR LOCATION
SIDE WINDOW LOCATION
EMBANKMENT 3:1 MAX SLOPE (000.00)

--H-- HYDRO
FF FINISHED FLOOR ELEVATION
TBW TOP OF BASEMENT WALL
TBWG AT GARAGE
BF BASEMENT FLOOR ELEVATION
UFG UNDERSIDE OF FTG--GAR
UFR UNDERSIDE OF FTG--REAR
WOD WALK OUT DECK
WOB WALK OUT DECK
LOD LOOK OUT DECK
REV REVERSE PLANS
REV NUMBER OF RISERS
2R, 3R PROPOSED ELEVATION
000.00
EXISTING ELEVATION

Scale **1:250**
Date **FEB. 2015**
Drawn by **EO/GS**
Checked by **AN**

CASSIDY & CO.
ARCHITECTURAL TECHNOLOGISTS
60 RANDALL DRIVE
SUITE 11
AUX, ONTARIO
L1S 6L3
PH. (905) 619-1270
FAX (905) 619-1269
Project No. **2008-65** Sheet **113**

File Name G:\CAD\DWGS\2008-65\STEP PLAN\STINGS\LOT-113.DWG
(XREF - G:\CAD\DWGS\2008-65\STEP PLAN\2008-65-552.DWG)