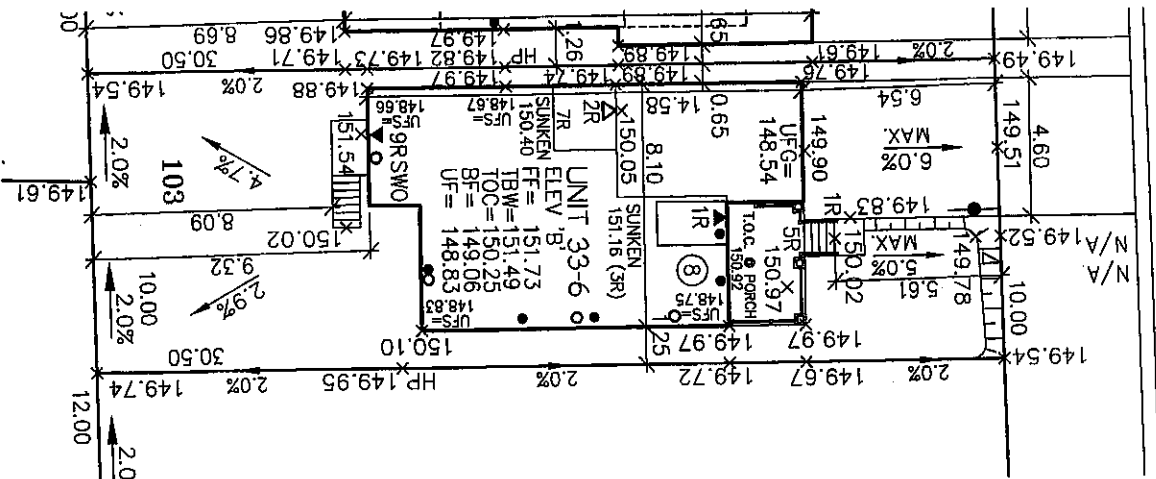


- R2-57**
LOT COVERAGE
- DWELLING (MAX) 40.0%
- ALL BUILDINGS & STRUCTURES (MAX) 45.0%
FRONT YARD
- TO DWELLING 4.0M
- TO GARAGE 6.0M
- TO PORCH 2.0M
(ALLOWED 2.0M FRONT YARD ENCROACHMENT)
REAR YARD
- TO DWELLING 7.5M
INTERIOR SIDE YARD
- TO DWELLING 0.6M & 1.2M
EXTERIOR SIDE YARD
- TO DWELLING 4.0M
LOT FRONTAGE
- INTERIOR MINIMUM 10.0M
- EXTERIOR MINIMUM 13.0M
BUILDING HEIGHT
- ONE STOREY MAXIMUM 8.5M
- ALL OTHER UNITS 10.5M
LANDSCAPED OPEN SPACE
- MINIMUM 30%

JACK ROACH STREET

149.40

STN:
S&N:



- NOTES:
1. BUILDER TO VERIFY SERVICE CONNECTION
INVERTS RIOR TO CONSTRUCTION

2. BUILDER TO ENSURE 1.22M OF COVER ON ALL
FOOTINGS; 200mm MAX. EXPOSED FOUNDATION
WALL.

3. THIS PROPOSAL CONFORMS WITH THE
MUNICIPALITY'S GRADING CRITERIA AND
APPROVED SUBDIVISION MASTER LOT GRADING
PLAN AND THE PROPOSED HOUSE TYPE IS
COMPATIBLE WITH THE GRADING. THE PROPOSED
DRIVEWAY LOCATION DOES NOT CONFLICT WITH
ADJACENT DRIVEWAYS, WALKWAYS, CATCHBASIN,
HYDRANT, VALVE OR ANY STREET UTILITY.

GHDI INC.
65 Sunray Street
Whitby, ON L1B 8Y3
Phone: (905) 232-7878
FEB 20 2015
LOT GRADING REVIEWED

LOT AREA = 305.031 SM
HOUSE AREA W/O PORCH = 100.71 SM
HOUSE AREA W/ PORCH, & DECK = 118.54 SM
COVERAGE W/O PORCH = 33.02 %
COVERAGE W/ PORCH, & DECK = 38.86 %
MAX LOT COVERAGE (DWELLING) @ 40% = 122.012 SM
LANDSCAPED OPEN SPACE = 50.82 %

This is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Council Architect is not responsible for the design or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

ARCHITECTURAL REVIEW APPROVAL
FEB 24 2015
John G. Winkler, Limited, Architect

Client **HIGHCASTLE HOMES**

Project Name **NORTHGLEN
TOWN OF CLARINGTON**

Municipal Address

JACK ROACH STREET

Sheet Title **SITE PLAN** Lot **LOT 103**

REGISTERED PERSON

D.W. CASSIDY & CO.
ARCHITECTURAL TECHNOLOGISTS
FIRM BCN 28461

I, **STEPHEN P. KENNEDY** have
reviewed and take responsibility for this design.
Signature *[Signature]*
BCN 23411 Date **FEB. 19, 2015**

- STREET LIGHT
HYDRANT
TRANSFORMER
VALVE CHAMBER
WATER SERVICE
CATCH BASIN
STM & SAN CONNECT
SINGLE STM & SAN
SWALE DIRECTION
CABLE TV PEDESTAL
BELL PEDESTAL
SUPER MAIL BOX
EXTERIOR DOOR LOCATION
SIDE WINDOW LOCATION
EMBANKMENT 3:1 MAX SLOPE (000.00) EXISTING ELEVATION

BUILDER TO VERIFY
LOCATION OF ALL
HYDRANTS, STREET
LIGHTS,
TRANSFORMERS
AND OTHER
SERVICES, IF
MINIMUM
DIMENSIONS ARE
NOT MAINTAINED,
BUILDER IS TO
RELOCATE AT
THEIR OWN
EXPENSE.

No.	Description	Date	By
1	ISSUED FOR PRELIM. APPROVAL	FEB. 19/15	AN
2	ISSUED FOR FINAL APPROVAL	FEB. 19/15	AN
Scale	1:250		
Date	FEB. 2015		
Drawn by	EO/GS		
Checked by	AN		
Project No.	2008-65		
Sheet	No. 103		

File Name G:\ACAD\DWGS\2008-65\SITEPLAN\SITINGS\LOT-103.DWG
(XREF - G:\ACAD\DWGS\2008-65\SITEPLAN\2008-65-S62.DWG)

CASSIDY & CO.
ARCHITECTURAL TECHNOLOGISTS
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L1S 8L3
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