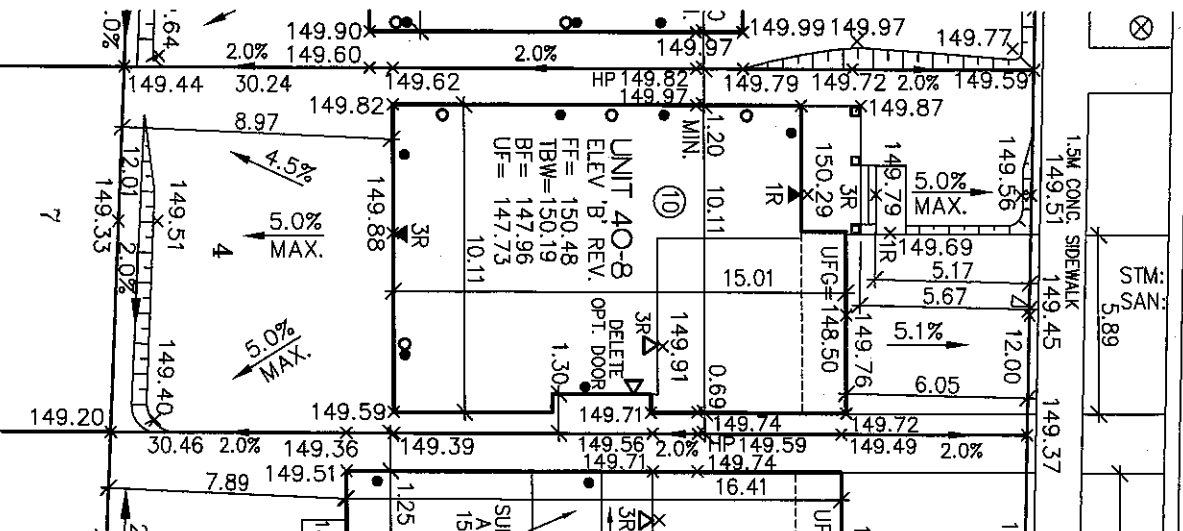


- R2-54**
LOT COVERAGE
- DWELLING (MAX) 40.0%
 - ALL BUILDINGS & STRUCTURES (MAX) 45.0%
- FRONT YARD**
- TO DWELLING 4.0M
 - TO GARAGE 6.0M
 - TO PORCH 2.0M
- (ALLOWED 2.0M FRONT YARD ENCROACHMENT)
- REAR YARD**
- TO DWELLING 7.5M
- INTERIOR SIDE YARD**
- TO DWELLING 0.6M & 1.2M
- EXTERIOR SIDE YARD**
- TO DWELLING 4.0M
- LOT FRONTAGE**
- INTERIOR MINIMUM 11.3M
 - EXTERIOR MINIMUM 14.3M
- BUILDING HEIGHT**
- ONE STOREY MAXIMUM 8.5M
 - ALL OTHER UNITS 10.5M
- LANDSCAPED OPEN SPACE**
- MINIMUM 30%

JOHN MATTHEW CRESCENT
N/A
N/A



- NOTES:
1. BUILDER TO VERIFY SERVICE CONNECTION INVERTS RIOR TO CONSTRUCTION
 2. BUILDER TO ENSURE 1.22M OF COVER ON ALL FOOTINGS; 200mm MAX. EXPOSED FOUNDATION WALL.
 3. THIS PROPOSAL CONFORMS WITH THE MUNICIPALITY'S GRADING CRITERIA AND APPROVED SUBDIVISION MASTER LOT GRADING PLAN AND THE PROPOSED HOUSE TYPE IS COMPATIBLE WITH THE GRADING. THE PROPOSED DRIVEWAY LOCATION DOES NOT CONFLICT WITH ADJACENT DRIVEWAYS, WALKWAYS, CATCHBASIN, HYDRANT, VALVE OR ANY STREET UTILITY.

CHD
65 Sunley Street
Windsor, Ontario N4N 8Y3
Phone: (519) 252-5000
NOV 24 2015

LOT AREA = 364.20 SM
HOUSE AREA W/O PORCH = 143.64
HOUSE AREA W/ PORCH = 151.90 SM
COVERAGE W/O PORCH = 39.44 %
COVERAGE W/ PORCH = 41.70 %
MAX LOT COVERAGE (DWELLING) @ 40% = 145.68 SM
LANDSCAPED OPEN SPACE = 47.93 %

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Municipality of CLARINGTON.

ARCHITECTURAL REVIEW & APPROVAL

NOV 25 2015

John G. Williams Limited, Architect

Client **HIGHCASTLE HOMES**
Project **NORTHGLEEN**
Name **TOWN OF CLARINGTON**
Municipal Address **JOHN MATTHEW CRESCENT**

REGISTERED PERSON
D.W. CASSIDY & CO.
ARCHITECTURAL TECHNOLOGISTS
FIRM BCIN 28461
I, **STEPHEN P. KENNEDY** have
reviewed and take responsibility for this design.
Signature *[Signature]*
BCIN 23417 Date: **NOV 24, 2015**

No.	Description	Date	By
1	ISSUED FOR PRELIM. APPROVAL	NOV 24/15	TB
2	RE-ISSUED FOR PRELIM. APPROVAL	NOV 19/15	TB
3	ISSUED FOR FINAL APPROVAL	NOV 24/15	TB
4	ISSUED FOR PRELIM. APPROVAL	NOV 3/15	GS

Scale **1/250**
CASSIDY & CO.
ARCHITECTURAL TECHNOLOGISTS
60 RANDALL DRIVE
SUITE 11
A.A.A., ONTARIO
L1S 6L3
PH. (905) 819-1270
FAX (905) 619-1269

Date **APR 2015**
Drawn by **GS**
Checked by **PK**
Project No. **2008-65**
Sheet No. **4**

- Sheet **SITE PLAN** Lot **LOT 4**
- STREET LIGHT
 - HYDRANT
 - TRANSFORMER
 - VALVE CHAMBER
 - WATER SERVICE
 - CATCH BASIN
 - STM & SAN CONNECT
 - SINGLE STM & SAN
 - SWALE DIRECTION
 - CABLE TV PEDISTAL
 - BELL PEDISTAL
 - SUPER MAIL BOX
 - EXTERIOR DOOR LOCATION
 - SIDE WINDOW LOCATION
 - EMPALEMENT 3:1 MAX SLOPE (900.00)
- FINISHED FLOOR ELEVATION
TOP OF BASEMENT WALL
TOP OF FOUNDATION WALL
AT GARAGE
BASEMENT FLOOR ELEVATION
UNDERSIDE OF FTG.-GAR
UNDERSIDE OF FTG.-REAR
WALK OUT DECK
LOOK OUT DECK
REVERSE PLANS
NUMBER OF RISERS
PROPOSED ELEVATION
EXISTING ELEVATION

Builder to verify location of all hydrants, street lights, transformers and other services, if minimum dimensions are not maintained, builder is to relocate at their own expense.

File Name **G:\ACAD\DWG\2008-65\STEPPLAN\STINGS\LOT-4.DWG**
(XREF - G:\ACAD\DWG\2008-65\STEPPLAN\2008-65-SG2.DWG)