

R3-35

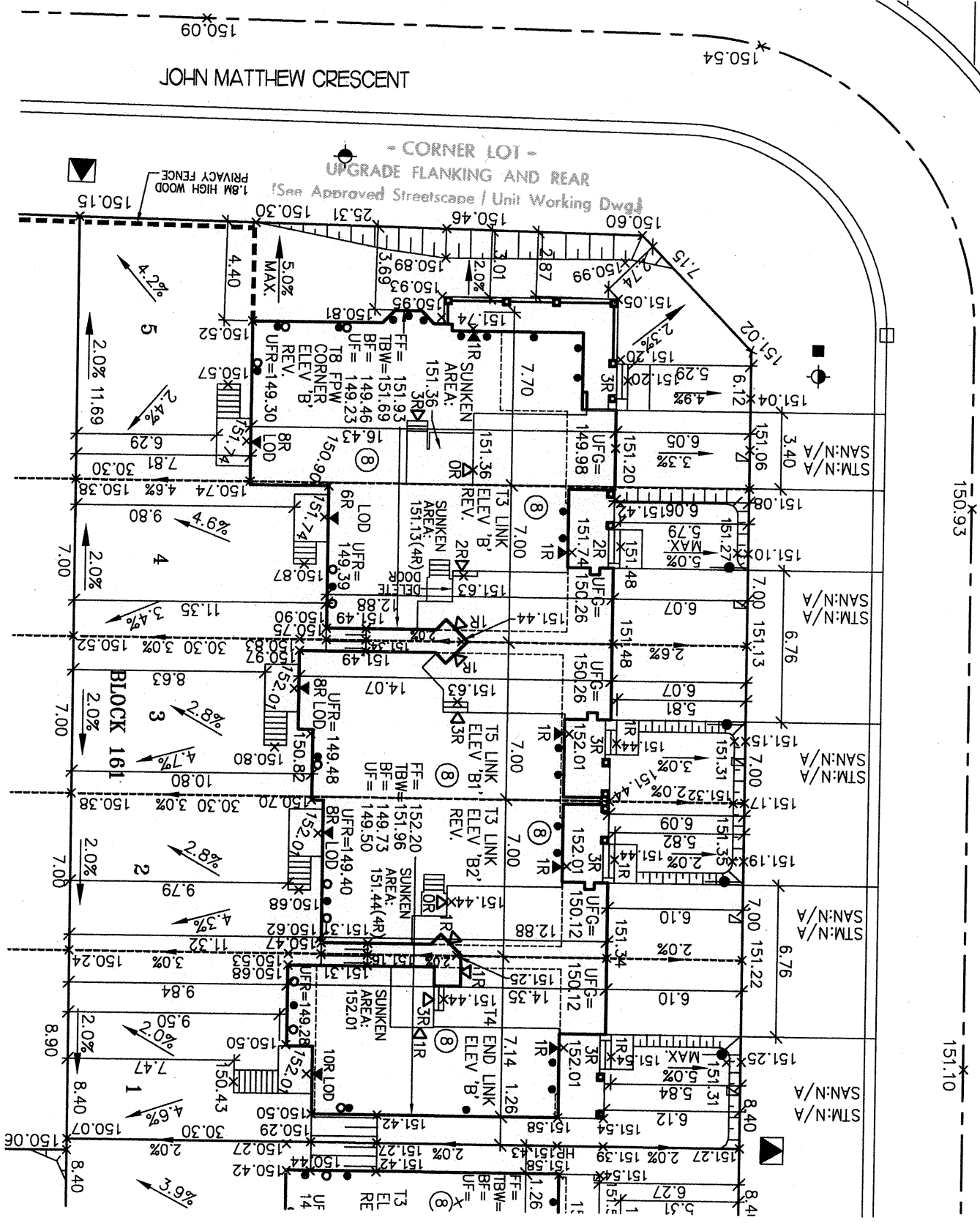
LOT COVERAGE

- DWELLING (MAX) 50.0%
- FRONT YARD**
 - TO DWELLING 4.0M
 - TO GARAGE 6.0M
- REAR YARD**
 - TO DWELLING 7.5M
- INTERIOR SIDE YARD**
 - TO DWELLING 1.2M
- EXTERIOR SIDE YARD**
 - TO DWELLING 4.0M

LOT FRONTAGE

- INTERIOR MINIMUM 7.0M
- EXTERIOR MINIMUM 11.0M
- BUILDING HEIGHT**
 - ALL UNITS 10.5M
- LANDSCAPED OPEN SPACE**
 - MINIMUM 30%

JOHN MATTHEW CRESCENT



NOTES:

1. BUILDER TO VERIFY SERVICE CONNECTION INVERTS PRIOR TO CONSTRUCTION
2. BUILDER TO ENSURE 1.22M OF COVER ON ALL FOOTINGS; 200mm MAX. EXPOSED FOUNDATION WALL. MAX. 8% SLOPE ON DRIVEWAY.
3. THIS PROPOSAL CONFORMS WITH THE MUNICIPALITY'S GRADING CRITERIA AND APPROVED SUBDIVISION MASTER LOT GRADING PLAN AND THE PROPOSED HOUSE TYPE IS COMPATIBLE WITH THE GRADING. THE PROPOSED DRIVEWAY LOCATION DOES NOT CONFLICT WITH ADJACENT DRIVEWAYS, WALKWAYS, CATCHBASIN, HYDRANT, VALVE OR ANY STREET UTILITY.

HIGHCASTLE HOMES

NORTHGLENN

TOWN OF CLARINGTON

Sheet Title	Lot
SITING & GRADING	BLOCK 161 (UNITS 1-6)

- STREET LIGHT
- HYDRANT
- TRANSFORMER
- VALVE CHAMBER
- CATCH BASIN
- DOUBLE SAN CONNECT
- SINGLE SAN
- SWALE DIRECTION
- CABLE TV PEDISTAL
- FUTUREWAY FLUSH TO GRADE BOXES
- SUPER MAIL BOX
- EXTERIOR DOOR LOCATION
- SIDE WINDOW LOCATION
- DOOR
- OPT. DOOR

REGISTERED PERSON:
D.W. CASSIDY & CO.
ARCHITECTURAL TECHNOLOGISTS
FIRM BCIN 28461
STEPHEN P. KENNEDY
reviewed and took responsibility for this design.
Signature: _____ Date: OCT. 19, 2015
BCIN 23411

BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES, IF MINIMUM DIMENSIONS ARE NOT MAINTAINED, BUILDER IS TO RELOCATE AT THEIR OWN EXPENSE.

LOT NUMBER	161-1	161-2	161-3	161-4	161-5
HOUSE AREA (DWELLING EXCLUDING PORCH & DECK)	264.52 SM	212.10 SM	212.10 SM	212.10 SM	332.96 SM
COVERAGE	39.11 %	42.27 %	45.07 %	42.36 %	39.37 %
MAX LOT COVERAGE (DWELLING EXCL. PORCH & DECK) @ 50%	172.08 SM	106.05 SM	106.05 SM	106.05 SM	166.48 SM
LANDSCAPED OPEN SPACE @ MIN. 30%	50.57 %	44.55 %	42.09 %	44.33 %	52.70 %

No.	Description	Date	By
1	ISSUED FOR PRELIMINARY APPROVAL	OCT. 19, 2015	TB
2	ISSUED FOR FINAL APPROVAL	OCT. 19, 2015	TB

Scale: 1/250

Date: JULY 2015

Drawn by: TB

Checked by: AN

Project No.: 2008-65

Sheet No.: 161

This is the builder's complete responsibility to ensure that the plans submitted for approval fully comply with the applicable zoning regulations and all applicable provisions and any provisions in the subdivision agreement. The Council Architect is not responsible in any way for the building or approving site (grading) plans or for the building code or permit master or that a house can be properly built or located on its lot.

ARCHITECTURAL REVIEW & APPROVAL
John G. Williams Limited, Architect
OCT 23 2015