



NORTHGLEN

40' LOT PRODUCT - 9'-0" CEILINGS

MUNICIPALITY OF CLARINGTON
PROJECT NO. 2008-65

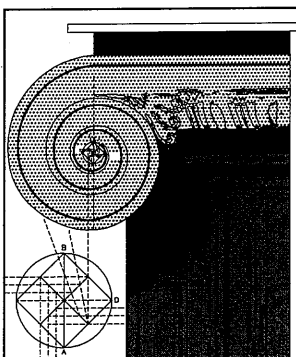
Energy Efficiency Compliance Calculations:

As per OBC SB-12 2.1.1.1 (Based on highest ratio scenario)

Unit to be constructed following SB-12 (2.1.1) Compliance package 'D', Unless the requirements of performance compliance are met as outlined in SB-12 (2.1.2)

	Elev. 'B'	Elev. 'B' LOD (7 RISERS)
Gross area of peripheral walls:	3077.08 SF	3141.13 SF
Gross area of openings:	271.31 SF	281.51 SF
	8.82% Ratio	8.96% Ratio

	Elev. 'B'
Gross area of peripheral walls for WOB:	3532.16 SF
Gross area of openings for WOB:	327.91 SF
	9.28% Ratio



CASSIDY & CO.
ARCHITECTURAL TECHNOLOGISTS

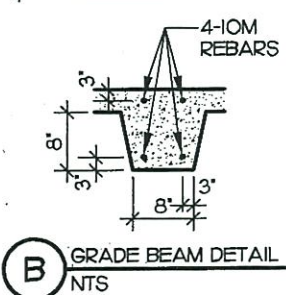
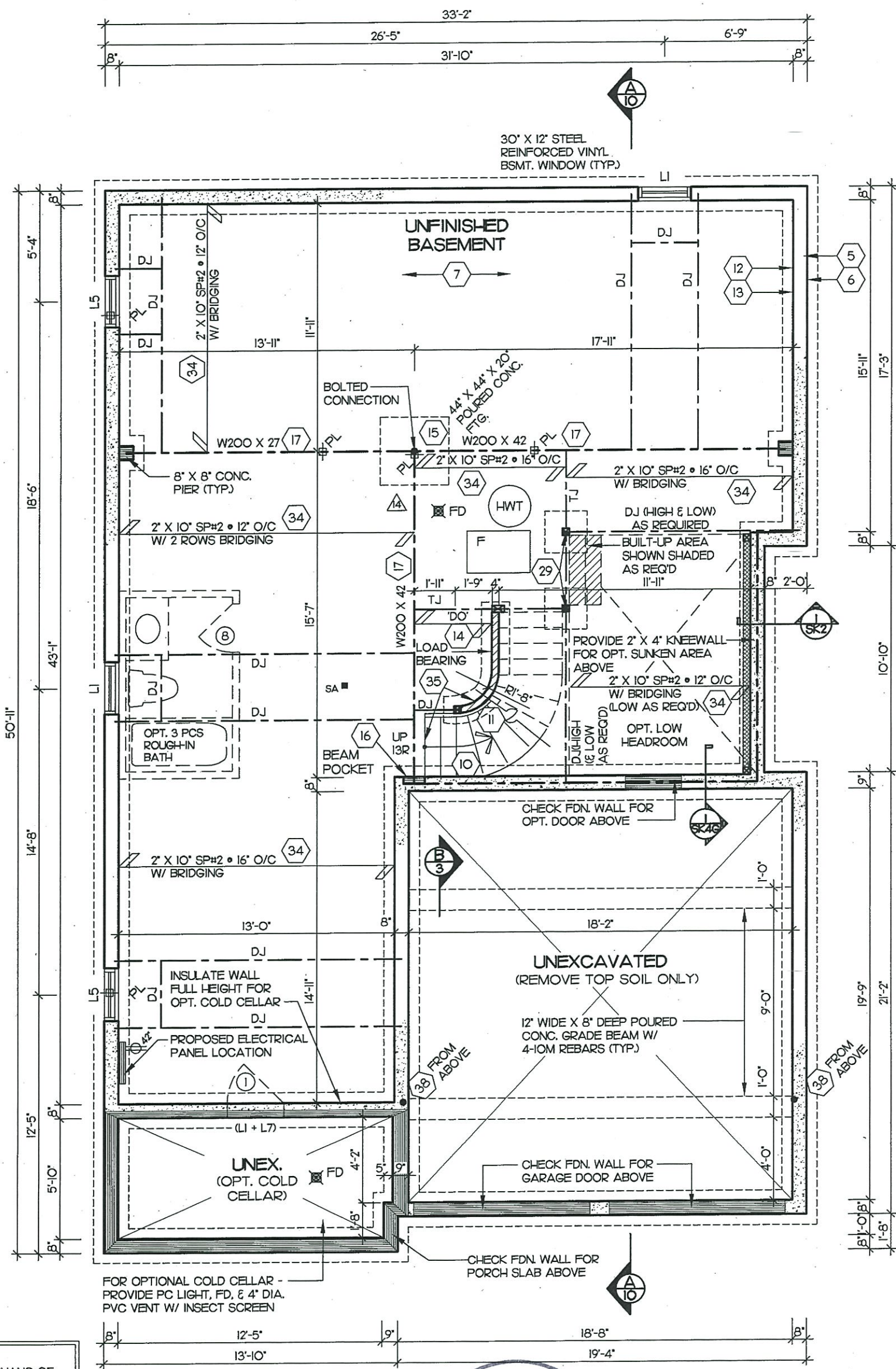
LIST OF DRAWINGS

DWG NAME	DWG No.	DWG NAME	DWG No.	DWG NAME	DWG No.
AREAS AND REVISIONS	1	RIGHT SIDE ELEVATION	8		
CONSTRUCTION NOTES	2	REAR ELEVATION	9		
BASEMENT PLAN	3	REAR ELEVATION FOR UPGRADED WALK-OUT BASEMENT	9A		
GROUND FLOOR PLAN	4	SECTION 'A'- 'A' & ROOF PLANS	10		
SECOND FLOOR PLAN	5	ELECTRICAL PLANS	11		
PARTIAL PLANS FOR WALK-OUT BASEMENT	5A				
FRONT ELEVATION	6				
LEFT SIDE ELEVATION	7				
LEFT SIDE ELEVATION FOR WALK-OUT BASEMENT	7A				

14	ADDED SHEETS 3A AND 4A FOR COLUMN REVISION OF LOT 107 PHASE 2	MARCH 11, 2016	TB
13	ADDED SHEETS 5A, 7A AND 9A FOR WALK-OUT BASEMENT CONDITION	JULY 29, 2014	TB
12	ISSUED TO CLIENT FOR PERMIT	JUNE 26, 2014	TB
11	REVISED FOR 2012 OBC - ISSUED TO P. ENG FOR STAMPING	JUNE 23, 2014	TB
10	ADDED BASEMENT WINDOW FOR ROUGH-IN ON LEFT SIDE ELEVATION & OPT. DOOR AT LAUNDRY ON RIGHT SIDE ELEVATION	OCT. 15, 2013	TB
9	REVISED TO COMPLIANCE PACKAGE D & ISSUED FOR PERMIT	APRIL 30, 2013	PS
8	GARAGE DOOR HEIGHT REVISED FROM 8'-0"-7'-0" ON FRONT ELEVATION - RAILING MATERIAL REVISED - RE-ISSUED TO CLIENT FOR REVIEW	DEC. 17, 2012	PS
7	ISSUED FOR PERMIT & CONSTRUCTION	JUNE 08 2012	PS
6	REVISED RIGHT SIDE JOG FOR SPATIAL COMPLIANCE & INDICATED ENERGY EFFICIENCY COMPLIANCE CALCULATIONS - ISSUED TO CLIENT	MAY 01, 2012	PS
5	ISSUED TO P. ENG. FOR FINAL STRUCTURAL CHECK.	MARCH 23, 2012	PS
4	REVISED ROOF STRUCTURE/ ISSUED FOR STRUCTURAL REVIEW	JAN. 16, 2012	PS
3	ISSUED FOR CONSTRUCTION	SEPT /11	PS
2	RE-ISSUED TO CLIENT FOR COORDINATION	AUG. 4 /11	PS
1	ISSUED FOR CLIENT REVIEW, PRICING & ROOF TRUSS DESIGN	MAY 03/11	PS

AREAS		ELEVATION 'B'	
		M ²	FT ²
NOT INCLUDING OPEN AREAS	GROUND FLOOR AREA	107.48	1157
	SECOND FLOOR AREA	133.68	1439
	TOTAL FLOOR AREA	241.17	2596
OPEN AREA (NOT INCL. IN TOTAL AREA)		111	12
COVERAGE (INCLUDING PORCH)		151.90	1635
COVERAGE (NOT INCLUDING PORCH)		143.72	1547

Client DELPARK/ HIGHCASTLE HOMES	Sheet Title AREAS & REVISIONS	REGISTERED PERSON: D.W. CASSIDY & CO. ARCHITECTURAL TECHNOLOGISTS FIRM BCIN 28461	CASSIDY & CO. ARCHITECTURAL TECHNOLOGISTS	Project No. 2008-65
Project NORTHGLEN MUNICIPALITY OF CLARINGTON UNIT 40-8 9'-0" CEILINGS	Scale 3/16" = 1'-0"	Drawn by AL	60 RANDALL DRIVE SUITE 11 AJAX, ONTARIO L1S 6L3	Drawing No. 1 OF 11
ELEVATION 'B'	Date DEC 2012	Checked by BM	PH (905) 619-1270 FAX (905) 619-1269	
	WINDSOR	Signature <i>[Signature]</i>		
		BCIN 23411 Date: MARCH 11, 2016		




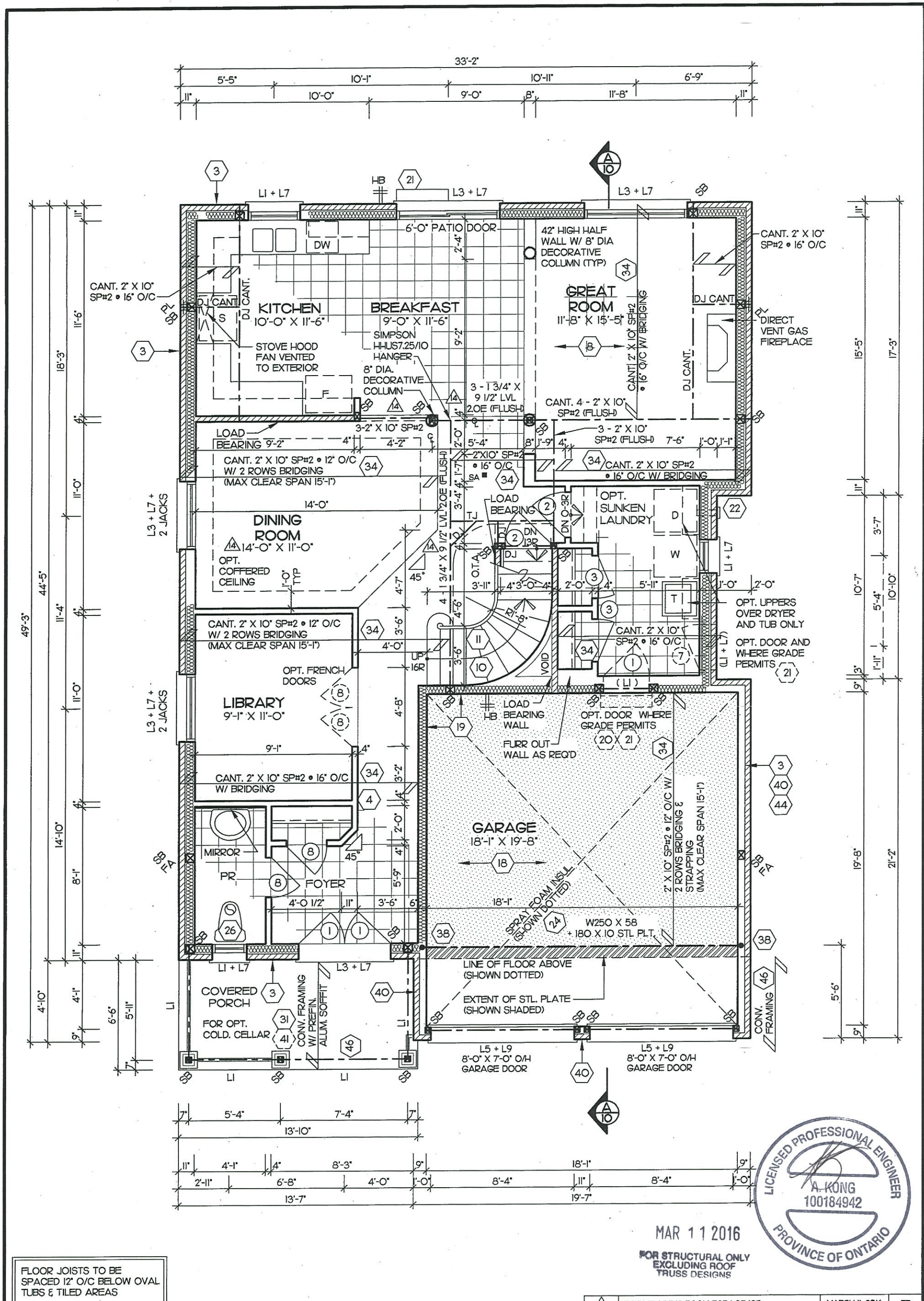
MAR 11 2016
FOR STRUCTURAL ONLY
EXCLUDING ROOF
TRUSS DESIGNS

NOTE:
PROVIDE 1/2" OVERHANG OF
FACE BRICK TO FDN. WALL

FLOOR JOISTS TO BE SPACED
12" O/C BELOW OVAL TUBS &
TILED AREAS

PROVIDE SOLID BLOCKING
BETWEEN TOP OF STEEL
BEAM OR WOOD BEAM AND
FLOOR ABOVE WHERE POINT
LOADS OCCUR

<p>Client HIGHCASTLE HOMES</p> <p>Project NORTHGLEN MUNICIPALITY OF CLARINGTON UNIT 40-8 - LOT 107 9'-0" CEILINGS</p> <p>ELEVATION 'B'</p>	<p>Sheet Title BASEMENT PLAN ELEVATION 'B'</p> <p>Scale 3/16" = 1'-0"</p> <p>Date MAR. 2016</p> <p>Drawn by AL/CK</p> <p>Checked by BM/TB</p> <p>WINDSOR</p>	<p>REGISTERED PERSON: D.W. CASSIDY & CO. ARCHITECTURAL TECHNOLOGISTS FIRM BCIN 28461</p> <p>I STEPHEN P. KENNEDY have reviewed and take responsibility for this design.</p> <p>Signature  BCIN 23411 Date: MARCH 11, 2015</p>	<p>CASSIDY & CO. ARCHITECTURAL TECHNOLOGISTS</p> <p>60 RANDALL DRIVE SUITE 11 AJAX, ONTARIO L1S 6L3</p> <p>PH (905) 619-1270 FAX (905) 619-1269</p>	<p>Project No. 2008-65</p> <p>Drawing No. 3A OF 11</p>
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14 REVISED LIVING ROOM FOR LOT 107 MARCH 11, 2016 TB

<p>Client HIGHCASTLE HOMES</p> <p>Project NORTHGLEN MUNICIPALITY OF CLARINGTON UNIT 40-8 - LOT 107 9'-0" CEILINGS</p> <p>ELEVATION 'B'</p>	<p>Sheet Title GROUND FLOOR PLAN ELEVATION 'B'</p> <p>Scale 3/16" = 1'-0"</p> <p>Date MAR. 2016</p> <p>Drawn by AL/CK</p> <p>Checked by BM/TB</p> <p>WINDSOR</p>	<p>REGISTERED PERSON: D.W. CASSIDY & CO. ARCHITECTURAL TECHNOLOGISTS FIRM BCIN 28461</p> <p>I STEPHEN P. KENNEDY have reviewed and take responsibility for this design.</p> <p>Signature: <i>[Signature]</i> BCIN 23411 Date: MARCH 11, 2016</p>	<p>CASSIDY & CO. ARCHITECTURAL TECHNOLOGISTS</p> <p>60 RANDALL DRIVE SUITE 11 AJAX, ONTARIO L1S 6L3</p> <p>PH (905) 619-1270 FAX (905) 619-1269</p>	<p>Project No. 2008-65</p> <p>Drawing No. 4 OF 11</p>
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