

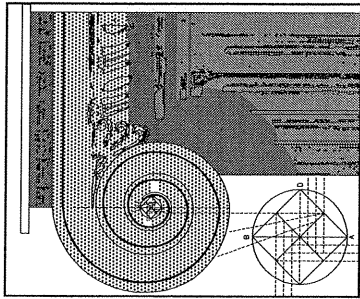


NORTHGLEN

33' LOT PRODUCT - 8'-0" CEILINGS

MUNICIPALITY OF CLARINGTON

PROJECT NO. 2008-65



CASSIDY & CO.

ARCHITECTURAL TECHNOLOGISTS

Energy Efficiency Compliance Calculations:
As per OBC SB-12 2.1.1.1 (Based on highest ratio scenario)

Unit to be constructed following SB-12 (2.1.1) Compliance package 'D',
Unless the requirements of performance compliance are met as outlined
in SB-12 (2.1.2)

Gross area of peripheral walls: 2215.44 SF
Gross area of openings: 192.31 SF
8.68% Ratio

Elev. 'A'

7		UPDATED FOR 2012 OBC.		JAN. 31, 2014	TB	AREAS		ELEVATION 'A'	
6		REVISED COMPLIANCE PACKAGE FROM J TO D & ISSUED FOR PERMIT		APRIL 03, 2013	PS	GROUND FLOOR AREA		M ²	FT ²
5		ISSUED TO CLIENT		JUNE 01, 2012	PS	SECOND FLOOR AREA		58.43	629
4		ISSUED TO P. ENG FOR FINAL STRUCTURAL CHECK		MAR. 29, 2012	PS	OPT. SECOND FLOOR AREA		76.73	826
3		REVISED ROOF STRUCTURE/ ISSUED FOR STRUCTURAL REVIEW		FEB. 01, 2012	PS	TOTAL FLOOR AREA		-	-
2		ADDED MASONRY PLINTH AROUND GROUND FLOOR PERIMETER - RE-ISSUED TO CLIENT FOR COORDINATION		JULY /11	PS	TOTAL FLOOR AREA W/ OPT. SECOND FLOOR PLAN		135.17	1455
1		ISSUED FOR CLIENT REVIEW, PRICING & ROOF TRUSS DESIGN		MAY 03/11	PS	OPEN AREA (NOT INCL. IN TOTAL AREA)		-	-
No.		DESCRIPTION		DATE	BY	COVERAGE (INCLUDING PORCH)		0.28	3
						COVERAGE (NOT INCLUDING PORCH)		90.12	970
								80.92	871
Client		DELPAK/ HIGHCASTLE HOMES		Sheet Title		REGISTERED PERSON		Project No.	
Project		NORTHGLEN MUNICIPALITY OF CLARINGTON UNIT 33-2 8'-0" CEILINGS		AREAS & REVISIONS		D.W. CASSIDY & CO. ARCHITECTURAL TECHNOLOGISTS FIRM BCIN 28461		2008-65	
		Scale 3/16" = 1'-0"		Drawn by PS/AA		I STEPHEN P. KENNEDY have		Drawing No.	
		Date APRIL 2013		Checked by LM		reviewed and take responsibility for this design.		60 RANDALL DRIVE SUITE 11 AJAX, ONTARIO L1S 6L3	
				"THE DANEBURY"		Signature		PH (905) 619-1270 FAX (905) 619-1269	
						BCIN /23411 Date: JAN. 31, 2014		1 OF 11	

CONSTRUCTION NOTES

UNLESS OTHERWISE NOTED
2012 O.B.C. O. REG. 332/12 (REVISED 7 JANUARY 2014)
R-VALUES BASED ON COMPLIANCE PACKAGE D
ALL DIMENSIONS GIVEN FIRST IN METRIC (mm) FOLLOWED BY IMPERIAL.
ALL CONSTRUCTION PRACTICES TO COMPLY WITH THE ONTARIO BUILDING CODE (O.B.C.) REGULATIONS.

ROOF CONSTRUCTION

1 ASPHALT SHINGLES, 9.5 mm (3/8") PLYWOOD SHEATHING WITH "H" CLIPS. ENGINEERED APPROVED WOOD ROOF TRUSSES @ 610 mm (24") O.C. MAX. APPROVED EAVES PROTECTION TO EXTEND MIN. 900 mm (2'-11") UP ROOF SURFACE TO LINE NOT LESS THAN 300 mm (12") BEYOND INNER FACE OF EXTERIOR WALL. 38 mm x 89 mm (2" x 4") TRUSS BRACING @ 2130 mm (7'-0") O.C. @ BOTTOM CHORD. PREFIN. ALUM. EAVES TROUGH ON PREFIN. ALUM. CLAD FASCIA BOARD & VENTED SOFFIT. ATTIC VENTILATION 1:300 OF INSULATED CEILING AREA WITH 50% AT EAVES.

FRAME WALL CONSTRUCTION (2" x 6" STUDS)

2 SING AS PER ELEVATION, 0.7 kg/s.m. (No. 15) BLDG PAPER, 12.7 mm (1/2") EXTERIOR TYPE SHEATHING (UNLESS OTHERWISE SPECIFIED), 38 mm x 140 mm (2" x 6") STUDS @ 406 mm (16") O.C., RSI 4.23 (R24) HIGH DENSITY BATT INSULATION AND 6 mil. AIR/VAPOUR BARRIER, 12.7 mm (1/2") INT. DRYWALL FINISH.

BRICK VENEER CONSTRUCTION (2" x 6" STUDS)

3 90 mm (4") OR 75 mm (3") FACE BRICK, 25 mm (1") AIR SPACE, 22 mm x 180 mm x 0.76 mm (7/8" x 7" x 22 ga.) GALV. METAL TIES @ 400 mm (16") O.C. HORIZ. 600 mm (24") O.C. VERTICAL, 0.7 kg/s.m. (No. 15) BUILDING PAPER, 12.7 mm (1/2") EXTERIOR TYPE SHEATHING (UNLESS OTHERWISE SPECIFIED), 38 mm x 140 mm (2" x 6") STUDS @ 406 mm (16") O.C., RSI 4.23 (R24) HIGH DENSITY BATT INSULATION AND 6 mil. AIR/VAPOUR BARRIER, 12.7 mm (1/2") INT. DRYWALL FINISH. PROVIDE WEEP HOLES @ 800 mm (30") O.C. HORIZ. @ BOTTOM COURSE ONLY & OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 150 mm (6") BEHIND SHEATHING PAPER MIN. 150 mm (6") CLEARANCE BETWEEN MASONRY AND GRADE.

INTERIOR STUD PARTITIONS

4 12.7 mm (1/2") INT. DRYWALL ON BOTH SIDES (FOR FIN. AREAS), 2 TOP PLATES & 1 BOTTOM PLATE TO MATCH STUD WIDTH. LOAD BEARING WALL: 38 mm x 89 mm (2" x 4") OR 38 mm x 140 mm (2" x 6") @ 406 mm (16") O.C. NON-LOAD BEARING WALL: 38 mm x 89 mm (2" x 4") @ 610 mm (2'-0") O.C.

FOUNDATION WALL

5 200 mm (8") POURED CONC. FOUNDATION WALL WITH 15 Mpa (2200 psi) CONC. OR 20 Mpa (2900 psi) CONC. WHERE STEEL REINFORCING IS SPECIFIED AND BITUMINOUS DAMP PROOFING, 19 mm (3/4") MINERAL FIBRE INSULATION WITH DENSITY OF 57 KG/M3 MIN. OR EQUIVALENT DRAINAGE LAYER, 480 mm x 155 mm (19" x 6") OR 600 mm x 200 mm (24" x 8") FOR PARTY WALLS CONTINUOUS KEYED CONC. FTG OR AS PER SOIL REPORT BACKFILL WITH NON-FROST SUSCEPTIBLE SOIL.

WEEPING TILE

6 100 mm (4") DIA. WEEPING TILE, TOP AND SIDES OF DRAINAGE TILE TO COVERED WITH MINIMUM 150 mm (6") CRUSHED STONE.

BASEMENT SLAB

7 80 mm (3") 20 Mpa. (2900 psi) CONC. SLAB ON 100 mm (4") CRUSHED STONE WITH DAMP PROOFING.

FINISHED FLOOR

8 ON 15.9 mm (5/8") T&G SUBFLOOR ON WOOD FLOOR JOISTS (ARTICLE 9.30.6 FOR CERAMIC TILE)

ROOF INSULATION

9 RSI 8.81 (R50) FOR ROOF WITH ATTIC OR RSI 5.46 (R31) ROOF INSULATION FOR ROOF W/OUT ATTIC AND 6MIL AIR/VAPOUR BARRIER, 15.9MM (5/8") INT. DRYWALL FINISH

ALL STAIRS/EXTERIOR STAIRS

MAX. RISE..... = 200 (7 7/8")
MIN. RISE..... = 125 (4 7/8")
MAX. RUN..... = 355 (1'-2")
MIN. RUN..... = 210 (8 1/4")
MAX. TREAD..... = 355 (1'-2")
MIN. TREAD..... = 235 (9 1/4")
MAX. NOSING..... = 25 (1")
MIN. HEADROOM..... = 1950 (6'-5")
MIN. WIDTH..... = 860 (2'-10")
FOR CURVED STAIRS.....
MIN. RUN..... = 150 (5 7/8")
MIN. AVERAGE RUN.... = 200 (7 7/8")

GUARDRAIL / HANDRAIL

11 ALL GUARDS AND HANDRAILS ARE TO COMPLY WITH THE REQUIREMENTS OF THE O.B.C. SUBSECTION 9.8.7 AND 9.8.8. GUARD @ INT. LANDING/FLOOR/STAIR..... = 900 (2'-11") GUARD @ INT. STAIR MIN..... = 865 (2'-10") HANDRAIL @ INT. STAIR MAX..... = 965 (3'-2") GUARD/HANDRAIL @ EXT. LANDING..... = 1070 (3'-6") (GREATER THAN 1800 ABOVE FIN GRADE)
GUARD/HANDRAIL @ EXT. LANDING..... = 900 (2'-11") HANDRAIL @ EXT. STAIR MIN..... = 865 (2'-10") HANDRAIL @ EXT. STAIR MAX..... = 965 (3'-2") WOOD PICKETS MAX. 100 mm (4") BETWEEN

SILL PLATE

12 38 mm x 89 mm (2" x 4") SILL PLATE WITH 12.7 mm (1/2") DIA. ANCHOR BOLTS 300 mm (12") LONG MIN. 100 mm (4") IN CONC. @ 2400 mm (7'-10") O.C. CONTINUOUS CAULKING OR 1" MINERAL WOOL BETWEEN SILL PLATE, AIR BARRIER AND CONCRETE WALL.

BLANKET INSULATION

13 RSI 3.52 (R20) BLANKET INSULATION W/ 6 MIL. AIR/ VAPOUR BARRIER (MAX. 150 FLAME SPREAD RATING) OR 1/2" AIR SPACE, RSI 3.52 (R20) INSULATION WITH 38 x 89 (2" x 4") @ 610mm (2'-0") O.C. WOOD STRAPPING AND 6 mil. AIR/VAPOUR BARRIER (MAX. 150 FLAME SPREAD RATING). CONTINUITY OF AIR BARRIER SYSTEM TO EXTEND THROUGHOUT THE BASEMENT INSULATION TO EXTEND DOWN FROM THE SUBFLOOR TO THE FIN. BASEMENT SLAB , PROVIDE 0.7 kg/m (No. 15) BLDG. PAPER BETWEEN FOUNDATION WALL & INSULATION.

BEARING STUD PARTITION

14 38 mm x 89 mm (2" x 4") OR 38 mm x 140 mm (2" x 6") STUDS @ 406 mm (16") O.C., (AS PER WORKING DRAWINGS) WITH 2 TOP PLATES AND SINGLE SILL PLATE TO MATCH STUD WIDTH ON DAMPROOFING MATERIAL, 12.7 mm (1/2") DIA. ANCHOR BOLTS @ 2400 mm (7'-10") O.C. ON 100 mm (4") HIGH CONC. CURB ON 350 mm x 150 mm (14" x 6") CONC. FOOTING.

PIPE COLUMN

15 (ASTM) A53 GRADE 'B' 90 mm (3 1/2") PIPE COLUMN, 870 mm x 870 mm x 410 mm (34" x 34" x 16") CONC. FTG. 15 Mpa. (2200 psi) CONC. STRG. WITH 150 mm x 150 mm x 9.5 mm (6" x 6" x 3/8") TOP AND BOTTOM PLATE. FOOTING SIZE MAY VARY - SEE PLANS.

BEAM POCKET

16 BEAM TO BE GROUTED IN.

BEAM BLOCKING

17 19 mm x 89 mm (1" x 4") BOTH SIDES OF STEEL BEAM.

GARAGE SLAB

18 100 mm (4") CONC. SLAB SLOPE TO FRONT. CONC. STRG. 32 Mpa. (4650 psi) WITH 5-8% AIR ENTRAINMENT. FILL BENEATH SLAB TO BE COMPACTED TO PROVIDE UNIFORM SUPPORT.

GARAGE SEPARATION - WALLS

19 12.7 mm (1/2") GYPSUM BD. ON WALLS BETWEEN HOUSE AND GARAGE. RSI 5.46 (R31) FOAM INSULATION. TAPED AND SEAL ALL JOINTS GAS TIGHT AND SEAL ALL JOINTS GAS TIGHT & VAPOR PROOF 6 mil AIR/VAPOUR BARRIER ON WARM SIDE.

GAS PROOFED DOOR

20 PROVIDE SELF CLOSER AND WEATHER STRIPPING.

PRECAST CONCRETE STEP

21 CAPED DRYER VENT (WITH METAL INSECT SCREEN) MAX. UNPROTECTED OPENING AREA OF 130 cm2 (20 sq. in.)

ATTIC ACCESS HATCH

22 0.32sm WITH NO DIMENSION LESS THAN 545mm, OR, 500 mm x 700 mm (20" x 28") WITH HIGH DENSITY WEATHER STRIPPING AND INSULATED. HEIGHT IN ATTIC/ROOF SPACE TO BE NOT LESS THAN 600 mm (2'-0") ABOVE ACCESS HATCH.

GARAGE SEPARATION - CEILING

24 12.7 mm (1/2") GYPSUM BD. ON CEILING BETWEEN HOUSE AND GARAGE. RSI 5.46 (R31) FOAM INSULATION. TAPED AND SEAL ALL JOINTS GAS TIGHT & VAPOR PROOF 6 mil AIR/VAPOUR BARRIER ON WARM SIDE.

LINEN CLOSET

25 4 SHELVES MIN. 350 mm (1'-2") DEEP.

MECHANICAL VENTING

26 ROOMS WHERE SPECIFIED TO BE MECHANICALLY VENTED TO PROVIDE AT LEAST ONE AIR CHANGE PER HOUR.

FIREWALL SEPARATION

27 JOISTS, BEAMS & TRUSSES TO BE STAGGERED & FIRE CUT AT PARTY WALL OR FIREWALL. MIN. 100 mm (4") SOLID MASONRY SEPARATION AT STAGGERED CONDITION OR END-TO-END CONDITION.

GRAB BAR

28 ADD GRAB BAR REINFORCEMENT IN STUD WALL FOR MAIN BATHROOM AS PER ARTICLE 9.5.2.3.

WOOD COLUMN

29 140 mm x 140 mm (6" x 6") WOOD COL. OR BUILT-UP WD. COL. ON METAL BASE SHOE AND 12.7 mm (1/2") DIA. BOLT. 610 mm x 610 mm x 300 mm (24" x 24" x 12") CONC. FTG.

STEP FOOTINGS

30 HORIZONTAL STEP = 600 mm (23 5/8") MIN. VERTICAL STEP = 600 mm (23 5/8") MAX. FOR FIRM SOILS & 400 mm FOR SAND & GRAVEL.

PORCH SLAB

31 MIN. 75 mm (3") CONCRETE SLAB-ON-GRADE ON 125 mm (5") CRUSHED STONE, REINFORCED WITH 6 x 6-W2.9 x W2.9 MESH AND SUCH REINFORCEMENT SHALL BE LOCATED NEAR MID-DEPTH OF SLAB. CONC. STRG. 32 Mpa (4650 psi) AND WITH 5 - 8% AIR ENTRAINMENT. 75 mm (3") MIN. SLAB BEARING @ PERIMETER.

RESERVED

PARTY WALLS

32 RESERVED

33 RESERVED

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EXPPOSED FLOOR

42 RSI 5.46 (R31) FOAM INSULATION, & DRAFTSTOP WITH PRE-FINISHED ALUMINUM SOFFIT TO EXPOSED FLOOR ABOVE.

2 STOREY WALLS - DOUBLE VOLUME

43 2-38 x 140 (2-2" x 6") SPR. # 2 CONTINUOUS STUDS @ 200 mm (8") O.C. FROM SILL PLATE TO TOP PLATE & WOOD GIRTS @ 1200 mm (3'-11") O.C. VERTICALLY.

EXTERIOR WALL, LESS THAN 1.2 M TO PROPERTY LINE (45 MIN. F.R.R.)

44 BRICK VENEER WALL OR FRAME WALL CONSTRUCTION CONSTRUCTION OF WALLS AS PER NOTES (2 X 3) EXCEPT AS PER THE FOLLOWING NOTES. INSULATION WITH A MASS OF 0.032 kg/s.m. PER 1 mm OF THICKNESS AND 12.7 mm (1/2") TYPE 'X' INT. DRYWALL FINISH.

EXTERIOR COMBUSTIBLE CLAD WALLS LESS THAN 0.6 M TO PROPERTY LINE (45 MIN. F.R.R.)

45 FRAME WALL CONSTRUCTION CONSTRUCTION OF WALLS AS PER NOTES (2) EXCEPT AS PER THE FOLLOWING NOTES. PROVIDE 12.7 mm (1/2") GYPSUM EXT. SHEATHING, INSULATION WITH A MASS OF 0.032 kg/s.m. PER 1 mm OF THICKNESS AND 12.7 mm (1/2") TYPE 'X' INT. DRYWALL FINISH.

CONVENTIONAL ROOF FRAMING

46 38 mm x 140 mm (2" x 6") SPR. RAFTERS @ 406 mm (16") O.C. MAX., 38 mm x 184 mm (2" x 8") RIDGE BD., HIP & VALLEY RAFTERS 38 mm x 89 mm (2" x 4") COLLAR TIES @ MIDSPAN. CEILING JOISTS TO BE 38 mm x 89 mm (2" x 4") @ 406 mm (16") O.C. FOR A MAX. 2430 mm (8'-0") SPAN & 38 mm x 140 mm (2" x 6") @ 406 mm (16") O.C. FOR A MAX. 4450 mm (14'-7") SPAN. RAFTERS FOR BUILT-UP ROOF TO BE 38 mm x 89 (2" x 4") @ 610 mm (24") O.C. W/A 38 mm x 89 mm (2" x 4") COLLAR TIES AS REQUIRED FOR STABILITY.

SUMP PUMP/PIT ARTICLE 9.14.5.2)

47 ALL TO HAVE MIN. YIELD OF 350 mpa.

HOLLOW STEEL SECTIONS (H.S.S.)

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ADDITIONAL NOTES

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Client
DELPAK/ HIGHCASTLE HOMES

Project
NORTHGLEN
MUNICIPALITY OF CLARINGTON
UNIT 33-2
8-O" CEILINGS

Scale
3/16" = 1'-0"

Date
APRIL 2013

AREAS & REVISIONS

REGISTERED PERSON:
D.W. CASSIDY & CO.
ARCHITECTURAL TECHNOLOGISTS
FIRM BCIN 28461

I STEPHEN P. KENNEDY have
reviewed and take responsibility for this design.

Signature
BCIN 23411 Date: JAN. 31, 2014

"THE DANEUBURY"

Project No.
CASSIDY & CO.
ARCHITECTURAL TECHNOLOGISTS

2008-65
Drawing No.
60 RANDALL DRIVE
SUITE 11
AJAX, ONTARIO
L1S 6L3
PH (905) 619-1270
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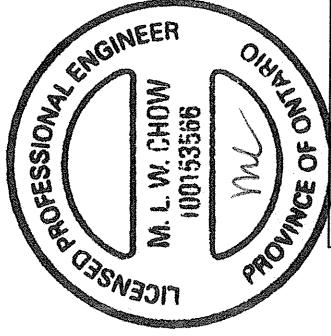
2 OF 11

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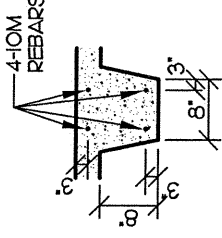
ARCHITECTURAL REVIEW & APPROVAL
FEB 19 2014
John G. Williams Limited, Architect

FEB 07 2014
FOR STRUCTURAL ONLY
EXCLUDING ROOF
TRUSS DESIGNS



8'-0" 15'-3" 16'-7" 8'-0" 9'-4" 10'-0" 8'-0"

B GRADE BEAM DETAIL
NTS



PROVIDE SOLID BLOCKING BETWEEN TOP OF STEEL BEAM OR WOOD BEAM AND FLOOR ABOVE WHEN POINT LOADS OCCUR

FLOOR JOISTS TO BE SPACED @ 12" O/C BELOW CERAMIC TILED AREAS & OVAL TUBS

PROVIDE 1/2" OVER-HANG OF FACE BRICK TO FOUNDATION WALL

Client
DELPARK/ HIGHCASTLE HOMES

Sheet Title
BASEMENT PLAN

REGISTERED PERSON:
D.W. CASSIDY & CO.
ARCHITECTURAL TECHNOLOGISTS
FIRM BCIN 28461

Project No.
CASSIDY & CO.
ARCHITECTURAL TECHNOLOGISTS
2008-65

Project
**NORTHGLEN
MUNICIPALITY OF CLARINGTON
UNIT 33-2
8'-0" CEILINGS**

Scale
3/16" = 1'-0"

Date
JUNE 2012

Drawn by
PS/AA

Checked by
LM

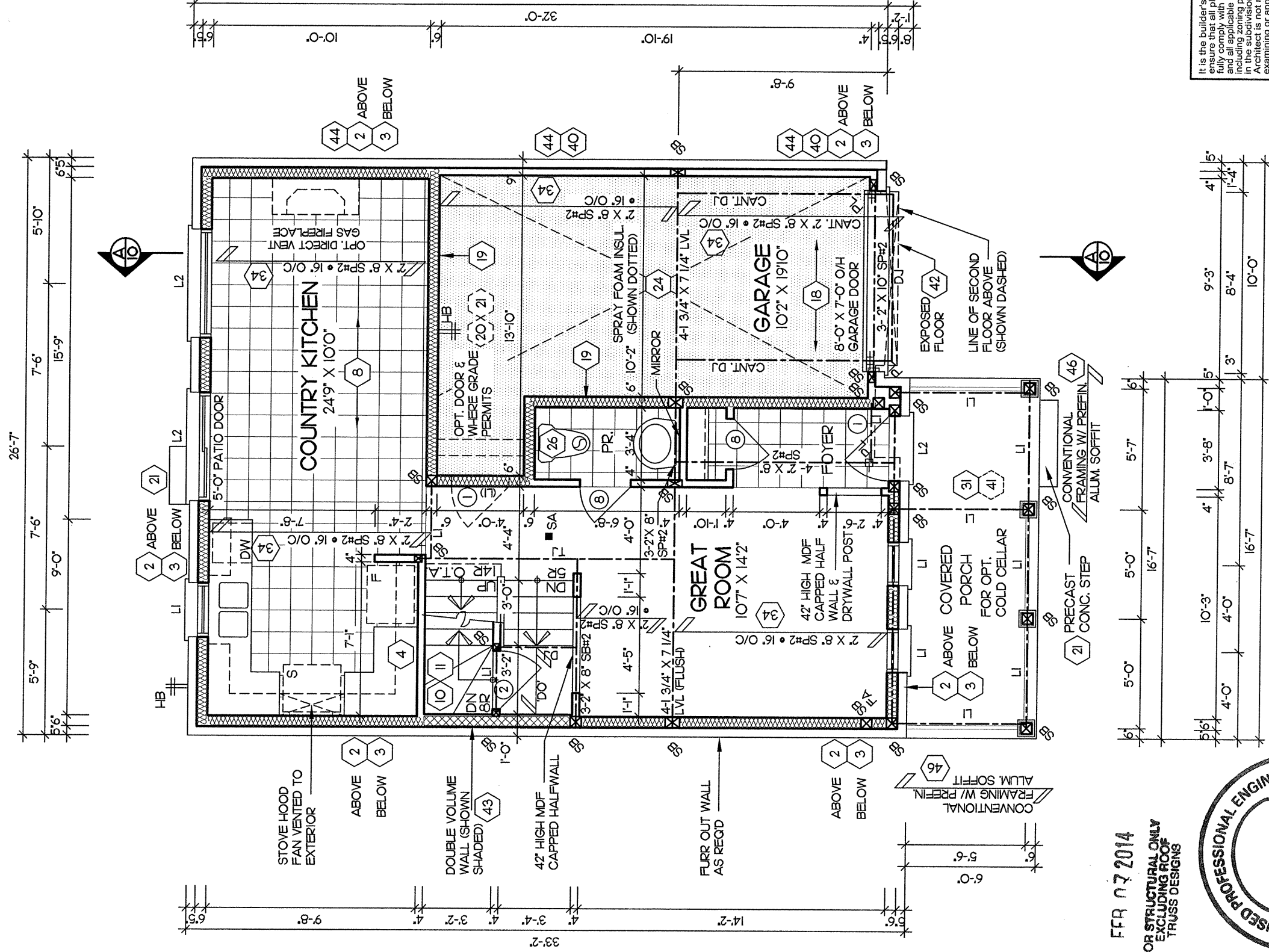
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BCIN
23411 Date:
JAN 31, 2014

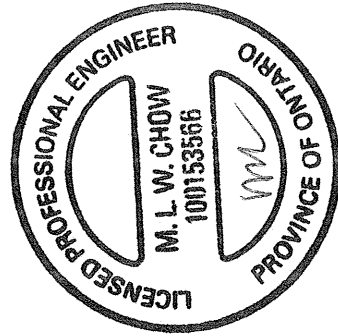
Drawing No.
3 OF 11

PH (905) 619-1270
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ELEVATION 'A'



FFR 07 2014
FOR STRUCTURAL ONLY
EXCLUDING ROOF
TRUSS DESIGNS



PROVIDE 1/2" OVERHANG OF
FACE BRICK TO
FOUNDATION WALL

FLOOR JOISTS TO BE SPACED
• 12" O/C BELOW CERAMIC
TILED AREAS & OVAL TUBS

Client
DELPAK/ HIGHCATTLE HOMES

Project
NORTHGLEEN
MUNICIPALITY OF CLARINGTON
UNIT 33-2
8'-0" CEILINGS

ELEVATION 'A'

Sheet
Title
GROUND FLOOR PLAN

Scale
3/16" = 1'-0"

Date
JUNE 2012

Drawn by
PS/AA

Checked by
LM

REGISTERED PERSON:
D.W. CASSIDY & CO.
ARCHITECTURAL TECHNOLOGISTS
FIRM BCIN 28461

I **STEPHEN P. KENNEDY** have
reviewed and take responsibility for this design.
Signature
BCIN **23411** Date: **JAN. 31, 2014**

CASSIDY & CO.
ARCHITECTURAL TECHNOLOGISTS
60 RANDALL DRIVE
SUITE 11
AJAX, ONTARIO
L1S 6L3

Project
No. **2008-65**

Drawing
No. **4 OF 11**

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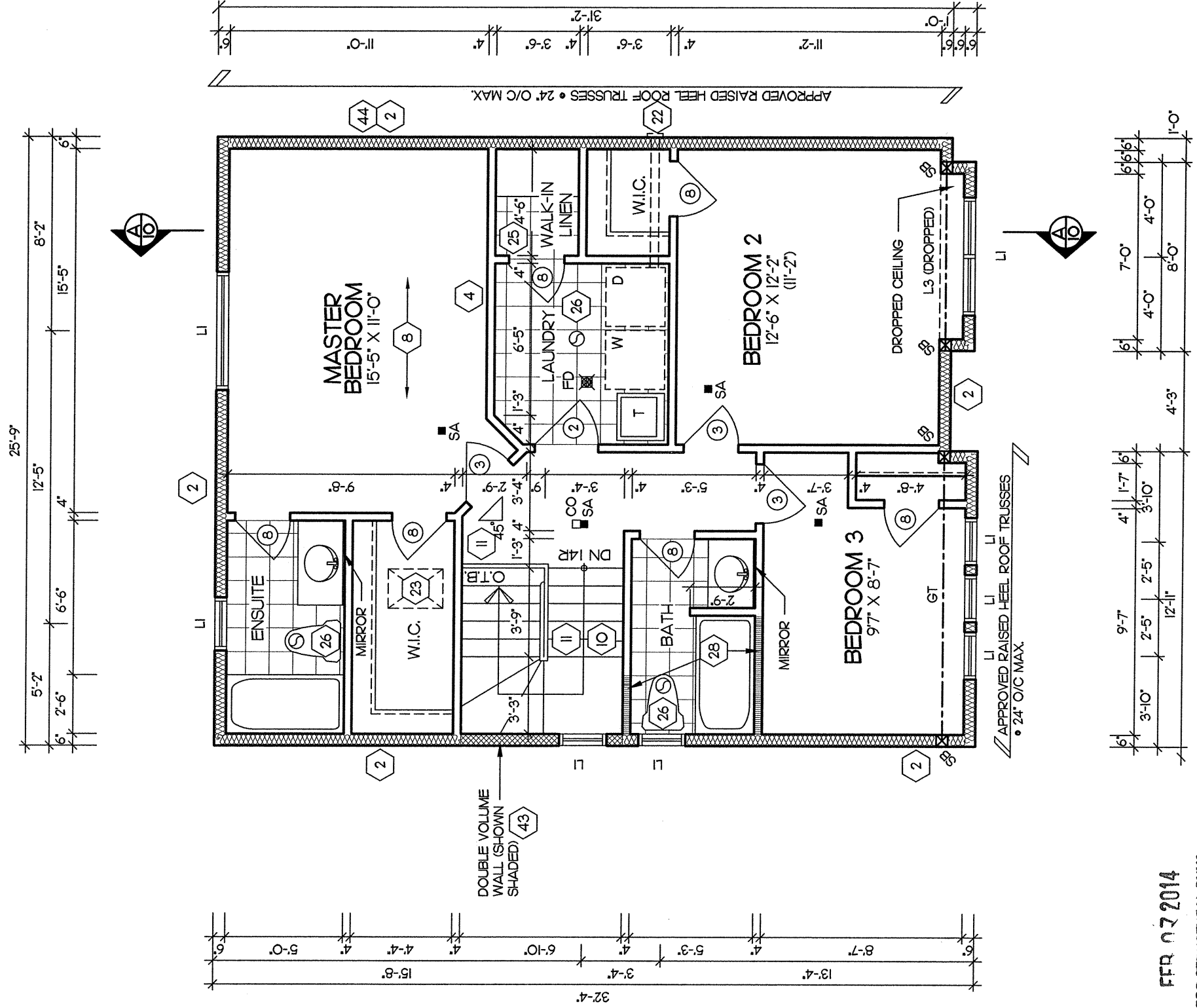
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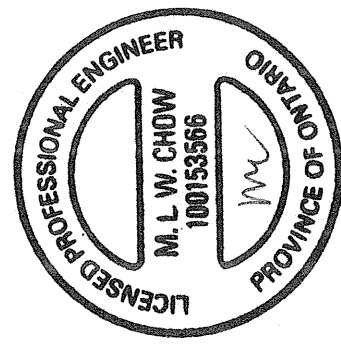
ARCHITECTURAL REVIEW & APPROVAL

FEB 10 2014

J. Williams Limited, Architect



FEB 07 2014
FOR STRUCTURAL ONLY
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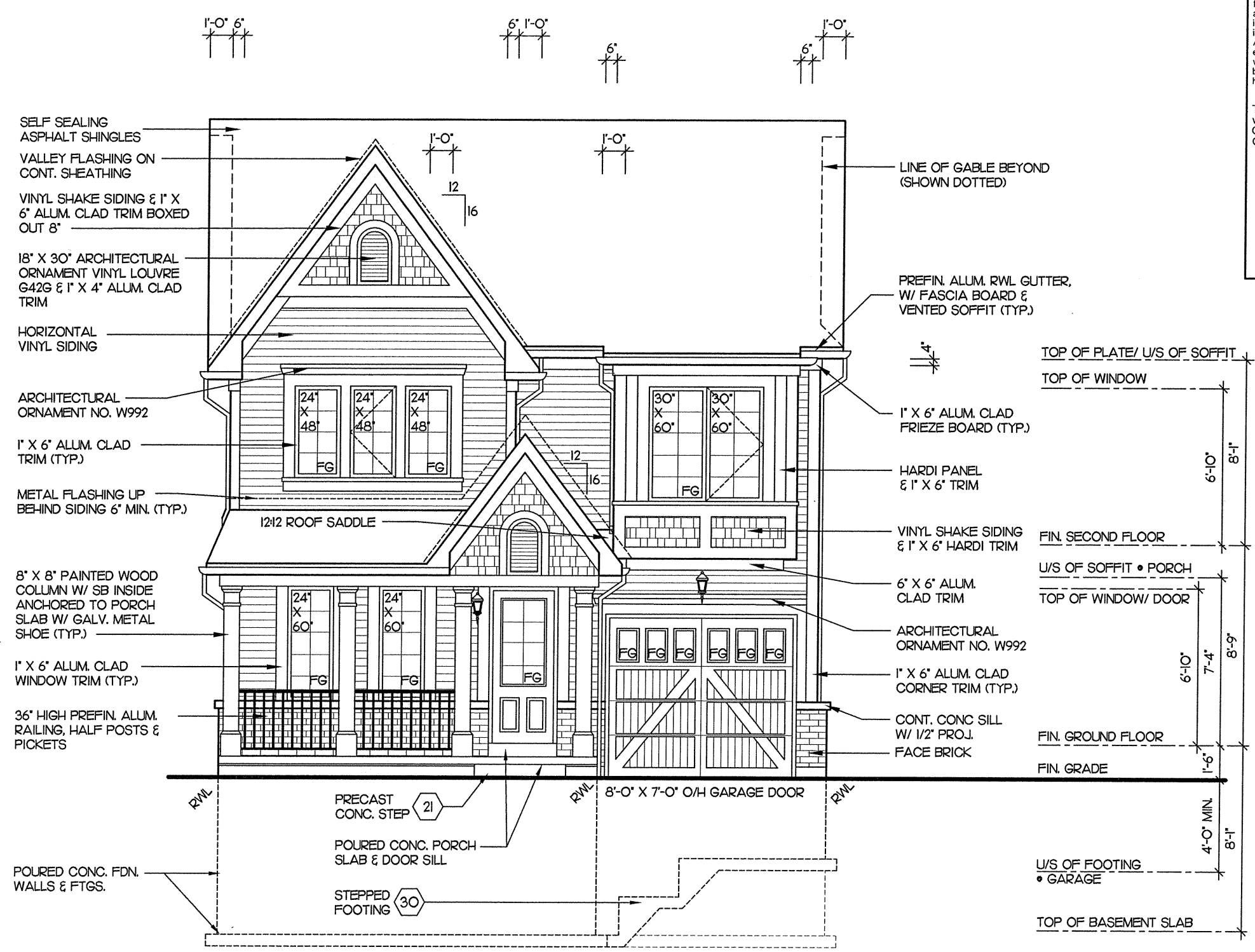


Client DELPARK/ HIGHCASTLE HOMES	Sheet Title SECOND FLOOR PLAN		REGISTERED PERSON: D.W. CASSIDY & CO. ARCHITECTURAL TECHNOLOGISTS FIRM BCIN 28461	Project No. 2008-65
	Project NORTHGLEN MUNICIPALITY OF CLARINGTON UNIT 33-2 8'-0" CEILINGS		CASSIDY & CO. ARCHITECTURAL TECHNOLOGISTS 60 RANDALL DRIVE SUITE 11 AJAX, ONTARIO L1S 6L3 PH (905) 619-1270 FAX (905) 619-1269	
ELEVATION 'A'	Scale 3/16" = 1'-0"	Drawn by PS/AA	I <u>STEPHEN P. KENNEDY</u> have reviewed and take responsibility for this design. Signature <u>[Signature]</u> BCIN <u>23411</u> Date: <u>JAN. 31, 2014</u>	Drawing No. 5 OF 11
	Date JUNE 2012	Checked by LM		
		"THE DANEBURY"		

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FEB 10 2014
John G. Williams Limited, Architect



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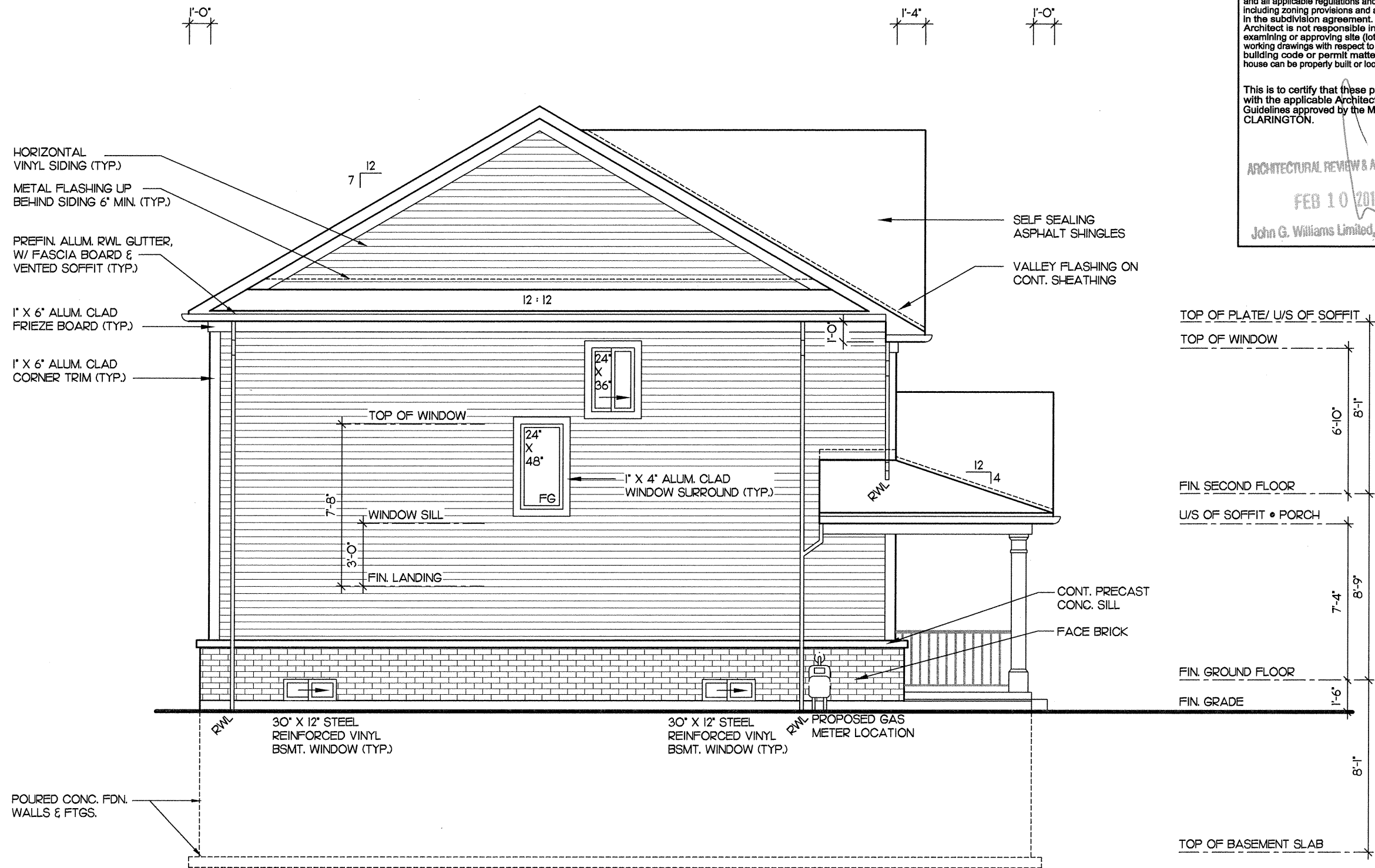
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John G. Williams Limited, Architect

Project No. 2008-65
Drawing No. 6 OF 11
CASSIDY & CO.
ARCHITECTURAL TECHNOLOGISTS
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Client DELPARK/ HIGHCASTLE HOMES
Project NORTHGLEN MUNICIPALITY OF CLARINGTON UNIT 33-2 8'-0" CEILINGS
ELEVATION 'A'
Sheet Title FRONT ELEVATION
Scale 3/16" = 1'-0"
Date JUNE 2012
Drawn by PS/AA
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THE DANEUBURY



SPATIAL CALCULATIONS

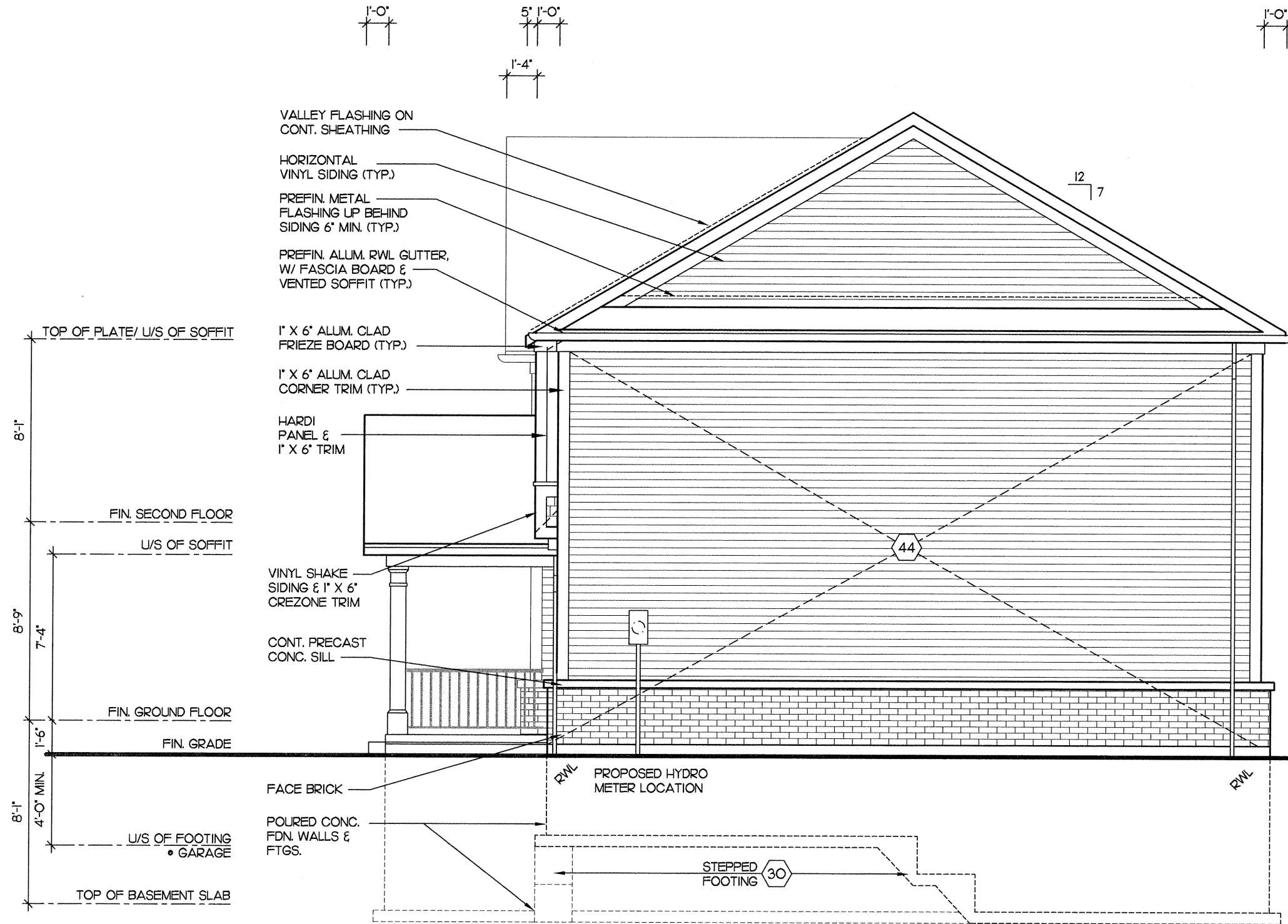
WALL AREA:	595.55 SF
LIMITING DISTANCE:	3'-11" • 7%
ALLOWABLE OPENINGS:	41.68 SF
OPENINGS PROVIDED:	12.77 SF

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Municipality of CLARINGTON.

ARCHITECTURAL REVIEW & APPROVAL
FEB 10 2014
John G. Williams Limited, Architect

Client DELPARK/ HIGHCASTLE HOMES	Project NORTHGLEN MUNICIPALITY OF CLARINGTON UNIT 33-2 8'-0" CEILINGS	Sheet Title LEFT SIDE ELEVATION	Scale 3/16" = 1'-0"	Drawn by PS/AA	Date JUNE 2012	Checked by LM	"THE DANEUBURY"	REGISTERED PERSON: D.W. CASSIDY & CO. ARCHITECTURAL TECHNOLOGISTS FIRM BCIN 28461 I STEPHEN P. KENNEDY have reviewed and take responsibility for this design. Signature  BCIN 23411 Date: JAN. 31, 2014	CASSIDY & CO. ARCHITECTURAL TECHNOLOGISTS 60 RANDALL DRIVE SUITE 11 AJAX, ONTARIO L1S 6L3 PH (905) 619-1270 FAX (905) 619-1269	Project No. 2008-65	Drawing No. 7 OF 11

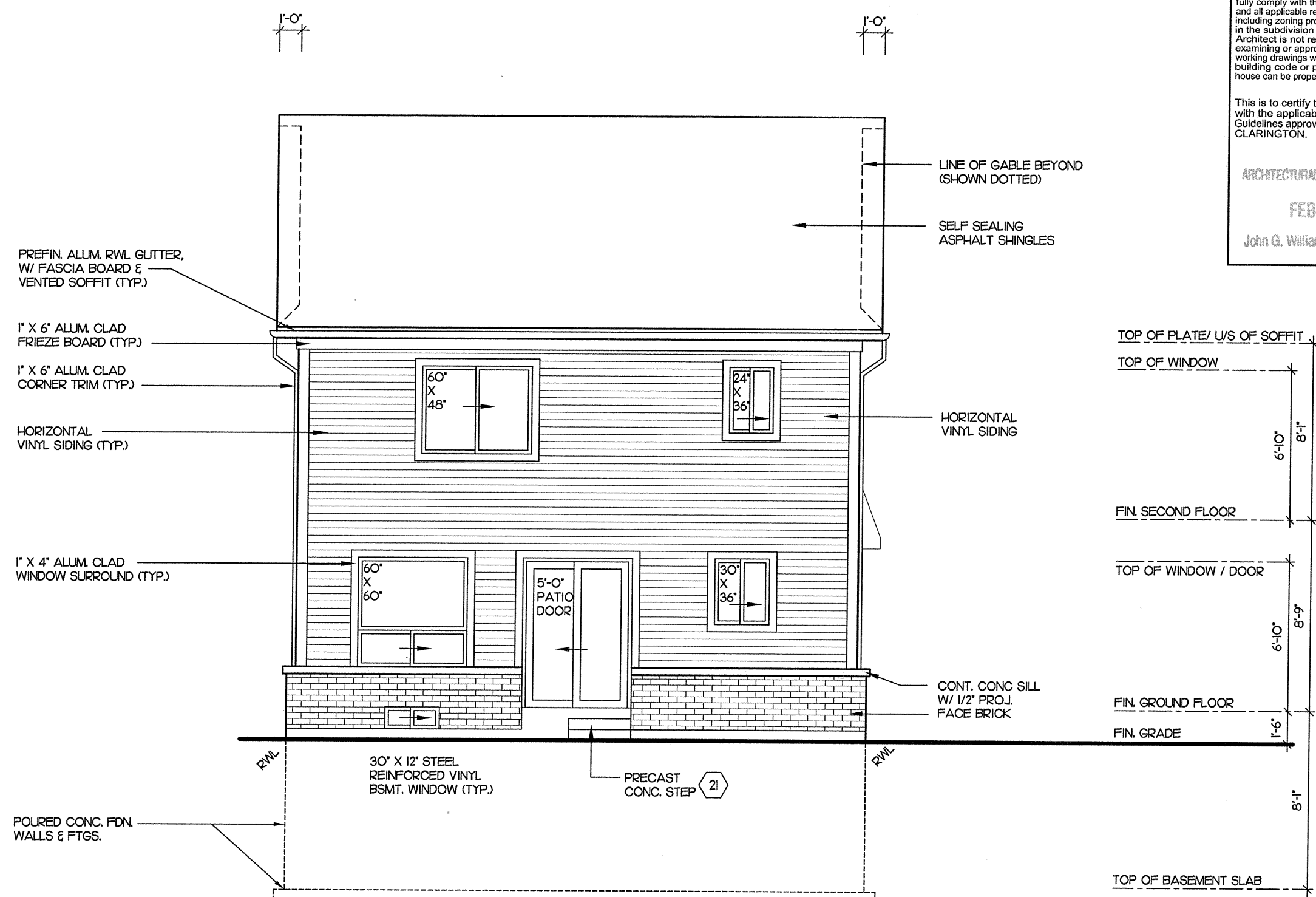


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ARCHITECTURAL REVIEW & APPROVAL
FEB 10 2014
John G. Williams Limited, Architect

Client DELPARK/ HIGHCASTLE HOMES	Project No. 2008-65		Drawing No. 8 OF 11	
	Project NORTHGLEN MUNICIPALITY OF CLARINGTON UNIT 33-2 8'-0" CEILINGS		Architect CASSIDY & CO. ARCHITECTURAL TECHNOLOGISTS 60 RANDALL DRIVE SUITE 11 AJAX, ONTARIO L1S 6L3 PH (905) 619-1270 FAX (905) 619-1269	
Sheet Title RIGHT SIDE ELEVATION	Registered Person D.W. CASSIDY & CO. ARCHITECTURAL TECHNOLOGISTS FIRM BCIN 28461		I, STEPHEN P. KENNEDY have reviewed and take responsibility for this design. Signature BCIN 23411 Date: JAN. 31, 2014	
	Scale 3/16" = 1'-0"		Drawn by PS	
Project NORTHGLEN MUNICIPALITY OF CLARINGTON UNIT 33-2 8'-0" CEILINGS	Date JUNE 2012		Checked by LM	
	Elevation 'A'		THE DANEUBURY	



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ARCHITECTURAL REVIEW & APPROVAL
FEB 10 2014
John G. Williams Limited, Architect

Project No. 2008-65

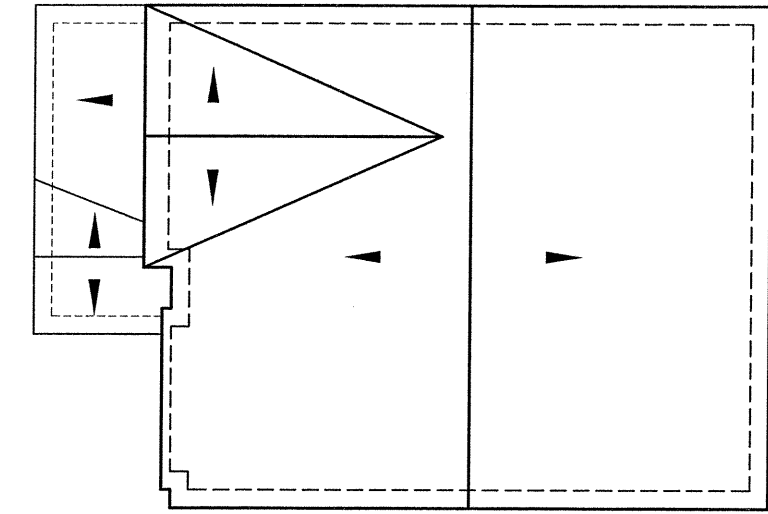
Drawing No. 9 OF 11

CASSIDY & CO.
ARCHITECTURAL TECHNOLOGISTS

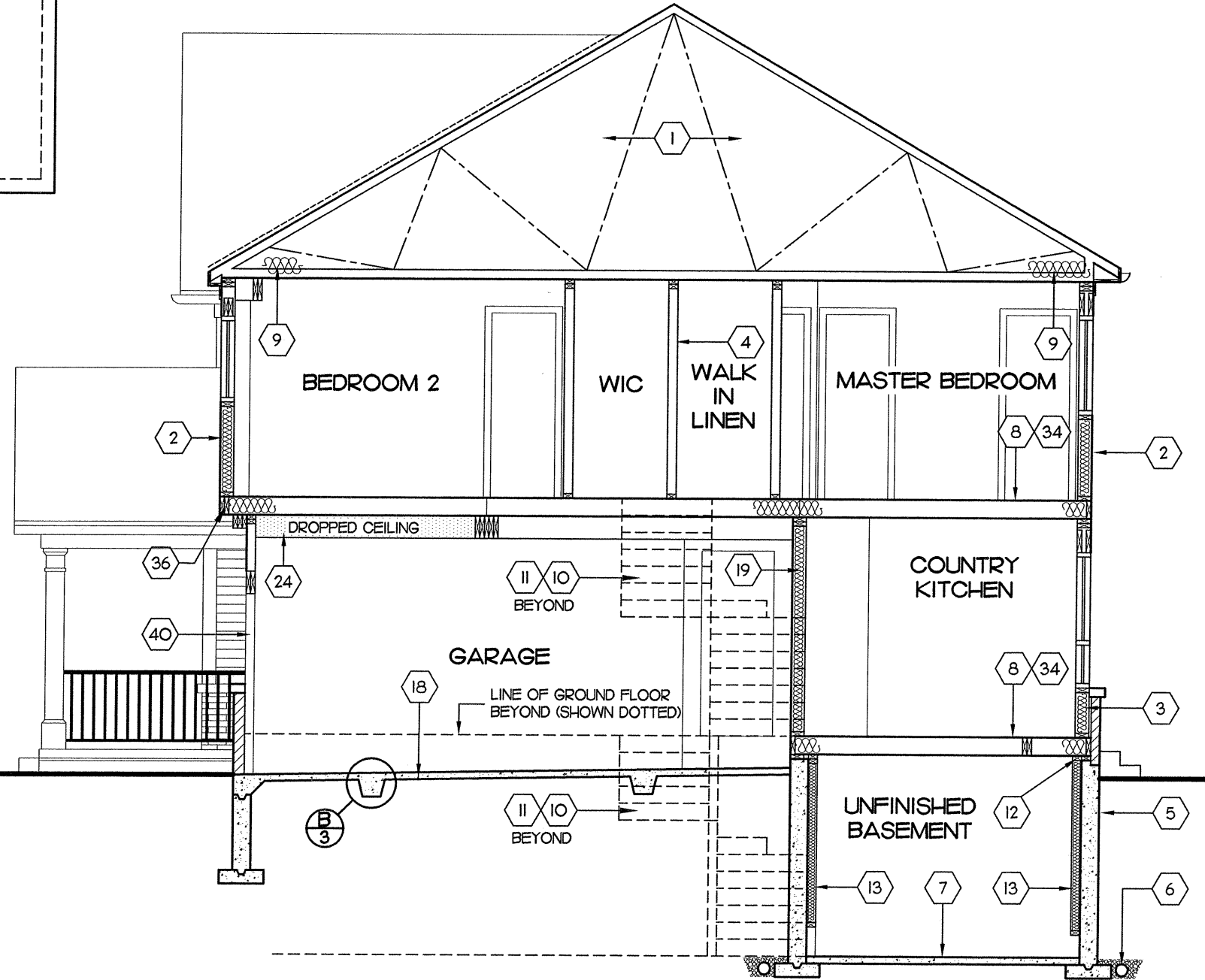
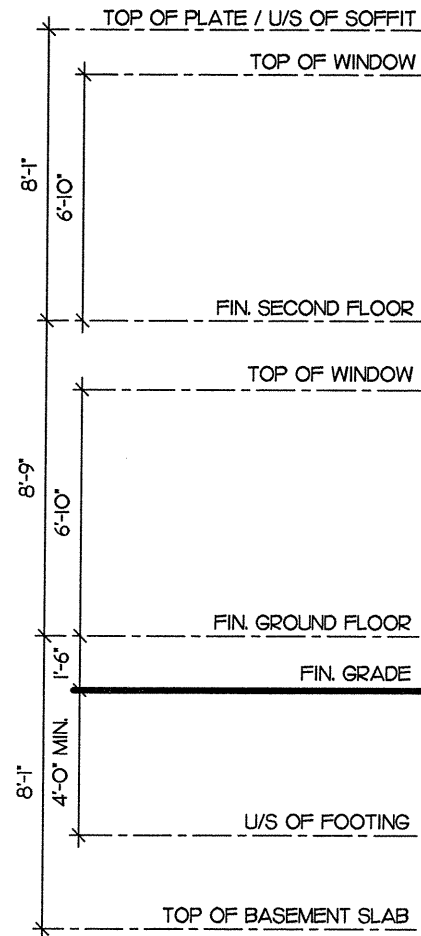
60 RANDALL DRIVE
SUITE 11
AJAX, ONTARIO
L1S 6L3

PH (905) 619-1270
FAX (905) 619-1269

Client Project	DELPAK/ HIGHCASTLE HOMES NORTHGLEN MUNICIPALITY OF CLARINGTON UNIT 33-2 8'-0" CEILINGS	Sheet Title	REAR ELEVATION		REGISTERED PERSON D.W. CASSIDY & CO. ARCHITECTURAL TECHNOLOGISTS FIRM BCIN 28461		STEPHEN P. KENNEDY have reviewed and take responsibility for this design. Signature		BCIN 23411 Date: JAN. 31, 2014	
			Scale 3/16" = 1'-0"	Drawn by PS/AA	Date JUNE 2012	Checked by LM	"THE DANEUBURY"			

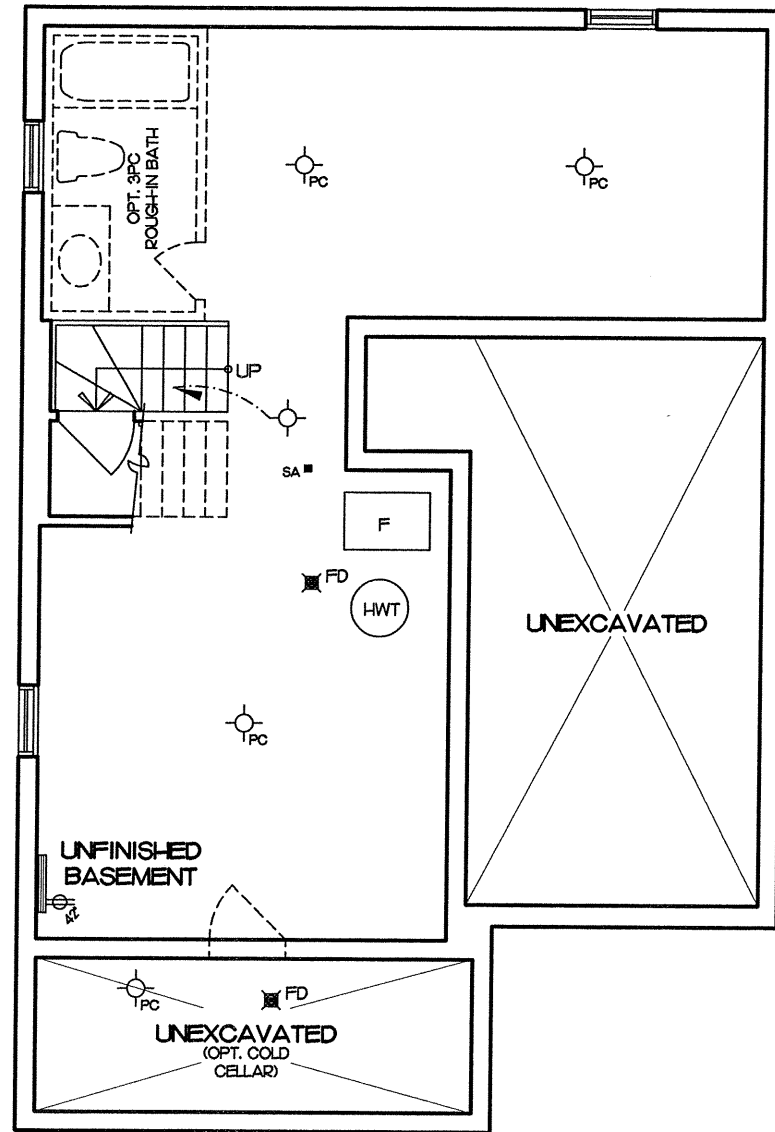


ROOF PLAN
N.T.S.

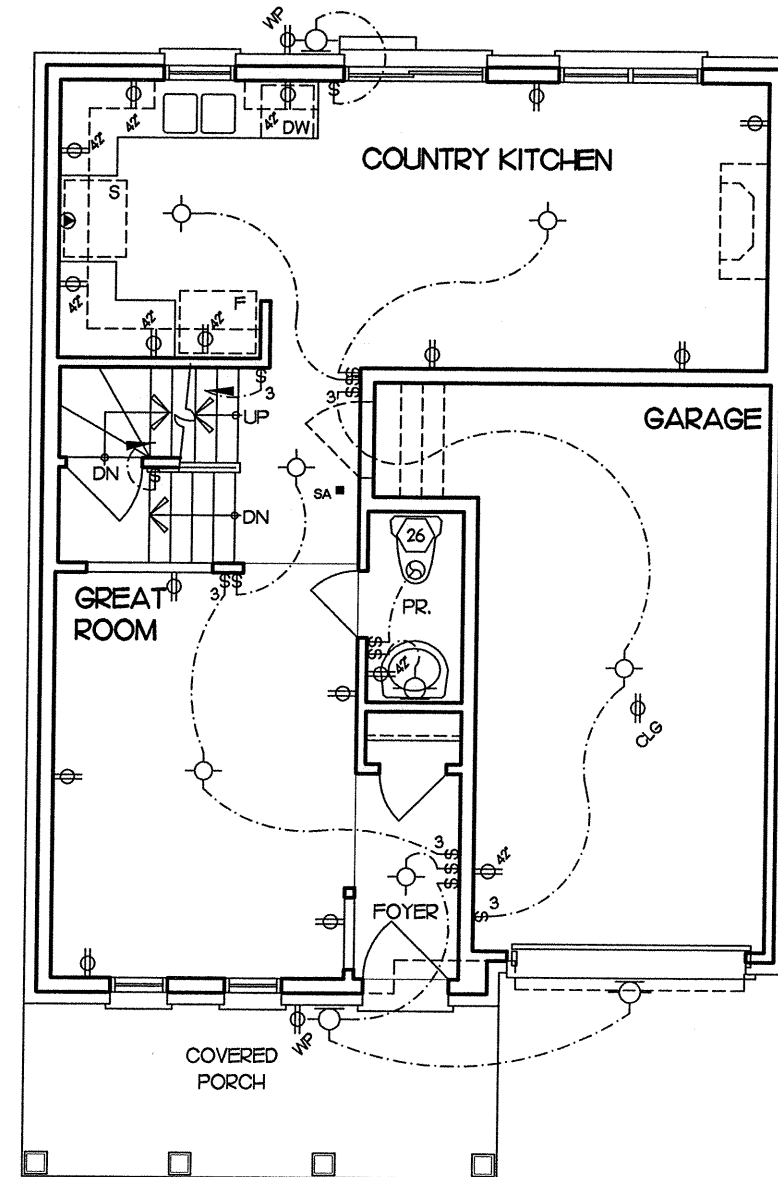


SECTION 'A' - 'A'
3/16" = 1'-0"

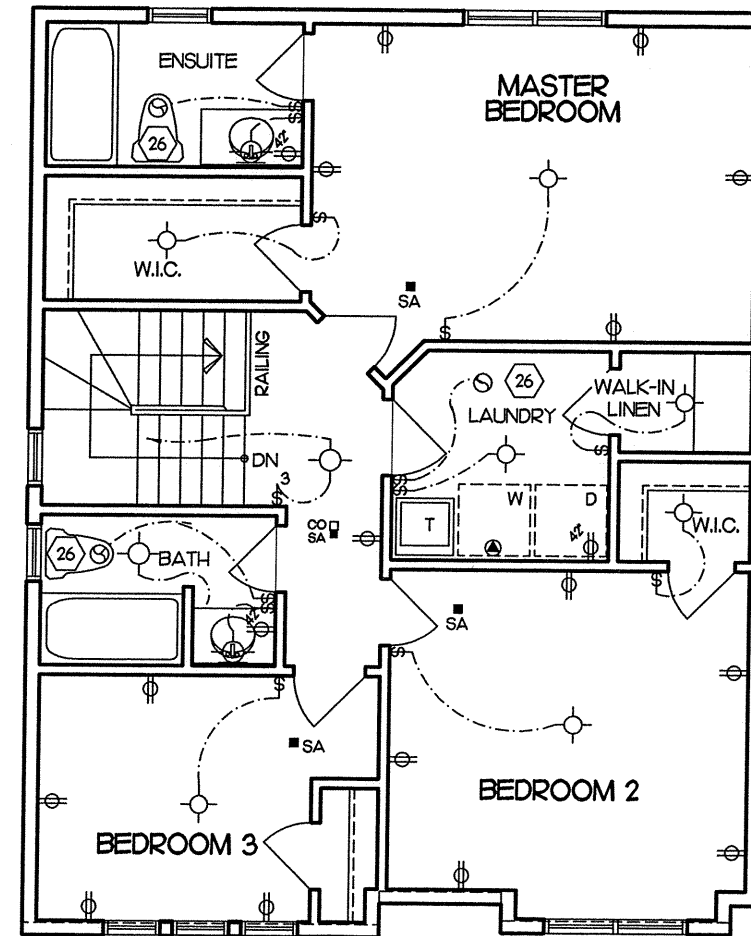
Client DELPARK/ HIGHCASTLE HOMES	Project NORTHGLEN MUNICIPALITY OF CLARINGTON UNIT 33-2 8'-0" CEILINGS		Project No. 2008-65		Drawing No. 10 OF 11			
	Project ELEVATION 'A'		Project CASSIDY & CO. ARCHITECTURAL TECHNOLOGISTS		Project 60 RANDALL DRIVE SUITE 11 AJAX, ONTARIO L1S 6L3 PH (905) 619-1270 FAX (905) 619-1269			
Sheet Title ELECTRICAL PLANS & ROOF PLAN		Registered Person: D.W. CASSIDY & CO. ARCHITECTURAL TECHNOLOGISTS FIRM BCIN 28461 STEPHEN P. KENNEDY have reviewed and take responsibility for this design. Signature _____ Date: JAN. 31, 2014 BCIN 23411						
Scale 3/16" = 1'-0"		Drawn by PS/AA		Checked by LM				
Date JUNE 2012		Date: JAN. 31, 2014						



BASEMENT PLAN



GROUND FLOOR PLAN



SECOND FLOOR PLAN

Client DELPARK/ HIGHCASTLE HOMES		Sheet Title ELECTRICAL PLANS		REGISTERED PERSON: D.W. CASSIDY & CO. ARCHITECTURAL TECHNOLOGISTS FIRM BCIN 28461		CASSIDY & CO. ARCHITECTURAL TECHNOLOGISTS 60 RANDALL DRIVE SUITE 11 AJAX, ONTARIO L1S 6L3 PH (905) 619-1270 FAX (905) 619-1269	Project No. 2008-65
Project NORTHGLEN MUNICIPALITY OF CLARINGTON UNIT 33-2 8'-0" CEILINGS		Scale 3/16" = 1'-0"	Drawn by PS/AA	I STEPHEN P. KENNEDY have	Drawing No. II OF II		
		Date JUNE 2012	Checked by LM	reviewed and take responsibility for this design.			
		"THE DANEUBURY"		Signature 			
				BCIN 23411 Date: JAN. 31, 2014			
ELEVATION 'A'							