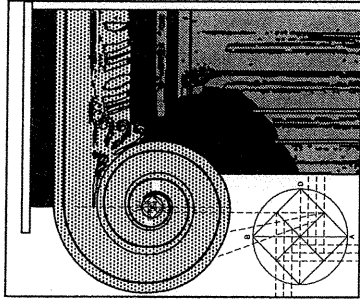


NORTHGLEN

40' LOT PRODUCT - 9'-0" CEILING

MUNICIPALITY OF CLARINGTON

PROJECT NO. 2008-65



CASSIDY & CO.
ARCHITECTURAL TECHNOLOGISTS

Energy Efficiency Compliance Calculations:
As per OBC SB-12 2.1.1.1 (Based on highest ratio scenario)

Unit to be constructed following SB-12 (2.1.1) Compliance package 'D',
Unless the requirements of performance compliance are met as outlined
in SB-12 (2.1.2)

Gross area of peripheral walls: 2850.76 SF
Gross area of openings: 264.62 SF
9.28% Ratio

Elev. 'B'

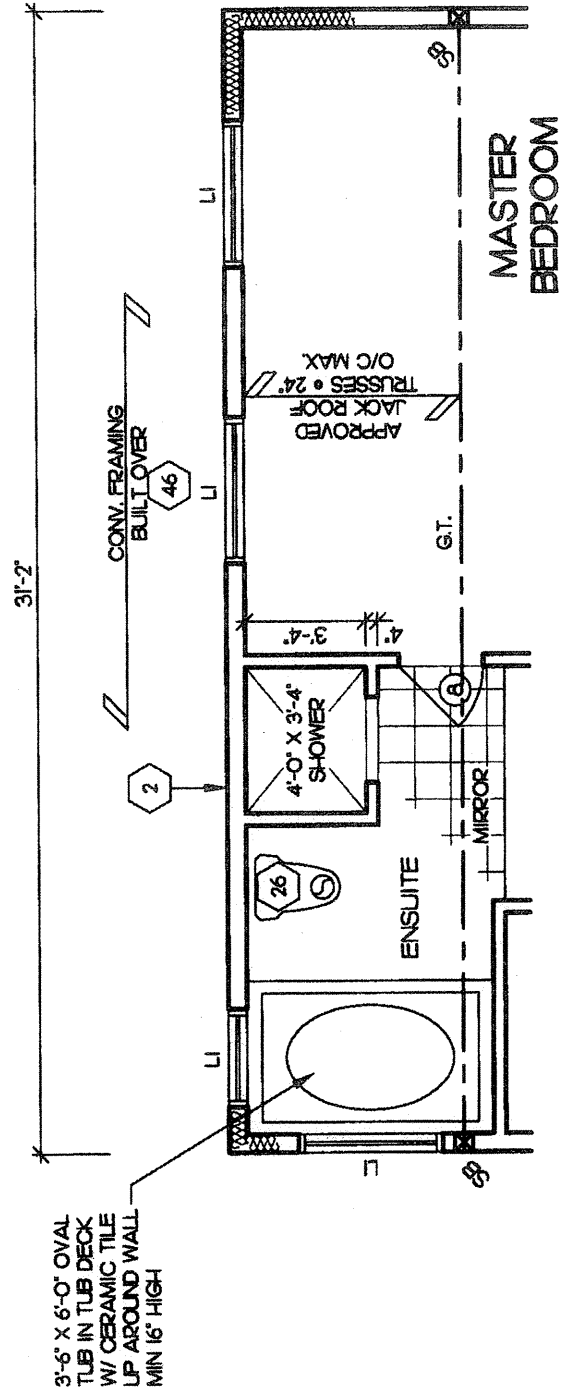
LIST OF DRAWINGS

DWG NAME	DWG No.	DWG NAME	DWG No.	DWG NAME	DWG No.	DWG No.
AREAS AND REVISIONS	1	REAR ELEVATION			9	
CONSTRUCTION NOTES	2	REAR ELEVATION FOR UPGRADED WALK-OUT BASEMENT			9A	
BASEMENT PLAN	3	SECTION 'A'- 'A' & ROOF PLANS			10	
GROUND FLOOR PLAN	4	ELECTRICAL PLANS			11	
SECOND FLOOR PLAN	5					
PARTIAL PLANS FOR WALK-OUT BASEMENT	5A					
FRONT ELEVATION	6					
LEFT SIDE ELEVATION	7					
LEFT SIDE ELEVATION FOR WALK-OUT BASEMENT	7A					
RIGHT SIDE ELEVATION	8					
10	ADDED SHEETS 5A, 7A AND 9A FOR WALK-OUT BASEMENT CONDITION		JULY 29, 2014	TB	AREAS	
9	REVISED FOR 2012 OBC - ISSUED TO CLIENT		JUNE 5, 2014	TB		
8	UPDATED FRAMING • STAIR & REISSUED TO CLIENT		OCT. 11, 2013	TB		
7	REVISED TO COMPLIANCE PACKAGE D & ISSUED FOR PERMIT		APRIL 30, 2013	PS		
6	GARAGE DOOR HEIGHT REVISED FROM 8'-0"-7'-0" ON FRONT ELEVATION - RAILING MATERIAL REVISED - RE-ISSUED TO CLIENT FOR REVIEW		DEC. 17, 2012	PS		
5	ISSUED FOR PERMIT & CONSTRUCTION		JUNE 08, 2012	PS		
4	ISSUED TO P. ENG. FOR FINAL STRUCTURAL CHECK.		MARCH 23, 2012	PS		
3	ISSUED FOR STRUCTURAL REVIEW		JAN. 18/2012	PS		
2	FIREPLACE UPDATE AS PER SPEC'S RECD FROM CLIENTS		AUG. 4 /11	PS		
1	ISSUED FOR CLIENT REVIEW, PRICING & ROOF TRUSS DESIGN		MAY 03/11	PS		
No.	DESCRIPTION		DATE	BY	ELEVATION 'B'	
					M ²	
					FT ²	
					97.36	
					1048	
					106.37	
					1145	
					204.11	
					2197	

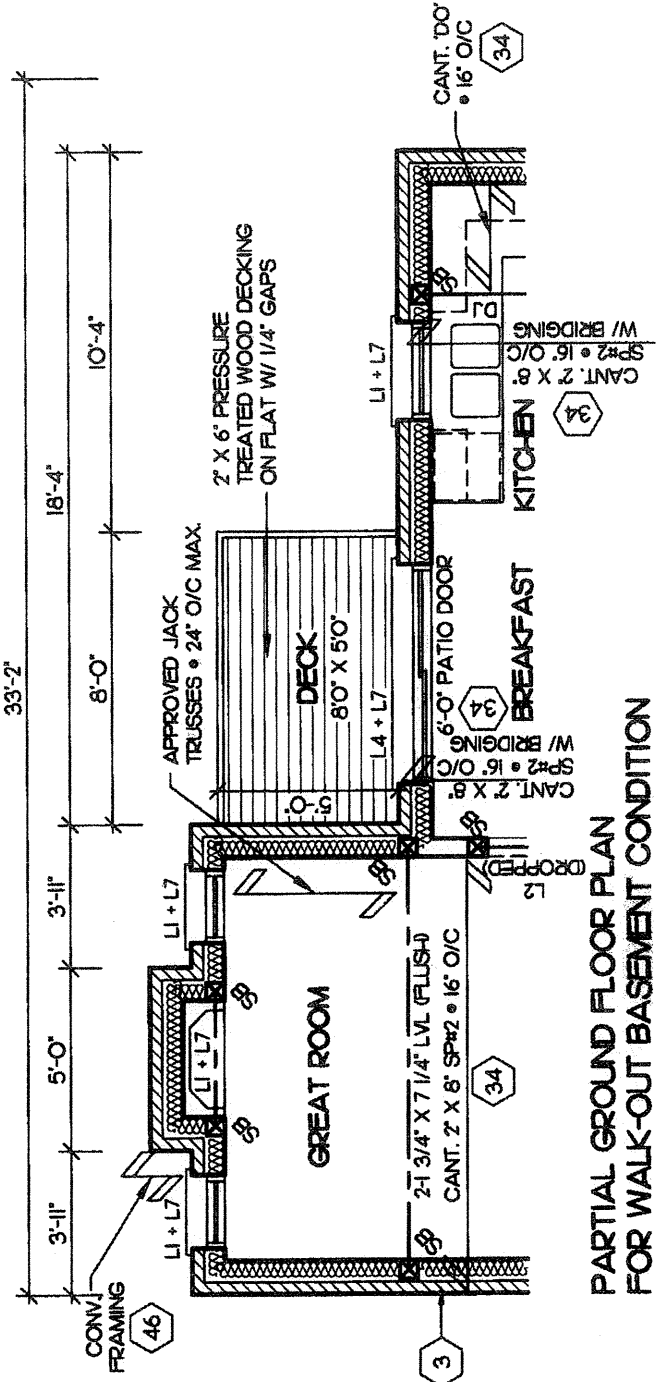
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building regulations or provisions that may apply. A house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Municipality of CLARINGTON.

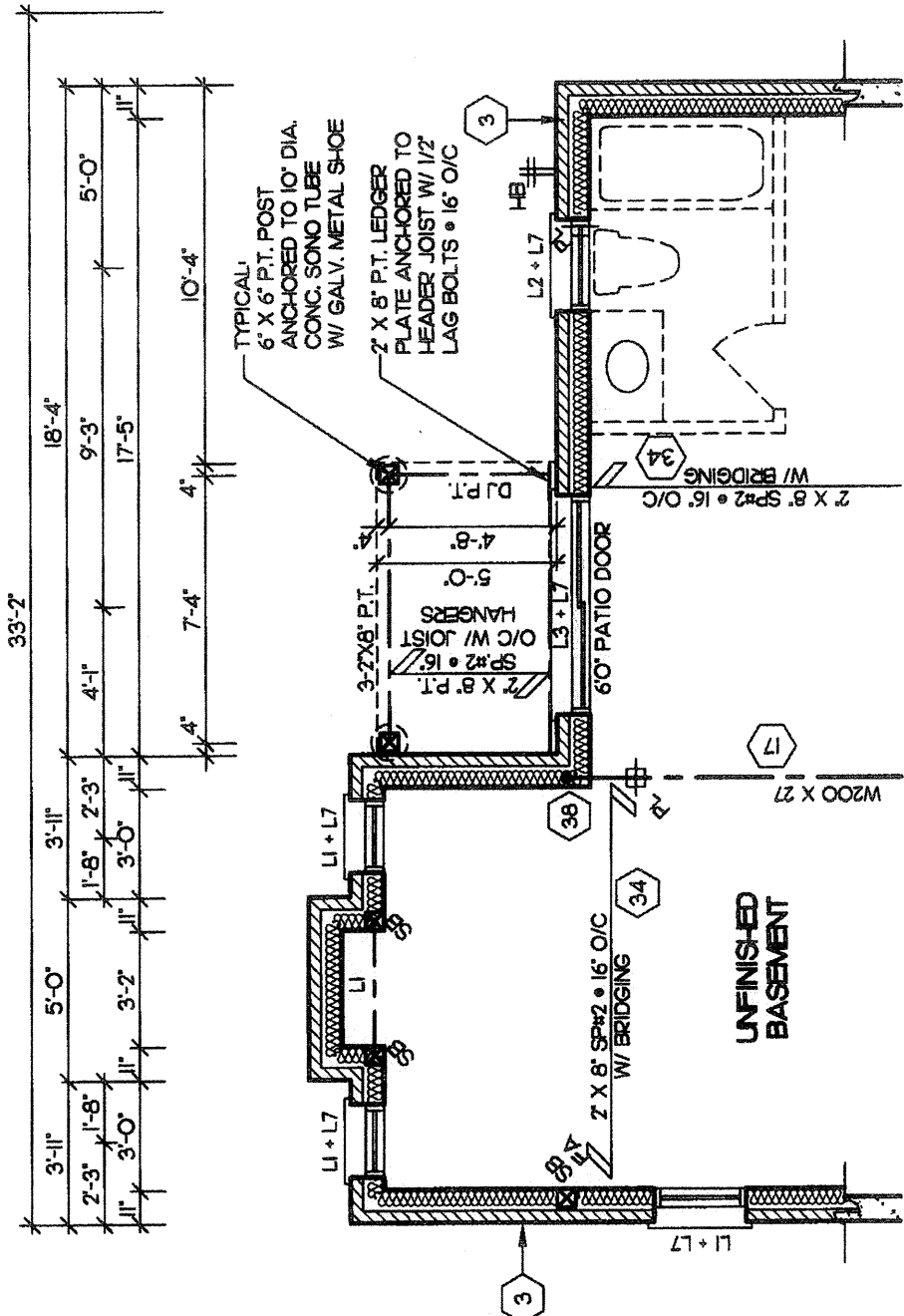
PROFESSIONAL ENGINEER APPROVAL
JUL 29 2014
M. L. W. CHOW
John G. Williams Limited Architect



PARTIAL SECOND FLOOR PLAN
FOR WALK-OUT BASEMENT CONDITION



PARTIAL GROUND FLOOR PLAN
FOR WALK-OUT BASEMENT CONDITION

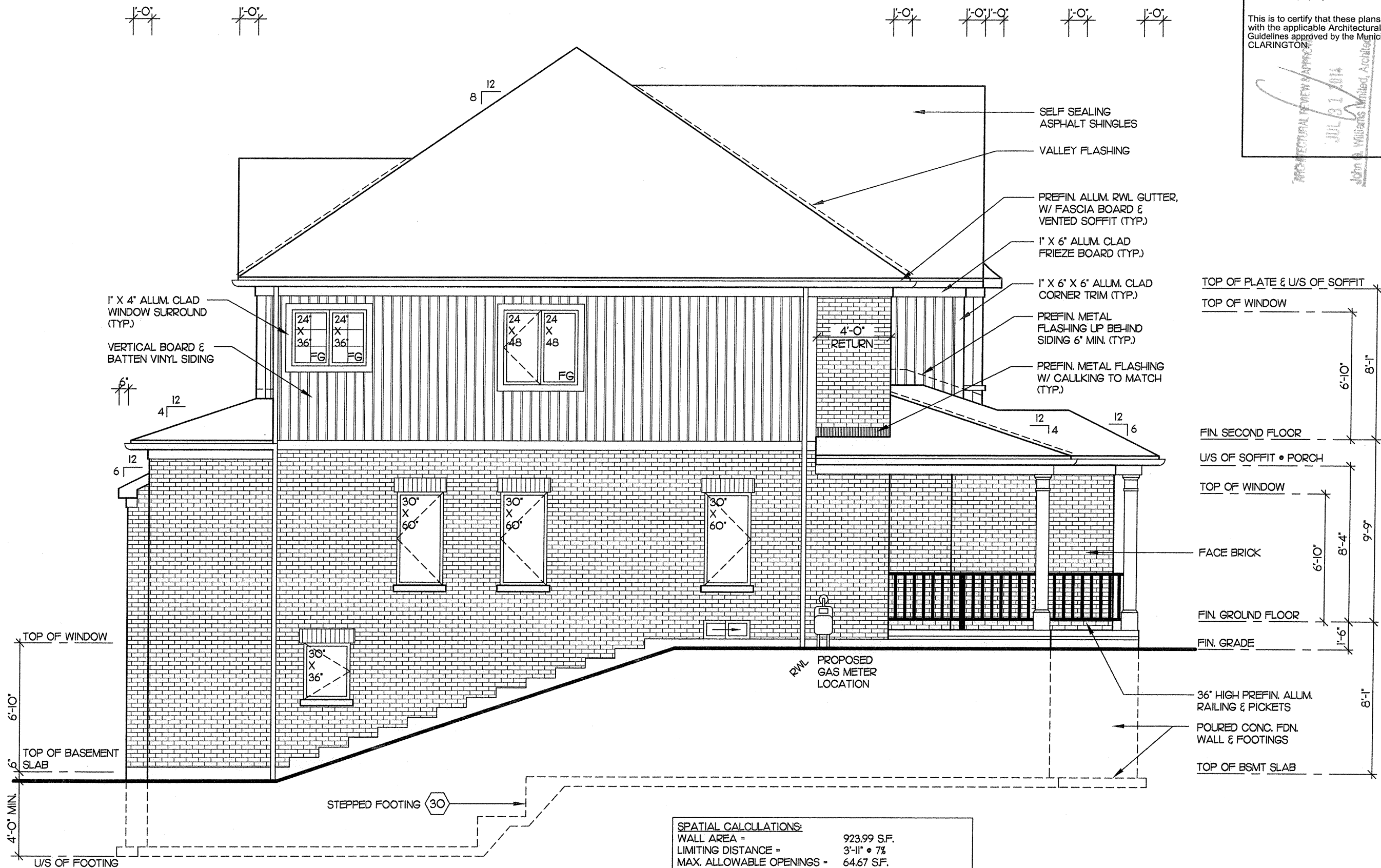


PARTIAL BASEMENT PLAN FOR
WALK-OUT BASEMENT CONDITION

JUL 29 2014
FOR STRUCTURAL ONLY
EXCLUDING ROOF
TRUSS DESIGNS
LICENSED PROFESSIONAL ENGINEER
M. L. W. CHOW
100153566
PROVINCE OF ONTARIO

NOTE:
REFER TO SHEETS 3, 4 & 5 FOR
INFORMATION NOT SHOWN

Client DEL PARK / HIGHCASTLE HOMES	Sheet Title PARTIAL FLOOR PLANS W/ WALK-OUT BASEMENT		REGISTERED PERSON D.W. CASSIDY & CO. ARCHITECTURAL TECHNOLOGISTS FIRM BCIN 28461		Project No. 2008-65	
	Scale 3/16" = 1'-0"	Drawn by KH	have STEPHEN P. KENNEDY		Drawing No. 5A OF 11	
Project NORTHGLENN MUNICIPALITY OF CLARINGTON UNIT 40-3 9'-0" CEILINGS	Date JULY 2014	Checked by TB	reviewed and take responsibility for this design. Signature <i>[Signature]</i>		60 RANDALL DRIVE SUITE 11 AJAX, ONTARIO L1S 6L3 PH (905) 619-1270 FAX (905) 619-1269	
	ELEVATION 'B'		BCIN 23411		Date: JUL 29 2014	



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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Municipality of CLARINGTON.

ARCHITECTURAL REVIEW MARK
JUL 31 2014
John A. Williams United Architect

Project No.	2008-65	Drawing No.	7A OF 11
CASSIDY & CO. ARCHITECTURAL TECHNOLOGISTS 60 RANDALL DRIVE SUITE 11 AJAX, ONTARIO L1S 6L3 PH (905) 619-1270 FAX (905) 619-1269			
REGISTERED PERSON:	D.W. CASSIDY & CO. ARCHITECTURAL TECHNOLOGISTS FIRM BCIN 28461		
have	I, STEPHEN P. KENNEDY reviewed and take responsibility for this design. Signature: <i>[Signature]</i> BCIN 23411 Date: JUL 29 2014		
Sheet Title	UPGRADED LEFT SIDE ELEVATION W/ WALK-OUT BASEMENT		
Scale	3/16" = 1'-0"	Drawn by	KH
Date	JULY 2014	Checked by	TB
Client	DELPAK/ HIGHCASTLE HOMES NORTHGLEN MUNICIPALITY OF CLARINGTON UNIT 40-3 9'-0" CEILING ELEVATION 'B'		
"THE NOTTINGHAM"			

