

PRE-Sales Selection Sheet
Checklist

1 of 7

LOT 190E-31 Model: 20-1606 B The Grassfield
PURCHASERS: WEIQI HUANG/
VENDOR: Heathwood Homes (Huron) Limited

- ☒ FINISHED BASEMENT
☐ COLD CELLAR

UPGRADED / MODIFIED ELEVATION

- ☐ CORNER UPGRADE
☐ REAR UPGRADE

CEILING UPGRADE - SMOOTH

- ☐ MAIN FLOOR
☐ SECOND FLOOR
☐ BASEMENT

ADDITIONAL ROUGH-INS

- ☐ 200 AMP SERVICE
☐ WET BAR ROUGH-IN
☐ HUMIDIFIER
☒ AIR CONDITIONING

GAS ROUGH-IN

- ☐ STOVE
☐ DRYER
☐ BBQ
☐ ADDITIONAL FIREPLACE

KITCHEN: HOODFAN VENTING SIZE

- ☐ 6 IN ROUND DUCT
☒ 7 IN ROUND DUCT

FULL BASEMENT STAIRS:

UPPER BASEMENT STAIRS:

LOWER BASEMENT STAIRS:

MAIN STAIRS:

MEDIA STAIRS (if applicable):

LOFT STAIRS (if applicable):

N/A
All Oak
Carpet Grade
All Oak
N/A
N/A

APRIL 14/20 Signature on Purchaser,

Date file by e-mail

April 14/20 mRosens Decor Consultant:

- APPROVED -

-04- 14 2020

mRosens

Date Purchaser: Date Heathwood Homes (Huron) Limited
Approved

Locked Date:



Sales Selection Sheet

Wallaceton

SCHEDULE 'E'

2 of 7

PURCHASER: WEIQI HUANG

TEL:

LOT / UNIT 190E-31	PHASE 1	MODEL 20-1606 B The Grassfield
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It is herein understood and agreed between the undersigned parties hereto that the following changes shall be made to the above mentioned Agreement of Purchase and Sale in accordance with the agreement and except for such changes noted below, all other terms and conditions in the Agreement of Purchase and Sale shall remain as stated herein: It is further understood that and agreed that all changes and additions shall be installed as per builder's specifications, location and available selections. The Purchaser hereby agrees to purchase the following extras:

APPLIANCES

1	FIVE APPLIANCES: SS FRIDGE, STOVE, DISHWASHER, WHITE FRONT LOAD WASHER/DRYER- TOWNHOMES	Qty: 1
21,529	Note:	

Sub Total
HST
Total

1. This Sales Selection Sheet when properly executed forms part of our Agreement of Purchase and Sale.
2. All extras and upgrades listed above are subject to Construction Progress and Architectural and Municipal requirements.
3. In the event the Vendor is unable to incorporate the work approved above in the construction of the house for any reason whatsoever, the Vendor will not be liable to the Purchaser in any way. The monies paid for any changes or optional extras not proceeded with shall be returned to the Purchaser, without interest. The cost of options or extras is non-refundable in all other circumstances. If for any reason whatsoever the Agreement of Purchase and Sale is not completed, the total cost of work approved above will be retained by the Vendor.
4. The Vendor reserves the right to substitute above materials and equipment with that of equal or better quality.
5. Purchaser acknowledges that items may not be exactly as shown. Variations from the Vendor's samples may occur in finished materials due to normal production processes. Vendor is not responsible for shade difference which may occur from different dye lots or wood grains. Variations from the Vendor's samples will occur with natural materials such as wood, marble, granite, hardwood and brick.
6. The Vendor reserves the right to select Grout & Thresholds that best suits the Tile selected.
7. Selections will not be processed unless signed by Heathwood Homes Head Office.
8. The selections made on this schedule are final and cannot be changed once submitted.
9. The Purchaser has checked and acknowledges the accuracy of this schedule.

Payment Summary	
Paid By	Amount
Total Payment:	

PURCHASER: Signature on file by WEIQI HUANG 01-Apr-20 DATE
MARILYN ROSEN 01-Apr-20 DATE
Decor Consultant
- APPROVED -
-04- 14 2020
m Rosen
Date Approved Heathwood Homes (Huron) Limited

TAX#:1

PREPARED BY: Marilyn Rosen

PE 259-1

Invoice.rpt 28may19



PRE - Sales Selection Sheet

Wallaceton

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PURCHASER: WEIQI HUANG

TEL:

LOT / UNIT 190E-31	PHASE 1	MODEL 20-1606 B The Grassfield
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Cabinetry

1 189,343	CABINETRY - 11A-UPPER ANGLE CORNER PER UNIT - UPGRADE 1	Qty: 1
21,210	Note: KITCHEN SEE SKETCH # 2 PAGE 6	

Electrical

2 189,449	ELECTRICAL - EXTRA WALL INTERIOR OUTLET ON EXISTING CIRCUIT (DOES NOT INCLUDE KITCHEN OUTLETS) Note: GREAT ROOM : TO BE INSTALLED ABOVE THE CENTRE OF THE FIRE PLACE APROX. 70" FROM FLOOR SEE SKETCH # 2 PAGE 6	Qty: 1
*3 189,450	ELECTRICAL - CEILING ROUGH-IN (CAPPED) TO BE INSTALLED IN KITCHEN CENTERED +/- ABOVE BREAKFAST BAR FOR FUTURE PENDANT LIGHTING- ON EXISTING KITCHEN LIGHT SWITCH Note: SEE SKETCH # 2 PAGE 6	Qty: 1
*4 189,450	ELECTRICAL - CEILING ROUGH-IN (CAPPED) TO BE INSTALLED IN CENTER +/- OF GREAT ROOM ON EXISTING SWITCH (DELETE STD SWITCHED PLUG)	Qty: 1
22,339	Note: SEE SKETCH # 2 PAGE 6	

Sub Total
HST
Total

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Payment Summary	Amount
Paid By	
Total Payment:	

TAX#:1

PREPARED BY: Irit Salem

PE 254-1

SInvoice.rpt 28may19

Initials: WJL



PRE - Sales Selection Sheet

Wallaceton

PURCHASER: WEIQI HUANG

LOT / UNIT
190E-31

PHASE
1

MODEL
20-1606 B The Grassfield

TEL:

PURCHASER:

Signature on file by
WEIQI HUANG

15-Apr-20
DATE

MARILYN ROSEN

Decor Consultant

15-Apr-20
DATE

- APPROVED -

-04- 15 2020

mrosen

Date Approved Heathwood Homes (Huron) Limited

TAX#:1

PREPARED BY: Irit Salem

PE 254-2

Slinvoice.rpt 28may19

UK-75 WALLACETON
LOT 190E-31
20-1606 ELEV B
THE GRASSFIELD

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Sketch # 1

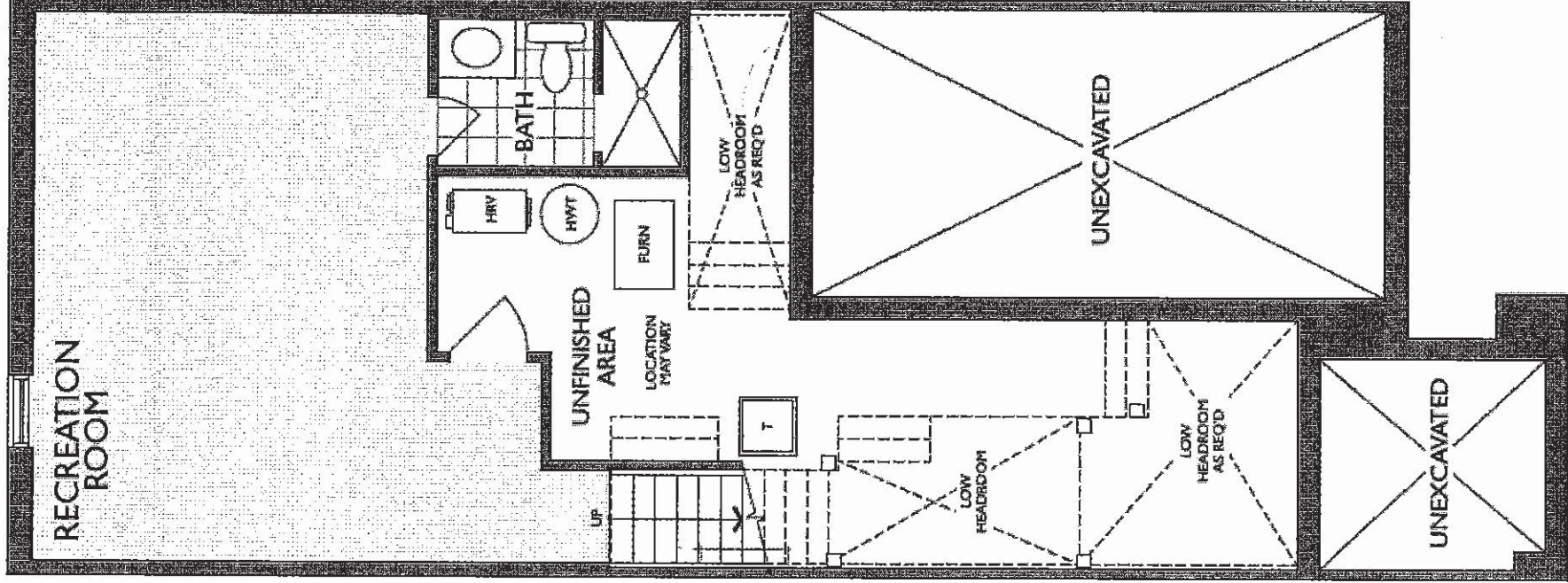
THE GRASSFIELD

ELEVATION B | 1,986 SQ. FT.

[Includes 380 square feet of finished lower level]

WALLACETON
EST. 1870

20-1606 ELEV. B



LOWER LEVEL
ELEVATION B

UK-75 WALLACETON
LOT 190E-31
20-1606 ELEV B
THE GRASSFIELD

20-1606 ELEV. B

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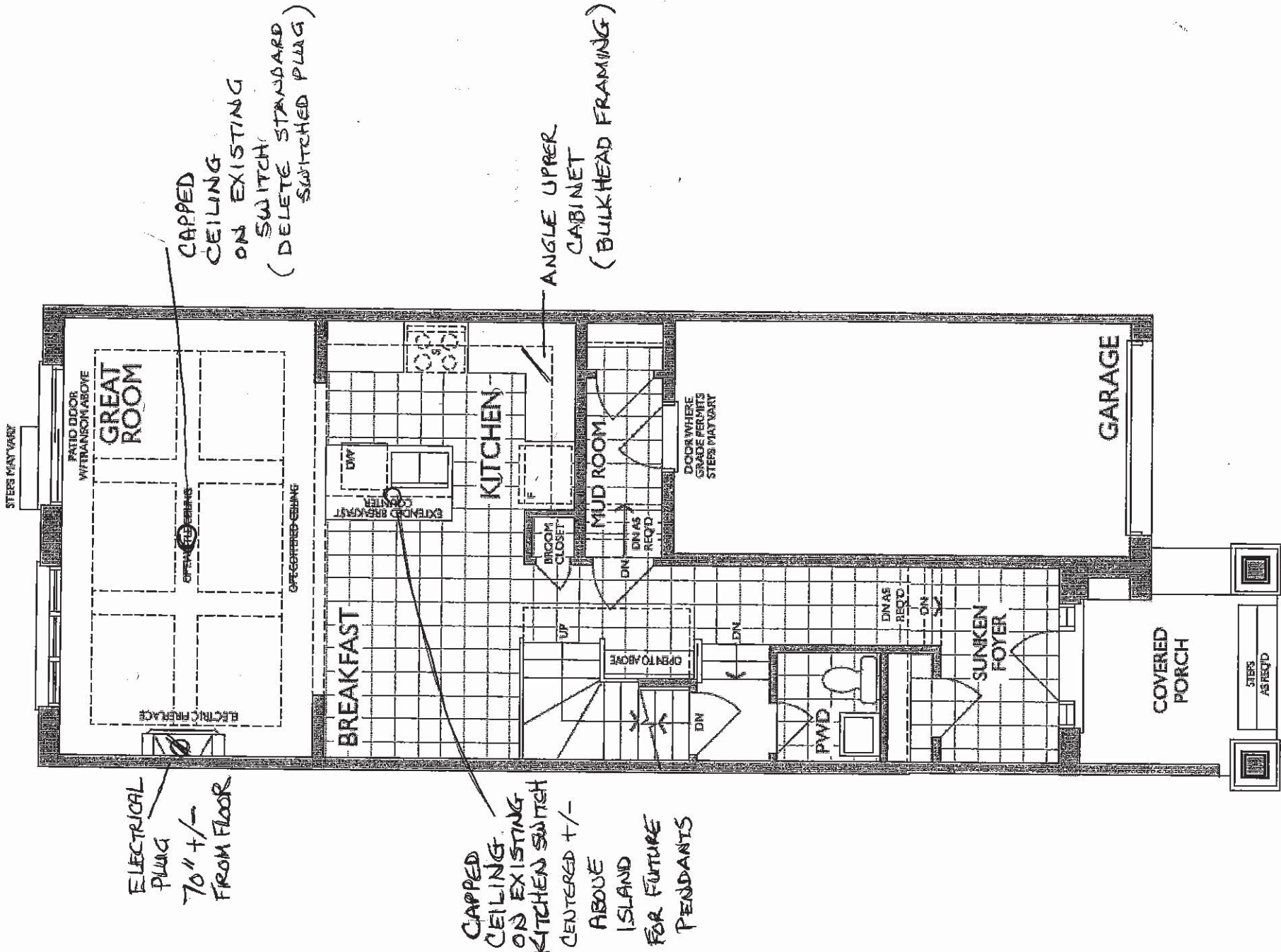
THE GRASSFIELD

Sketch # 2

ELEVATION : B | 1,986 SQ. FT.

Includes 380 square feet of finished lower level

WALLACETON
B.S.T. 1870



MAIN FLOOR
ELEVATION B

UK-75 WALLACETON
LOT 190E-31
20-1606 ELEV B
THE GRASSFIELD

20-1606 ELEV. B

Sketch # 3

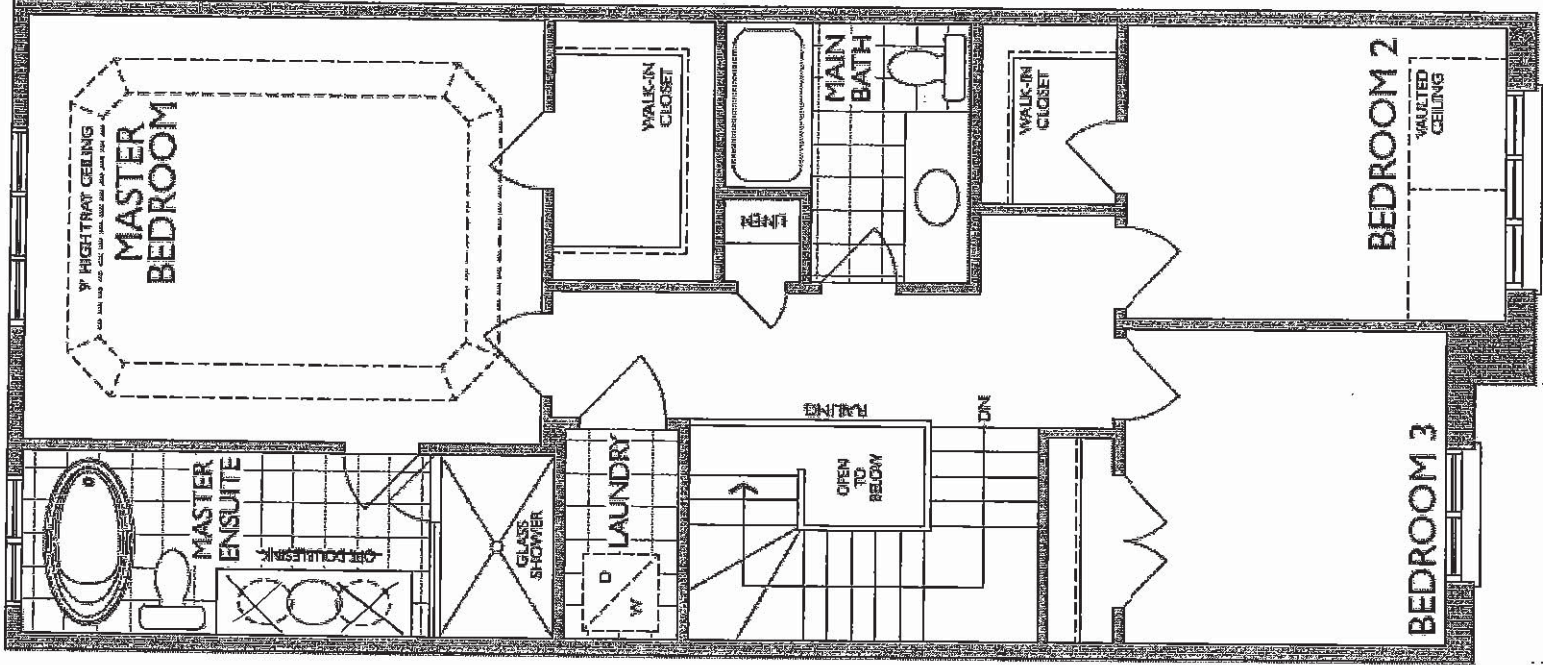
THE GRASSFIELD

ELEVATION B | 1,986 SQ. FT.

Includes 380 square feet of finished lower level

WALLACETON

EST. 1670



SECOND FLOOR
ELEVATION B