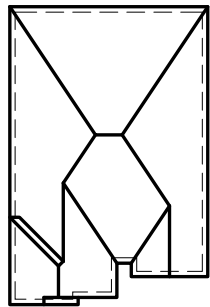


CELESTIAL 1

(MODEL 3187 S.F.)



ROOF PLAN

FRONT ELEVATION 2 LOT-2

AREA CALCULATIONS - EL.2

TOTAL GROUND FLOOR AREA	=	1452 SQ. FT.
TOTAL SECOND FLOOR AREA	=	1735 SQ. FT.
TOTAL GROSS FLOOR AREA	=	3187 SQ. FT.
		296.08 m ²
SUBTRACT OPEN AREAS	=	0 SQ. FT.
		0.00 m ²
TOTAL NET FLOOR AREA	=	3187 SQ. FT.
		296.08 m ²

SB-12 PRESCRIPTIVE ENERGY EFFICIENCY DESIGN MATRIX

PRESCRIPTIVE PACKAGE		GLASS/WALL AREA RATIO		
A1	ELEV. 1	WALL AREA	0.0 m²	
		GLASS AREA	0.0 m²	
		% GLASS	0.0 %	
	ELEV. 2	WALL AREA	392.6 m²	
		GLASS AREA	42.2 m²	
		% GLASS	10.7 %	
SPACE HEATING FUEL		ELEV. 3	WALL AREA	000.00 m²
■ GAS □ OIL	GLASS AREA		00.00 m²	
□ ELECTRIC □ PROPANE	% GLASS		0.00 %	
□ EARTH □ SOLID FUEL				
BUILDING COMPONENTS			PROPOSED (A1)	
INSULATION (RSI)				
CEILING W/ATTIC SPACE			10.57 (R60)	
CEILING W/O ATTIC SPACE			5.46 (R31)	
EXPOSED FLOOR			5.46 (R31)	
WALLS ABOVE GRADE			4.22 (R24)	
BASEMENT WALLS			3.52 (R20)	
BELOW GRADE SLAB ENTIRE SURFACE >600mm BELOW GRADE			-	
EDGE OF BELOW GRADE SLAB ≤600mm BELOW GRADE			1.76 (R10)	
HEATED SLAB ≤600mm BELOW GRADE			1.76 (R10)	
CONC. SLAB ≤600mm) BELOW GRADE			1.76 (R10)	
WINDOWS & DOORS (U-VALUE)				
WINDOWS/SLIDING GLASS DOORS (MAX. U-VALUE)			1.6 (0.28)	
SKYLIGHTS (MAX. U-VALUE)			2.8 (0.49)	
APPLIANCE EFFICIENCY				
SPACE HEATING EQPT. (MIN. AFUE %)			96%	
HRV EFFICIENCY (%) (MIN. SRE)			75%	
DHW HEATER (MIN. EF)			0.8	

TYPICAL BASEMENT FLOOR PLAN NOTES

ALL CONCRETE FOOTINGS SHALL REST ON UNDISTURBED SOIL WITH A MIN. ALLOWABLE BEARING CAPACITY OF 75Kpa (1500 PSF), AND BE FOUNDED A MIN. OF 4'-0" BELOW FINISHED GRADE.

CONCRETE STRENGTH FOR WALLS AND FOOTINGS SHALL BE A MINIMUM OF 15Mpa.

CONCRETE STRENGTH FOR GARAGE SLABS, CONC. PORCHES, AND STEPS SHALL BE A MINIMUM OF 32Mpa. WITH 5-8% AIR ENTRAINMENT.

CONCRETE STRIP FOOTING SIZE FOR 8' POURED CONC. WALLS SHALL BE A MINIMUM OF 6'x20" UNREINFORCED.

THE ABOVE FOOTING SIZE WILL BE USED FOR FOUNDATION WALLS WHICH SUPPORT 2 STOREYS OF BRICK VENEER WALL CONSTRUCTION, 2 FLOORS AND A ROOF OF LIGHT WOOD FRAME CONSTRUCTION, WITH THE SPAN OF SUPPORTED JOISTS THAT DO NOT EXCEED 4.9m (16'-1") AT A SPECIFIED LIVE LOAD OF NOT GREATER THAN 2.4 Kpa (50 PSF).

REFER TO BASEMENT PLAN FOR FOOTING SIZES IN AREAS EXCEEDING THE ABOVE CONDITIONS.

3/4" SUB-FLOOR TO BE GLUED & NAILED (TYP.)

REFER TO APPROVED FLOOR JOIST LAYOUT DRAWINGS, DETAILS AND SPECIFICATIONS FOR ALL FLOOR FRAMING AND DETAILS.

ALL JOISTS UNDER CERAMIC TILES TO BE INSTALLED AS PER JOIST MANUF. SHOP DWGS

CONC. PAD FOOTING LEGEND (75 KPa)

(UNLESS OTHERWISE SPECIFIED)

F1 = 42"x42"x18" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD
F3 = 34"x34"x14" CONCRETE PAD
F4 = 30"x30"x12" CONCRETE PAD
F5 = 24"x24"x12" CONCRETE PAD
F6 = 18"x18"x10" CONCRETE PAD
F7 = 16"x16"x8" CONCRETE PAD

BRICK VENEER LINTELS:

WL1 = 3 1/2" x 3 1/2" x 1/4" (90x90x6) + 2- 2" x 8" SPR. No. 2
WL2 = 4" x 3 1/2" x 5/16" (100x90x8) + 2- 2" x 8" SPR. No. 2
WL3 = 5" x 3 1/2" x 5/16" (125x90x8) + 2- 2" x 10" SPR. No. 2
WL4 = 6" x 3 1/2" x 3/8" (150x90x10) + 2- 2" x 12" SPR. No. 2
WL5 = 6" x 4" x 3/8" (150x100x10) + 2- 2" x 12" SPR. No. 2
WL6 = 5" x 3 1/2" x 5/16" (125x90x8) + 2- 2" x 12" SPR. No. 2
WL7 = 5" x 3 1/2" x 5/16" (125x90x8) + 3- 2" x 10" SPR. No. 2
WL8 = 5" x 3 1/2" x 5/16" (125x90x8) + 3- 2" x 12" SPR. No. 2
WL9 = 6" x 4" x 3/8" (150x100x10) + 3- 2" x 12" SPR. No. 2

DOOR SCHEDULE:

1 = 2'-10" x 6'-8" (865x2033) INSULATED ENTRANCE DOOR
1A = 2'-8" x 6'-8" (815x2033) INSULATED ENTRANCE DOOR
2 = 2'-8" x 6'-8" (815x2033) EXTERIOR WOOD & GLAZED DOOR
3 = 2'-8" x 6'-8" x 1 3/4" (815x2033x45) EXTERIOR SLAB DOOR
4 = 2'-8" x 6'-8" x 1 3/8" (815x2033x35) INTERIOR SLAB DOOR
5 = 2'-6" x 6'-8" x 1 3/8" (760x2033x35) INTERIOR SLAB DOOR
6 = 2'-2" x 6'-8" x 1 3/8" (660x2033x35) INTERIOR SLAB DOOR
7 = 1'-6" x 6'-8" x 1 3/8" (460x2033x35) INTERIOR SLAB DOOR

WOOD LINTELS:

WB1 = 2- 2" x 8" (2-38X184) SPR. No. 2
WB2 = 3- 2" x 8" (3-38x184) SPR. No. 2
WB3 = 2- 2" x 10" (2-38x235) SPR. No. 2
WB4 = 3- 2" x 10" (3-38x235) SPR. No. 2
WB5 = 2- 2" x 12" (2-38x286) SPR. No. 2
WB6 = 3- 2" x 12" (3-38x286) SPR. No. 2
WB7 = 5- 2" x 12" (5-38x286) SPR. No. 2
WB10 = 4- 2" x 8" (4-38x184) SPR. No. 2
WB11 = 4- 2" x 10" (4-38x235) SPR. No. 2
WB12 = 4- 2" x 12" (4-38x286) SPR. No. 2
LSL = TIMBERSTRAND BOARD

STEEL LINTELS:

L1 = 3 1/2" x 3 1/2" x 1/4" (90 x 90 x 6)
L2 = 4" x 3 1/2" x 5/16" (100 x 90 x 8)
L3 = 5" x 3 1/2" x 5/16" (125 x 90 x 8)
L4 = 6" x 3 1/2" x 3/8" (150 x 90 x 10)
L5 = 6" x 4" x 3/8" (150 x 100 x 10)
L6 = 7" x 4" x 3/8" (180 x 100 x 10)

LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A = 1-1 3/4" x 7" 1/4" (1-45x184)
LVL1 = 2-1 3/4" x 7" 1/4" (2-45x184)
LVL2 = 3-1 3/4" x 7" 1/4" (3-45x184)
LVL3 = 4-1 3/4" x 7" 1/4" (4-45x184)
LVL4A = 1-1 3/4" x 9" 1/2" (1-45x235)
LVL4 = 2-1 3/4" x 9" 1/2" (2-45x235)
LVL5 = 3-1 3/4" x 9" 1/2" (3-45x235)
LVL5A = 4-1 3/4" x 9" 1/2" (4-45x235)
LVL6A = 1-1 3/4" x 11" 7/8" (1-45x300)
LVL6 = 2-1 3/4" x 11" 7/8" (2-45x300)

NOTE: LVL BEAMS

ALL LVL BEAMS SUPPORTING FLOOR LOADS ARE TO BE SPECIFIED BY THE FLOOR TRUSS MANUFACTURER.

W Architect Inc.
DESIGN CONTROL REVIEW

FEB. 04, 2019

FINAL BY: MMI

This stamp is only for the purposes of design control and carries no other professional obligations.

STRUDET INC.



FOR STRUCTURE ONLY

3187

13.1m LOTS

CELESTIAL 1-02
ELEVATION 2
(GR)

PACKAGE 'A1'

O.REG. 332/12

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7		
6		
5	DEC. 21, 2018	ISSUED FOR BUILDING PERMIT
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3	JULY 26, 2018	ISSUED FOR STRUCTURAL REVIEW
2	MAY 22, 2018	ISSUED FOR FLOOR & ROOF TRUSSES
1	APR. 25, 2018	ISSUED TO CONTROL ARCHITECT FOR PRELIMINARY APPROVAL

No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR, SUITE 3A
VAUGHAN ONT, L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

Walter Botter  21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

jardin design group inc. 27763
FIRM NAME BCIN

TITLE SHEET

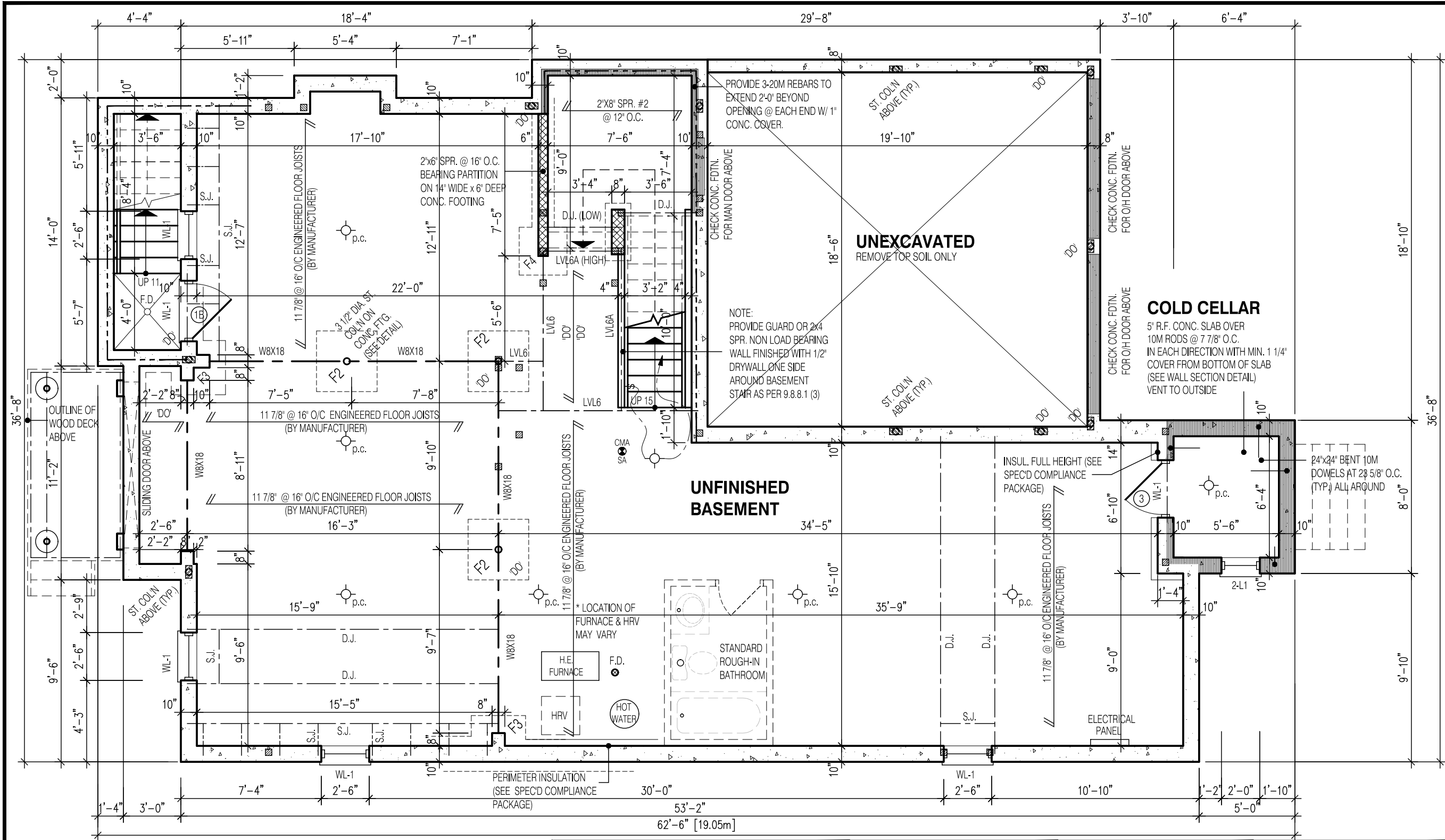
GRANELLI HOMES
BRAMPTON



MODEL: ---

SCALE: 3/16"=1'-0"

PROJ. No. 17-55 DWG. No. 0



3187

13.1m LOTS

CELESTIAL 1-02
ELEVATION 2
(GR)

PACKAGE 'A1'

O.REG. 332/12

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jardin design group inc. 27763
FIRM NAME BCIN

BASEMENT PLAN EL-2

GRANELLI HOMES
BRAMPTON

MODEL: ---
SCALE: 3/16"=1'-0"
PROJ. No. 17-55 DWG. No. 1A

NOTE:
FOR WALK-UP AND DECK
CONDITION, REFER TO PARTIAL
PLANS ON PAGE 3A-1

W Architect Inc.
DESIGN CONTROL REVIEW
FEB. 04, 2019
FINAL BY: MMI
This stamp is only for the purposes of design control and carries no other professional obligations.

NOTE:
FOR TYP. BASEMENT FLOOR PLAN NOTES, SIZES PERTAINING TO LAMINATED VENEER LUMBER (LVL) BEAMS, WOOD LINTELS, STEEL LINTELS, BRICK VENEER LINTELS, AND DOORS REFER TO SHEET 0

CONC. PAD FOOTING
LEGEND (75 KPa)
(UNLESS OTHERWISE SPECIFIED)
F1 = 42"x42"x18" CONCRETE PAD F5 = 24"x24"x12" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD F6 = 18"x18"x10" CONCRETE PAD
F3 = 34"x34"x14" CONCRETE PAD F7 = 16"x16"x8" CONCRETE PAD
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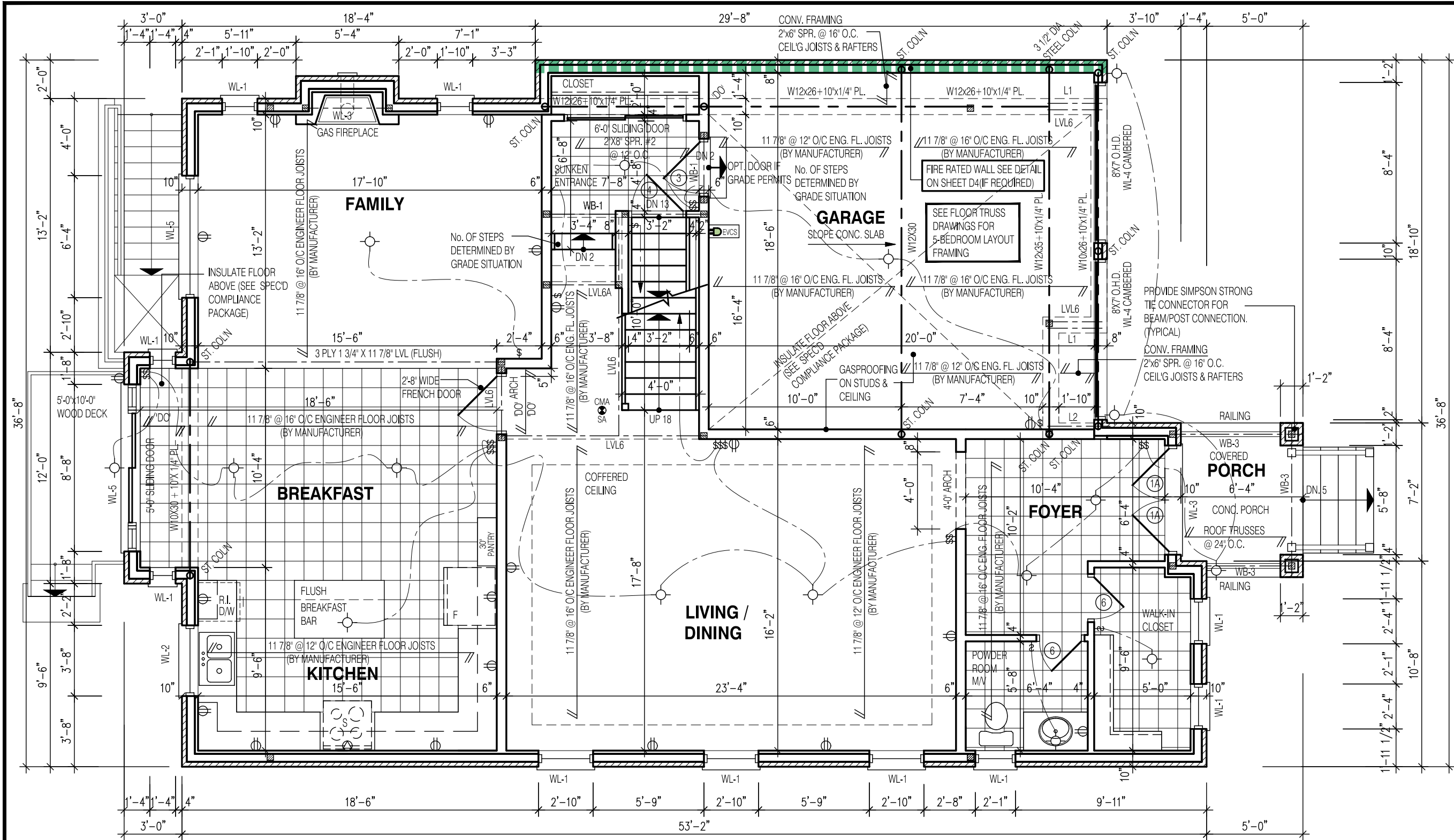
NOTE:
SUBFLOOR TO BE 3/4" PLYWOOD ON THIS LEVEL.
ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL

NOTE:
SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS LAYOUT BY MANUFACTURER.

LEGEND:
BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D)
INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
STL. PLATE FOR STEEL COL'N ABOVE LAMINATED VENEER LUMBER
S.J. SINGLE JOIST
D.J. DOUBLE JOIST
T.J. TRIPLE JOIST
REPEAT NOTE
SHOWER WEEPERS
ELECTRIC VEHICLE CHARGING SYSTEM

STRUDET INC.
REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
FOR STRUCTURE ONLY



NOTE:
FOR WALK-UP AND DECK
CONDITION, REFER TO PARTIAL
PLANS ON PAGE 3A-1

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NOTE:
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ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL

NOTE:
SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

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 - DOUBLE JOIST
 - TRIPLE JOIST
 - REPEAT NOTE
 - SHOWER WEEPERS
 - ELECTRIC VEHICLE CHARGING SYSTEM

STRUDET INC.

FOR STRUCTURE ONLY

3187

13.1m LOTS

CELESTIAL 1-02

ELEVATION 2

(GR)

PACKAGE 'A1'

O.REG. 332/12

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No: DATE: WORK DESCRIPTION:

jardin

DESIGN GROUP INC

64 JARDIN DR, SUITE 3A

VAUGHAN ONT, L4K 3P3

TEL: 905 660-3377 FAX: 905 660-3713

EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

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Walter Botter

21031

NAME SIGNATURE BCIN

REGISTRATION INFORMATION
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jardin design group inc.

27763

FIRM NAME BCIN

FIRST FLOOR PLAN EL-2

GRANELLI HOMES

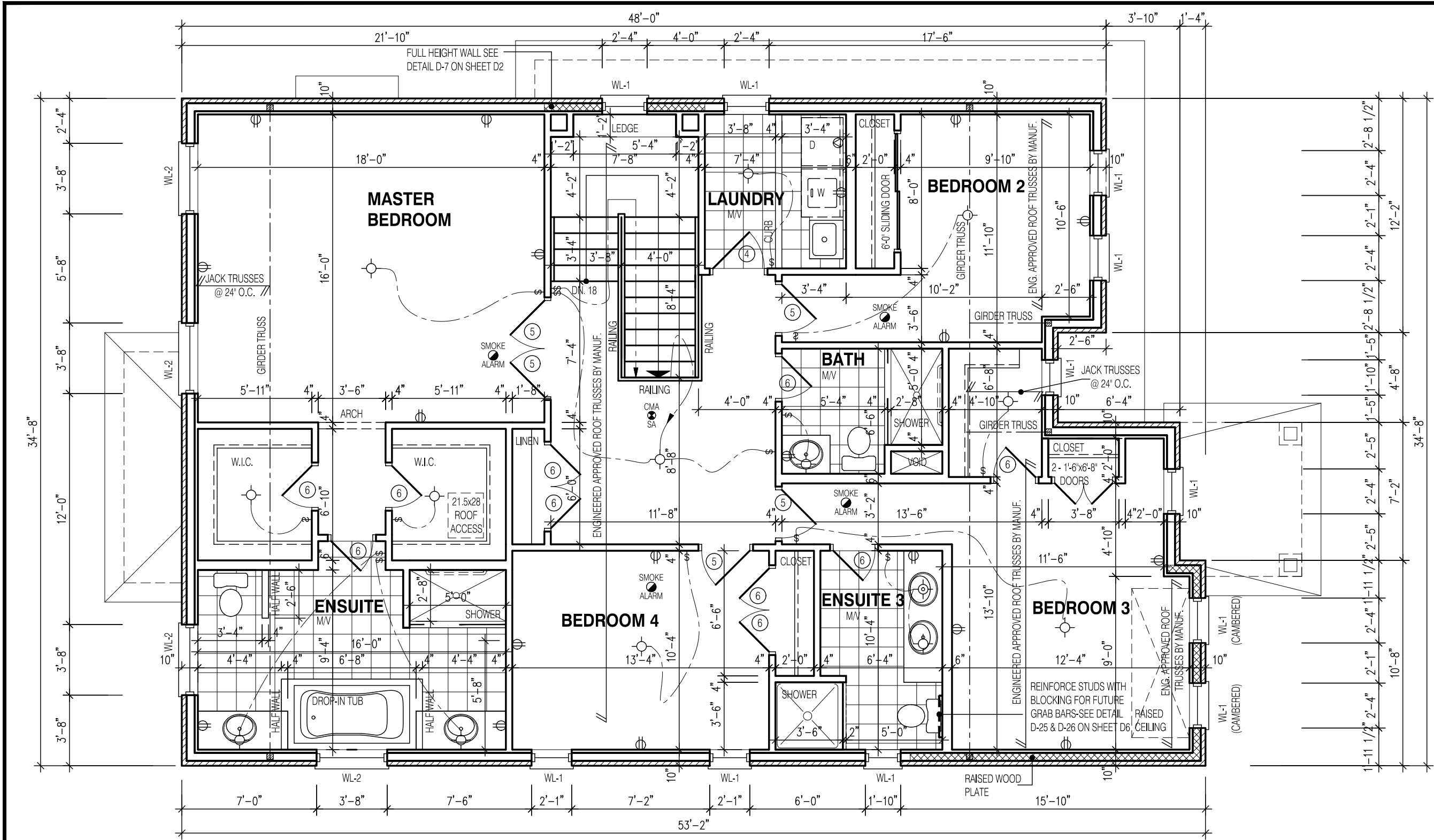
BRAMPTON

MODEL: ---

SCALE: 3/16"=1'-0"

PROJ. No. 17-55

DWG. No. 2A



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NOTE:

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED ROOF TRUSS DRAWINGS BY MANUFACTURER.

NOTE:

ALL CONVENTIONAL ROOF FRAMING TO CONFORM TO PART 9 OF THE OBC. ROOF RAFTERS THAT MEET OR CROSS OVER TRUSSES ARE TO BE 2"x4" SPF @ 24" O.C. WITH A 2"x4" SPF VERTICAL POST TO THE TRUSS UNDER, AT EACH CROSS POINT. POSTS LONGER THAN 6' TO BE Laterally Braced so that the distance between end points & between rows of bracing does not exceed 6'.

LEGEND:

- BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D)
- INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
- STL. PLATE FOR STEEL COL'N ABOVE
- LVL LAMINATED VENEER LUMBER
- S.J. SINGLE JOIST
- D.J. DOUBLE JOIST
- T.J. TRIPLE JOIST
- REPEAT NOTE
- SHOWER WEEPERS
- ELECTRIC VEHICLE CHARGING SYSTEM

STRUDET INC.



FOR STRUCTURE ONLY

3187

13.1m LOTS

CELESTIAL 1-02
ELEVATION 2
(GR)

PACKAGE 'A1'

O.REG. 332/12

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64 JARDIN DR. SUITE 3A
VAUGHAN ONT, L4K 3P3
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EMAIL: info@jardindesign.ca

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Walter Botter 21031
NAME SIGNATURE BCIN

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jardin design group inc. 27763
FIRM NAME BCIN

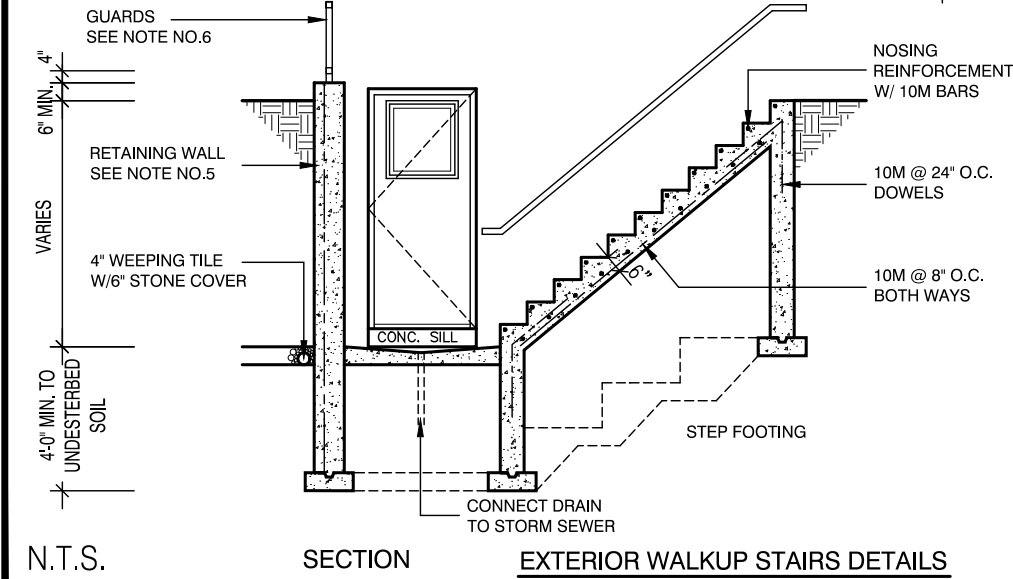
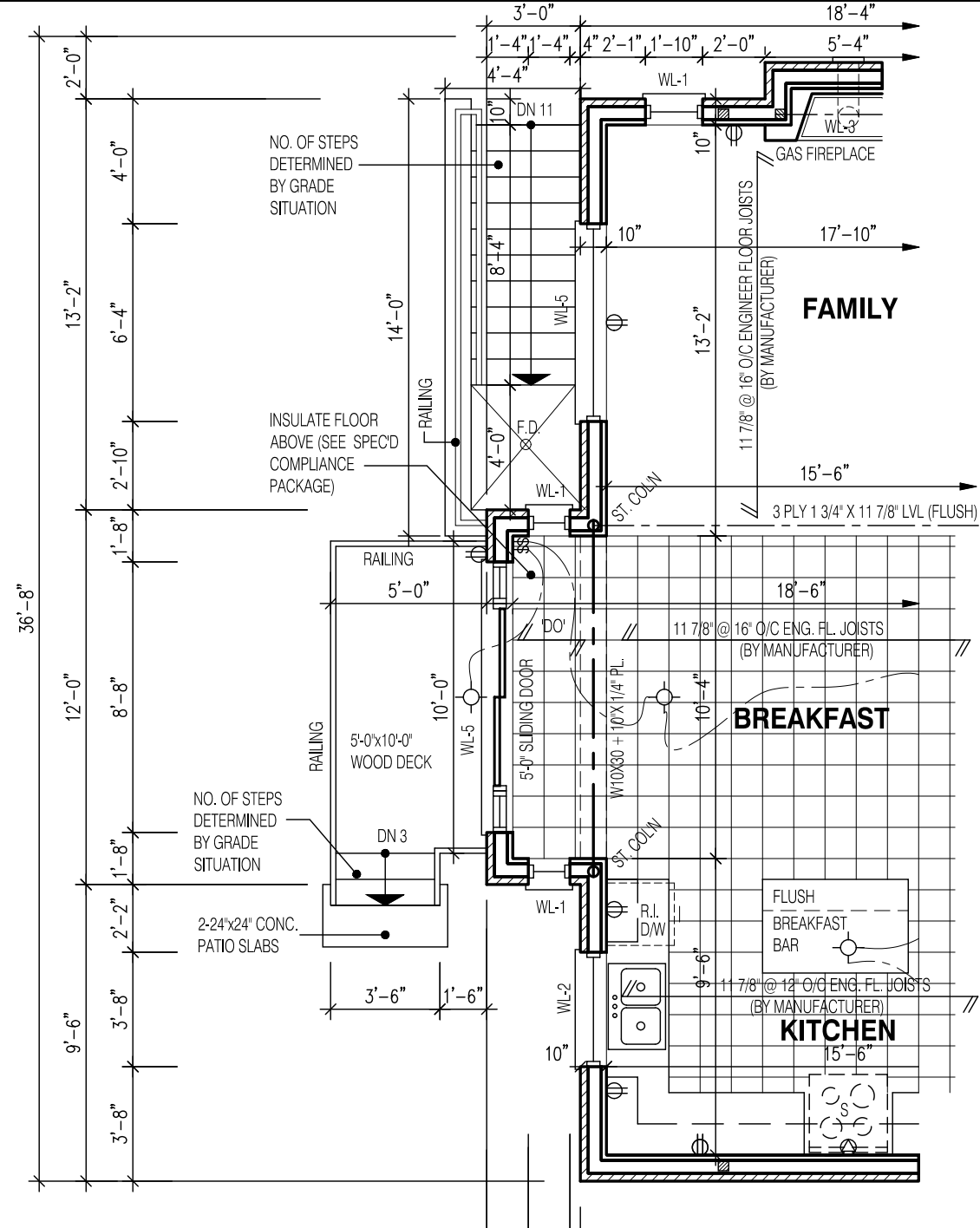
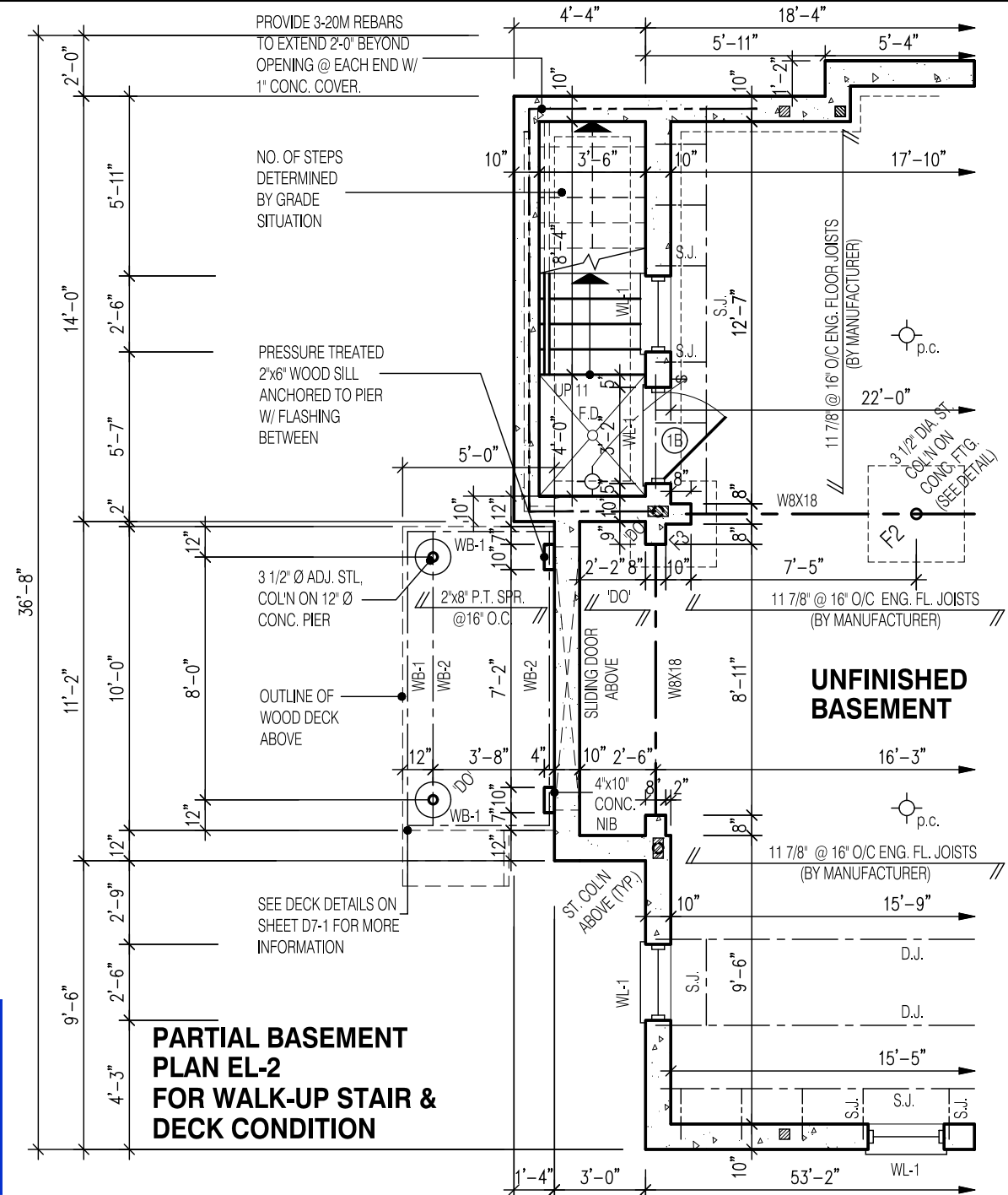
SECOND FL. PLAN EL-2

GRANELLI HOMES
BRAMPTON

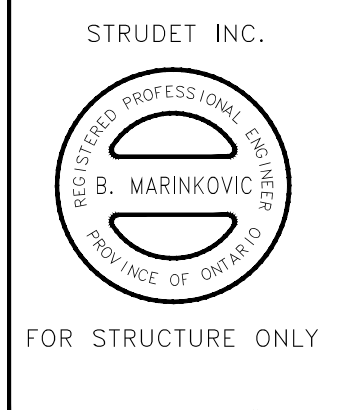


MODEL: ---
SCALE: 3/16" = 1'-0"
PROJ. No. 17-55 DWG. No. 3A

W Architect Inc.
DESIGN CONTROL REVIEW
FEB. 04, 2019
FINAL BY: MMI
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- GENERAL NOTES:
- FOOTING
24"x8" POURED CONC. FOOTING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED GRANULAR FILL.
 - CONCRETE
MINIMUM COMPRESSIVE STRENGTH OF 32 MPa (4650 psi) @ 28 DAYS W/ 5% TO 8% AIR ENTRAINMENT.
 - EXTERIOR STAIRS
7 7/8" RISE MAXIMUM
8 1/4" RUN MINIMUM
9 1/4" TREAD MINIMUM
 - INSULATION
FOR INSULATION VALUE & VAPOUR BARRIER LOCATION REFER TO NOTE 13 OF STANDARD NOTES.
 - RETAINING WALL
10" POURED CONCRETE W/ NO REINFORCING REQUIRED FOR WALL HEIGHTS TO A MAX. OF 4'-7". PROVIDE 15M VERTICAL REINFORCEMENT @ 16" O.C. AND 15M HORIZONTAL REINFORCEMENT @ 24" O.C. FOR WALL HEIGHTS TO 7'-0". RETAINING WALL TO RESIST LATERAL DESIGN LOADS AS PER OBC DIVISION B SECTION 4.1.5.16.
 - GUARDS
3'-6" HIGH WHERE DISTANCE FROM GRADE TO BOTTOM OF WALKOUT EXCEEDS 5'-11". 2'-11" FOR LESSER HEIGHTS. MAXIMUM 4" BETWEEN VERTICAL PICKETS.



NOTE:
RAILING REQUIRED WHEN GRADE IS MORE THAN 2'-0"

NOTE:
WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED

NOTE:
ACTUAL FINISH GRADES MAY VARY DEPENDING ON LOT CONDITIONS. (REFER TO GRADING PLANS)

3187

11.0m LOTS

CELESTIAL 1-02

ELEVATION 2

(GR)

PACKAGE 'A1'

O.REG. 332/12

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1	JULY 26, 2018	ISSUED FOR STRUCTURAL REVIEW

No: DATE: WORK DESCRIPTION:

jardin

DESIGN GROUP INC

64 JARDIN DR. SUITE 3A

VAUGHAN ONT. L4K 3P3

TEL: 905 660-3377 FAX: 905 660-3713

EMAIL: info@jardindesign.ca

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Walter Botter

NAME

21031

SIGNATURE

BCIN

REGISTRATION INFORMATION
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jardin design group inc.

FIRM NAME

27763

BCIN

WALK-UP & DECK CONDITION EL-2

GRANELLI HOMES

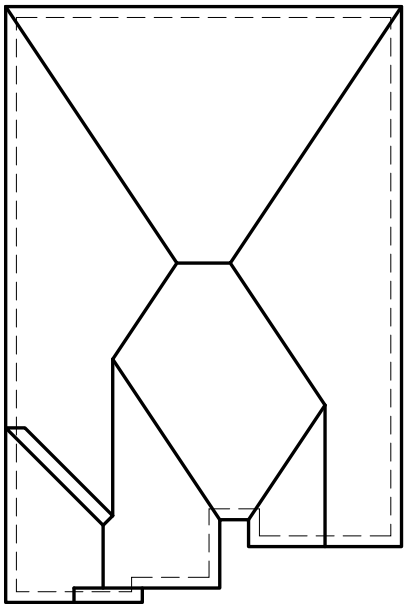
BRAMPTON

MODEL: ----

SCALE: 3/16"=1'-0"

PROJ. No. 17-55

DWG. No. 3A-1



ROOF PLAN

N.T.S.

FRONT ELEVATION 2
LOT-2

3187-ELEV.-2		ENERGY EFFICIENCY- SB12	
ELEVATION	WALL FT ²	OPENING FT ²	PERCENTAGE
FRONT	818.00	116.67	14.26 %
LEFT SIDE	1286.00	108.00	8.40 %
RIGHT SIDE	1277.00	42.88	3.36 %
REAR	845.00	187.00	22.13 %
TOTAL	4226.00	454.55	10.76 %

DRAWN BY: DRAWING NAME: —

3187
13.1m LOTS
CELESTIAL 1-02
ELEVATION 2
(GR)
PACKAGE 'A1'
O.REG. 332/12

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VAUGHAN ONT, L4K 3P3
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Walter Botter  21031
NAME SIGNATURE BCIN

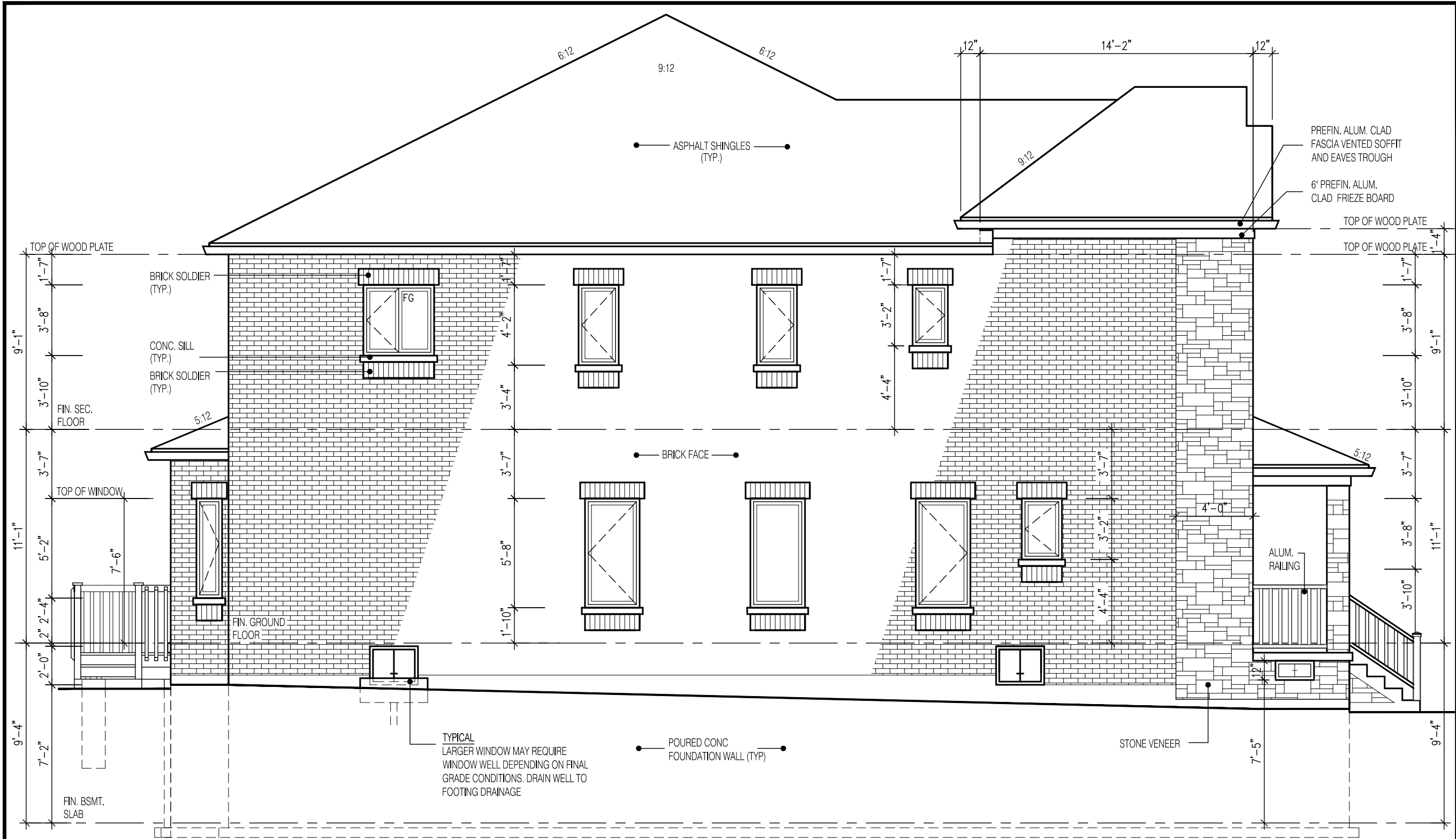
REGISTRATION INFORMATION
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jardin design group inc. 27763
FIRM NAME BCIN

FRONT ELEVATION 2
GRANELLI HOMES
BRAMPTON

	MODEL: ---	
	SCALE: 3/16" = 1'-0"	
	PROJ. No. 17-55	DWG. No. 4A

W Architect Inc.
DESIGN CONTROL REVIEW
FEB. 04, 2019
FINAL BY: MMI
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SIDE ELEVATION 2
LOT-2

UNPROTECTED OPENINGS

WALL AREA	1286.0	⌘
ALLOWABLE WINDOW AREA @ 7.0%(1.2m SIDEYARD)	90.0	⌘
ACTUAL GLAZED AREA	86.5	⌘

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3187
13.1m LOTS
CELESTIAL 1-02
ELEVATION 2
(GR)
PACKAGE 'A1'
O.REG. 332/12

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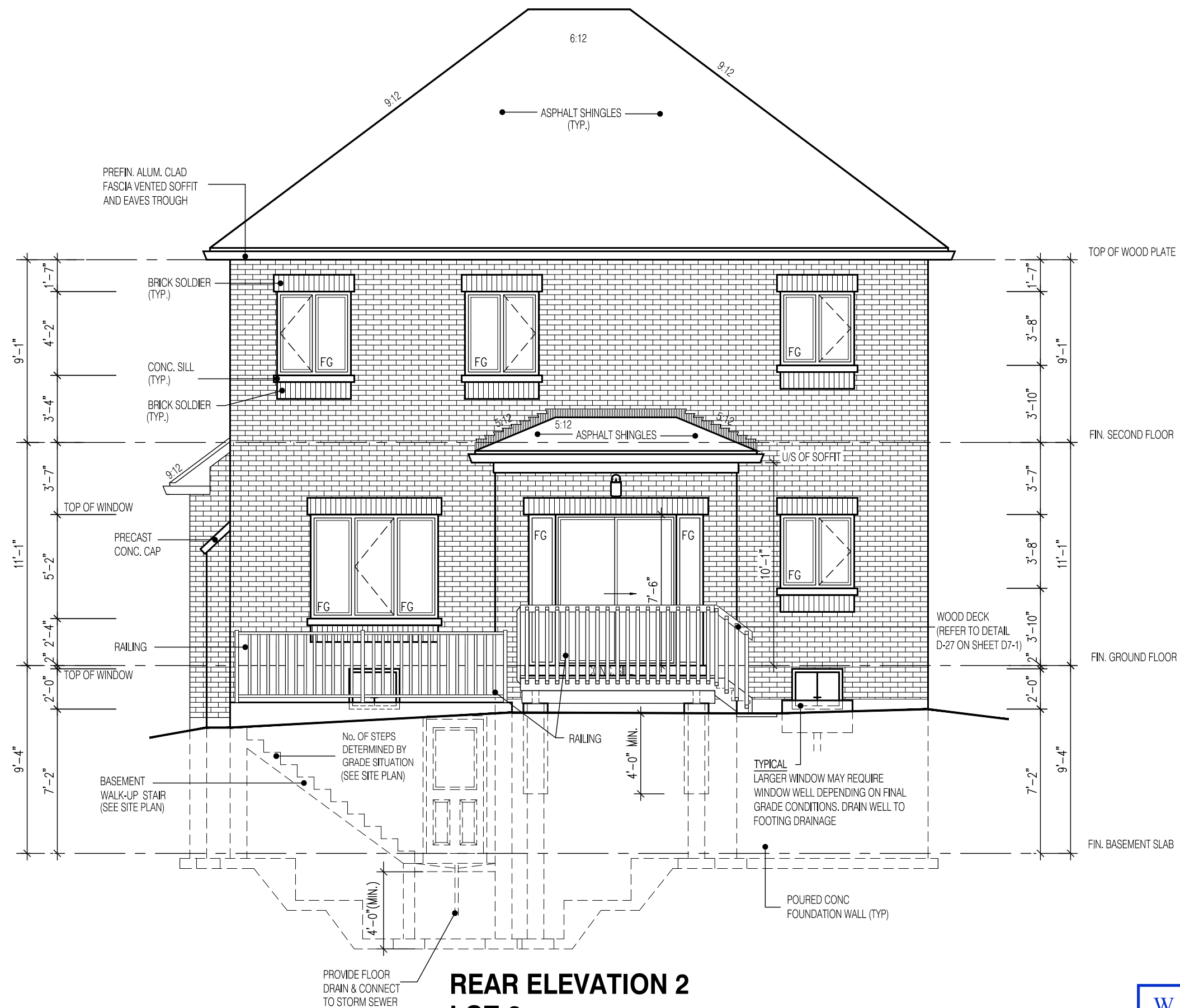
Walter Botter *WBe* 21031
NAME SIGNATURE BCIN

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jardin design group inc. 27763
FIRM NAME BCIN

SIDE ELEVATION 2
GRANELLI HOMES
BRAMPTON

 MODEL: ---
SCALE: 3/16" = 1'-0"
PROJ. No. 17-55 DWG. No. 5A



REAR ELEVATION 2
LOT-2
WALK-UP & DECK
CONDITION

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3187
13.1m LOTS
CELESTIAL 1-02 ELEVATION 2 (GR)
PACKAGE 'A1'
O.REG. 332/12

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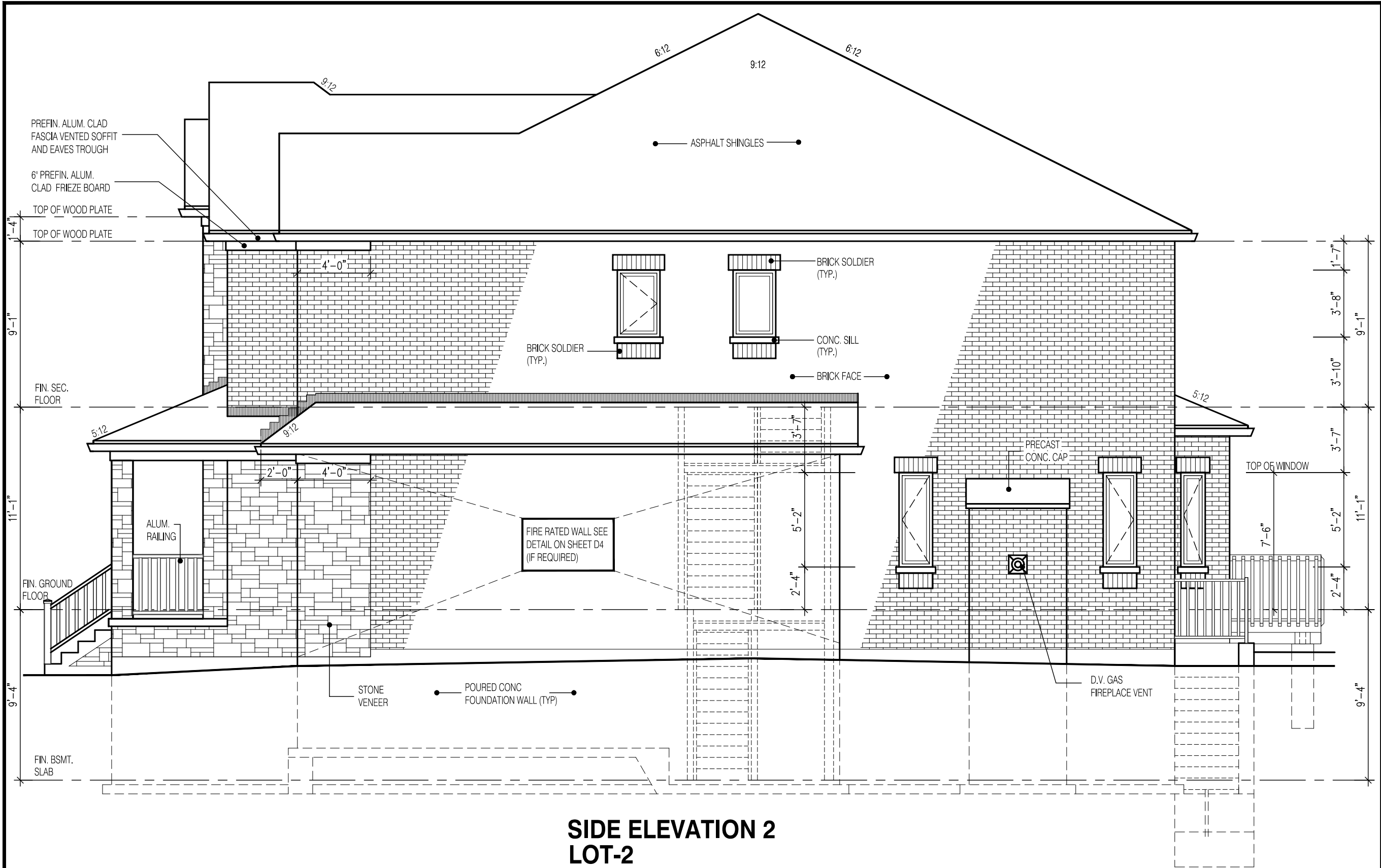
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jardin design group inc.	27763
FIRM NAME	BCIN

REAR ELEVATION -2

GRANELLI HOMES
BRAMPTON

 BILD®	MODEL: _____	
	SCALE: 3/16" = 1'-0"	
	PROJ. No. 17-55	DWG. No. 6A



**SIDE ELEVATION 2
LOT-2
UNPROTECTED OPENINGS**

WALL AREA	1277.0	⌘
ALLOWABLE WINDOW AREA @ 7.0%(1.2m SIDEYARD)	89.4	⌘
ACTUAL GLAZED AREA	32.6	⌘

W Architect Inc.
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3187
11.0m LOTS
CELESTIAL 1-02
ELEVATION 2
(GR)
PACKAGE 'A1'
O.REG. 332/12

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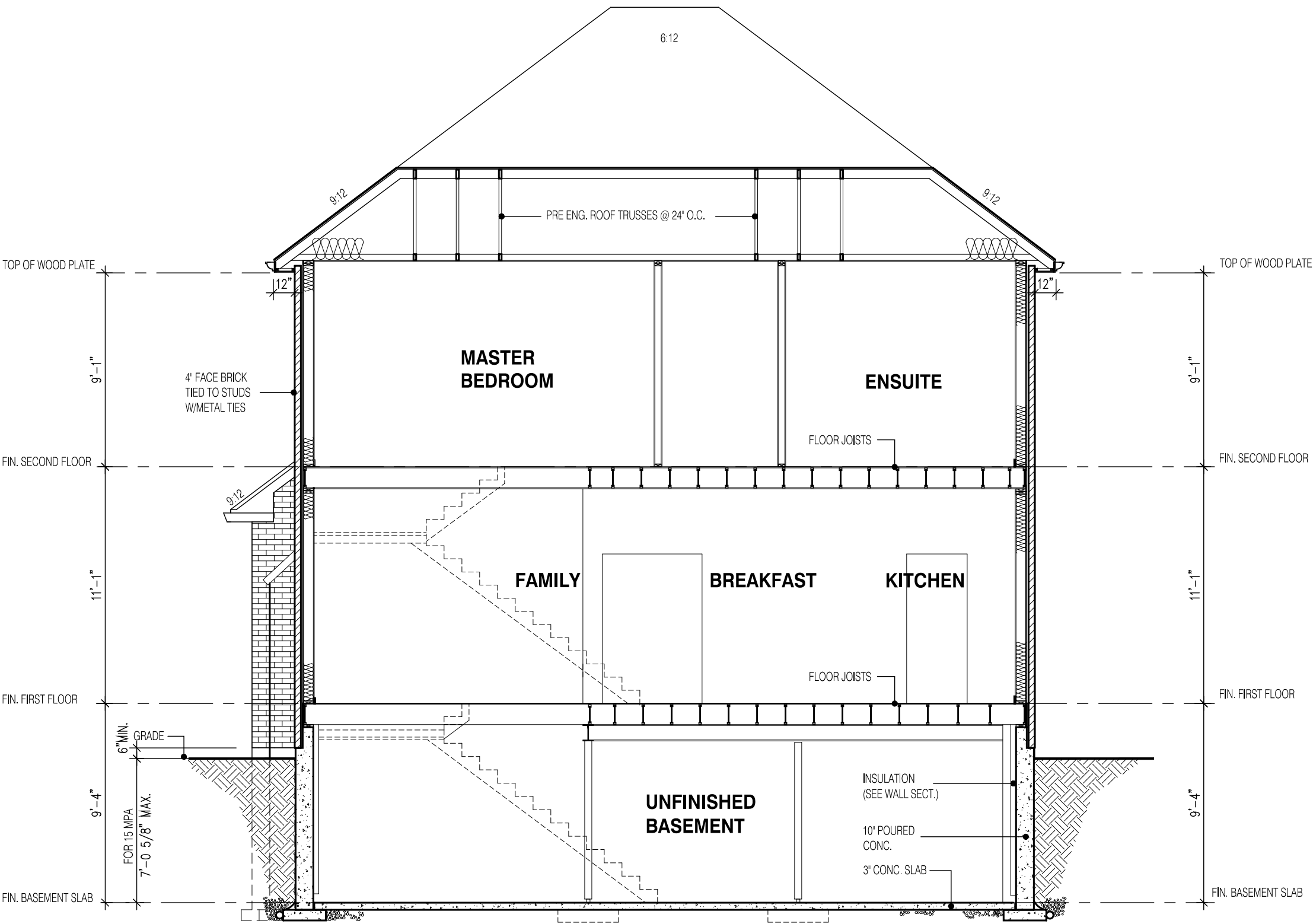
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NAME SIGNATURE BCIN

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jardin design group inc. 27763
FIRM NAME BCIN

SIDE ELEVATION 2
GRANELLI HOMES
BRAMPTON

BILD
MODEL: ---
SCALE: 3/16" = 1'-0"
PROJ. No. 17-55 DWG. No. 7A



SECTION A-A
ELEVATION 2

W Architect Inc.
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FEB. 04, 2019
FINAL BY: MMI
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STRUDET INC.



FOR STRUCTURE ONLY

3187
11.0m LOTS
CELESTIAL 1-02
ELEVATION 2
(GR)
PACKAGE 'A1'
O.REG. 332/12

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FIRM NAME BCIN

DECK CONDITION EL-2

GRANELLI HOMES
BRAMPTON

 MODEL: ---
SCALE: 3/16" = 1'-0"
PROJ. No. 17-55 DWG. No. 8A