

STORM CONNECTION

SANITARY CONNECTION

WATER CONNECTION

HYDRO CONNECTION

DOUBLE CATCH BASIN

CATCH BASIN

HYDRANT

VALVE AND CHAMBER

ENTRANCE DOOR LOCATION

GARAGE DOOR LOCATION

ENGINEERED FILL LOT

SANITARY MANHOLE

STORM MANHOLE

COMMUNITY MAILBOX

DOWNSPOUT LOCATION

SWALE DIRECTION

STREET LIGHT

TRANSFORMER

CABLE TV PEDESTAL

BELL PEDESTAL

HYDRO METER

GAS METER

AIR-CONDITIONING UNIT

SUMP PUMP

F.F.L.R.

T.WALL

F.SLAB

UFTG.

100.00

(100.00)

SW

×100.00

FINISHED FLOOR ELEVATION

TOP OF FOUNDATION WALL

FIN. BASEMENT FLOOR SLAB

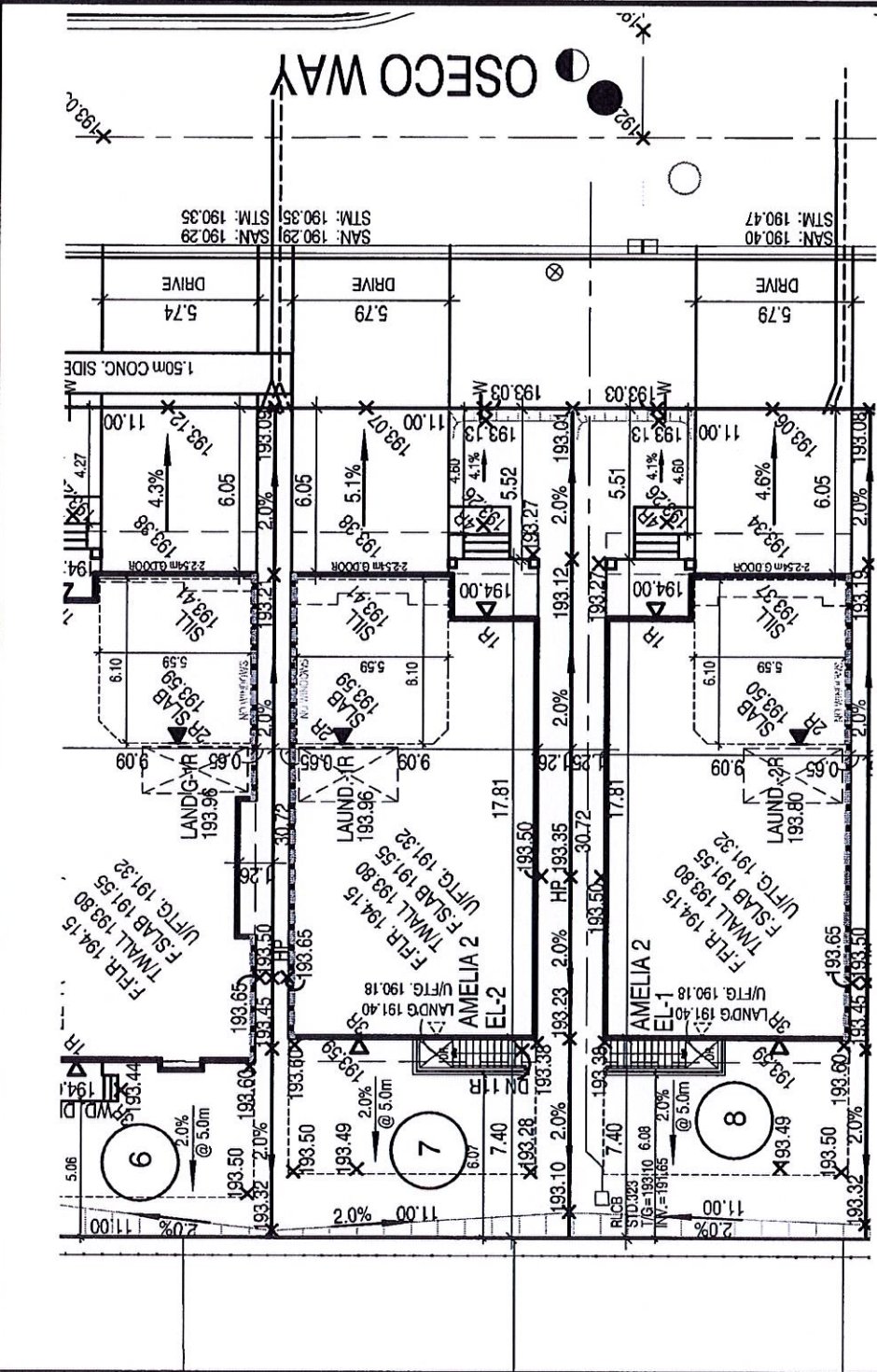
UNDERSIDE FOOTING ELEVATION

PROPOSED 3:1 SLOPE

PROPOSED GRADE

EXISTING GRADE

PROPOSED SWALE GRADE



SITE PLAN REVIEW

LOT NO. 7

REGISTERED PLAN 43M-2057

THE PROPOSED LOT GRADING AND DRAINAGE IS APPROVED AS BEING IN CONFORMITY WITH THE OVERALL APPROVED GRADING PLANS FOR THE SUBDIVISION.

THIS REVIEW DOES NOT WARRANT THAT OTHER INFORMATION SHOWN ON THIS DRAWING IS ACCURATE OR COMPLETE. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR DESIGN AND DETAILS SHALL REMAIN WITH THE DESIGNER.

NO COMMENT

COMMENTS AS NOTED

REVIEWED BY

DATE 09/01/2019

CDC CANDEVCON LIMITED

CONSULTING ENGINEERS AND PLANNERS

W Architect Inc.

DESIGN CONTROL REVIEW

JAN. 23, 2019

FINAL BY: MMI

This stamp is only for the purposes of design control and carries no other professional obligations.

圍欄牆：45 MINUTE RATED WALL
WITH SIDE YARD < 1.2m

BUILDING HEIGHT (FROM ESTABLISHED GRADE)	5
LOT No.	4
BUILDING HEIGHT (10.6 MAX.)	3
7	193.41
8.43m	
MIN. REQ'D LOT AREA (m²)	286.00
REAR YARD AREA (m²)	81.40
REAR YARD (%)	28.46

REVISIONS:

LOT No.	7
MIN. REQ'D LOT AREA (m²)	286.00
REAR YARD AREA (m²)	81.40
REAR YARD (%)	28.46

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 1.2.4 of the Building Code.

Waiver Botter
NAME
SIGNATURE
21037 BCIN
IN DESIGN INFORMATION
Required unless design is exempt under Division C, Subsection 1.2.4 of the Building Code.

GREENYORK HOMES

SCALE 1:250

5m 0m 10m

GRANELLI HOMES

PROJ. No. 17-55

MUNICIPAL ADDRESS

LOT No. 7

BILD

FIRM NAME

27763 BCIN

REG. PLAN

PLAN OF SUBDIVISION OF PART OF BLOCK 203, PLAN 43M-1677 AND PART OF BLOCK 111, PLAN 43M-1712 CITY OF BRAMPTON REGIONAL MUNICIPALITY OF PEE

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