

STRIP FOOTINGS -
FOR SINGLES & SEMIS UP TO 2 STOREY

8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS
20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.

FOUNDATION WALLS WITH ENGINEED JOISTS OVER 16' SPANS
24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.

FOOTINGS ON ENGINEERED FILL
24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING
BELOW EXTERIOR WALLS.
30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING
BELOW PARTY WALLS.
(REFER TO FOOTING DETAILS ON ENGINEERED FILL)

ASSUME THE LARGER FOOTING SIZE
WHEN TWO CONDITIONS APPLY

ASSUMED 120 KPa (18 p.s.i.) SOIL BEARING CAPACITY OR 90 KPa
ENGINEERED SOIL FILL, TO BE VERIFIED ON SITE.

PAD FOOTINGS

120 KPa NATIVE SOIL 90 KPa ENGINEERED FILL SOIL
F1 = 42"x42"x18" CONCRETE PAD F1 = 48"x48"x20" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD F2 = 40"x40"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD F3 = 34"x34"x14" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD
F5 = 16"x16"x8" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD
(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)

WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC.
FDTN. WALL IS REQUIRED.

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC.
FLAT WORK) TO BE 32 MPa WITH 5-8% AIR ENTRAINMENT

BRICK VENEER LINTELS

WL1 = 3'-1/2"x3'-1/2"x1/4" L (100x90x6.0L) + 2-2"x8" SPR. No.2
WL2 = 4"x3'-1/2"x5/16" L (100x90x8.0L) + 2-2"x8" SPR. No.2
WL3 = 5"x3'-1/2"x5/16" L (125x90x8.0L) + 2-2"x10" SPR. No.2
WL4 = 6"x3'-1/2"x3/8" L (150x90x10.0L) + 2-2"x12" SPR. No.2
WL5 = 6"x4"x3/8" L (150x100x10.0L) + 2-2"x12" SPR. No.2
WL6 = 5"x3'-1/2"x5/16" L (125x90x8.0L) + 2-2"x12" SPR. No.2
WL7 = 5"x3'-1/2"x5/16" L (125x90x8.0L) + 3-2"x10" SPR. No.2
WL8 = 5"x3'-1/2"x5/16" L (125x90x8.0L) + 3-2"x12" SPR. No.2
WL9 = 6"x4"x3/8" L (150x100x10.0L) + 3-2"x12" SPR. No.2

WOOD LINTELS AND BEAMS

WB1 = 2-2"x8" SPR. No.2 (2-38x184 SPR. No.2)
WB2 = 3-2"x8" SPR. No.2 (3-38x184 SPR. No.2)
WB3 = 2-2"x10" SPR. No.2 (2-38x235 SPR. No.2)
WB4 = 3-2"x10" SPR. No.2 (3-38x235 SPR. No.2)
WB5 = 2-2"x12" SPR. No.2 (2-38x286 SPR. No.2)
WB6 = 3-2"x12" SPR. No.2 (3-38x286 SPR. No.2)
WB7 = 5-2"x12" SPR. No.2 (5-38x286 SPR. No.2)
WB11 = 4-2"x10" SPR. No.2 (4-38x235 SPR. No.2)
WB12 = 4-2"x12" SPR. No.2 (4-38x286 SPR. No.2)

LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)
LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)
LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)
LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)
LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)
LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)
LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)
LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)
LVL6A = 1-1 3/4" x 11 7/8" (1-45x300)
LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)
LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)
LVL7A = 4-1 3/4" x 11 7/8" (4-45x300)
LVL8 = 2-1 3/4" x 14" (2-45x356)
LVL9 = 3-1 3/4" x 14" (3-45x356)
LVL10 = 2-1 3/4" x 18" (3-45x456)

LOOSE STEEL LINTELS

L1 = 3'-1/2"x3'-1/2"x1/4" L (100x90x6.0L)
L2 = 4"x3'-1/2"x5/16" L (100x90x8.0L)
L3 = 5"x3'-1/2"x5/16" L (125x90x8.0L)
L4 = 6"x3'-1/2"x3/8" L (150x90x10.0L)
L5 = 6"x4"x3/8" L (150x100x10.0L)
L6 = 7"x4"x3/8" L (175x100x10.0L)

DOOR SCHEDULE

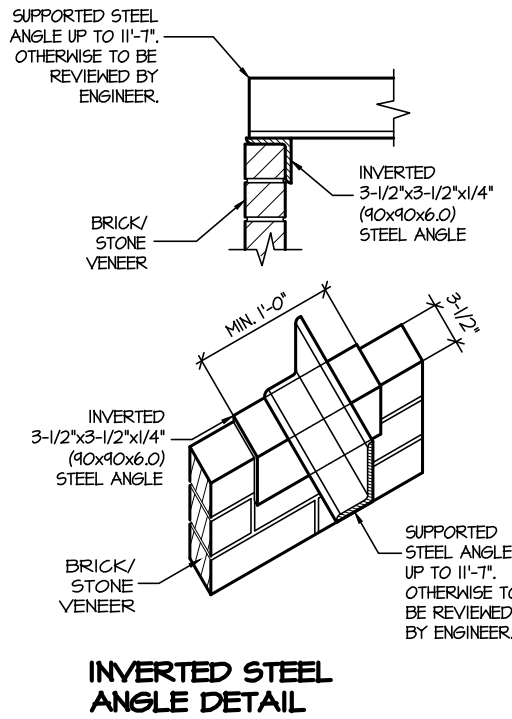
1 = 2'-10" x 6'-8" (865x2033) - INSULATED ENTRANCE DOOR
1a = 2'-8" x 6'-8" (815x2033) - INSULATED FRONT DOORS
2 = 2'-8" x 6'-8" (815x2033) - WOOD & GLASS DOOR
3 = 2'-8" x 6'-8" x 1-3/4" (815x2033x45) - EXTERIOR SLAB DOOR
4 = 2'-8" x 6'-8" x 1-3/8" (815x2033x35) - INTERIOR SLAB DOOR
5 = 2'-6" x 6'-8" x 1-3/8" (760x2033x35) - INTERIOR SLAB DOOR
6 = 2'-2" x 6'-8" x 1-3/8" (660x2033x35) - INTERIOR SLAB DOOR
7 = 1'-6" x 6'-8" x 1-3/8" (460x2033x35) - INTERIOR SLAB DOOR

SPACE CONVENTIONAL FLOOR JOISTS @ 12"
O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF
5'-7'; 2 ROWS FOR SPANS GREATER THAN 7'

REFER TO ROOF TRUSS SHOP DRAWINGS FOR
ALL ROOF FRAMING INFORMATION

PLANS NOT DRAWN TO ACTUAL GRADE. REFER
TO FINISH GRADING PLAN.

REFER TO FLOOR FRAMING SHOP DRAWINGS
FOR ENGINEERED FRAMING LAYOUTS



THE MINIMUM THERMAL PERFORMANCE OF BUILDING
ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE
FOLLOWING

COMPLIANCE PACKAGE "A1"

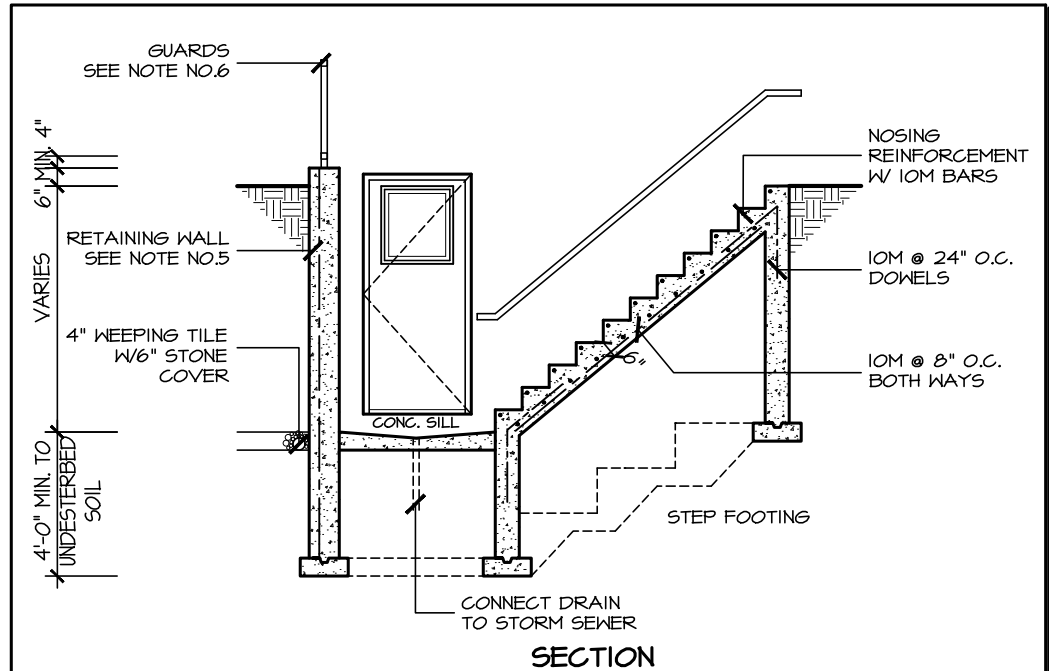
COMPONENT	NOTE
CEILING WITH ATTIC SPACE MINIMUM RSI (R) VALUE	10.51 (R60)
CEILING WITHOUT ATTIC SPACE MINIMUM RSI (R) VALUE	5.46 (R31)
EXPOSE FLOOR MINIMUM RSI (R) VALUE	5.46 (R31)
WALLS ABOVE GRADE MINIMUM RSI (R) VALUE	3.87 (R22)
BASEMENT WALLS MINIMUM RSI (R) VALUE	3.52 (R20 RIGID)
HEATED SLAB OR SLAB ≤ 600mm BELOW GRADE MINIMUM RSI (R) VALUE	1.76 (R10)
WINDOWS & SLIDING GLASS DOORS MAXIMUM U-VALUE	ENERGY RATING = 25, MAX. U=0.28
SPACE HEATING EQUIPMENT MINIMUM AFUE	96%
HRV MINIMUM EFFICIENCY	75%
HOT WATER TANK	MIN. EF 0.80

AUBURN 7 - ELEV. I

ELEVATION	WALL FT²	(WALL M²)	OPENING FT²	(OPENING M²)	PERCENTAGE
FRONT	818.77	(81.64)	138.45	(12.86)	15.75 %
LEFT SIDE	1163.23	(108.07)	57.15	(5.31)	4.91 %
RIGHT SIDE	1192.01	(110.74)	41.00	(3.81)	3.44 %
REAR	841.00	(78.13)	162.75	(15.12)	19.35 %
TOTAL	4015.01 FT²	(373.58 M²)	399.35 FT²	(37.10 M²)	9.90 %

AREA CALCULATIONS

		ELEV. I	
GROUND FLOOR AREA		=	1486 Sq. Ft.
SECOND FLOOR AREA		=	1774 Sq. Ft.
TOTAL FLOOR AREA		=	3260 Sq. Ft.
		=	302.86 Sq. M.
1st FLOOR OPEN AREA	=	0	Sq. Ft.
2nd FLOOR OPEN AREA	=	0	Sq. Ft.
ADD TOTAL OPEN AREAS	=	0	Sq. Ft.
ADD FIN. BASEMENT AREA	=	75	Sq. Ft.
GROSS FLOOR AREA	=	3335	Sq. Ft.
	=	309.83	Sq. M.
GROUND FLOOR COVERAGE	=	1486	Sq. Ft.
GARAGE COVERAGE / AREA	=	393	Sq. Ft.
PORCH COVERAGE / AREA	=	70	Sq. Ft.
TOTAL COVERAGE W/ PORCH	=	1949	Sq. Ft.
	=	181.07	Sq. m.
TOTAL COVERAGE W/O PORCH	=	1879	Sq. Ft.
	=	174.56	Sq. m.



GENERAL NOTES:

- FOOTING
24"x8" POURED CONC. FOOTING. ALL FOOTINGS SHALL REST ON
NATURAL UNDISTURBED SOIL OR COMPACTED GRANULAR FILL.
- CONCRETE
MINIMUM COMPRESSIVE STRENGTH OF 32 MPa (4650 psi) @ 28
DAYS W/ 5% TO 8% AIR ENTRAINMENT.
- EXTERIOR STAIRS
7 7/8" RISE MAXIMUM
8 1/4" RUN MINIMUM
9 1/4" TREAD MINIMUM
- INSULATION
FOR INSULATION VALUE & VAPOUR BARRIER LOCATION REFER TO
NOTE 13 OF STANDARD NOTES.
- RETAINING WALL
10" POURED CONCRETE W/ NO REINFORCING REQUIRED FOR WALL
HEIGHTS TO A MAX. OF 4'-7". PROVIDE 15M VERTICAL
REINFORCEMENT @ 16" O.C. AND 15M HORIZONTAL REINFORCEMENT
@ 24" O.C. FOR WALL HEIGHTS FROM 4'-8" TO 7'-0".
15M HORIZONTAL & VERTICAL REINFORCEMENT @ 12" O.C. EACH
FACE FOR WALL HEIGHTS FROM 7'-0" TO 9'-0".
RETAINING WALL TO RESIST LATERAL DESIGN LOADS AS PER
OBC DIVISION B SECTION 4.1.5.16.
- GUARDS
3'-6" HIGH WHERE DISTANCE FROM GRADE TO BOTTOM OF
WALKOUT EXCEEDS 5'-11"; 2'-11" FOR LESSER HEIGHTS. MAXIMUM 4"
BETWEEN VERTICAL PICKETS.

DI - EXTERIOR WALKUP STAIRS DETAILS

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house can be properly built or located on its lot.

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with the applicable Architectural Design
Guidelines approved by the City of
BRAMPTON.

STRUDET INC.



FOR STRUCTURE ONLY

AUBURN 7

COMPLIANCE PACKAGE 'A1'

5.		
4.		
3.		
2.	REDUCED FINISHED BASEMENT AREA	JULY 2017
1.	REVISED AUBURN 7 FROM RIMINI	MAR 2017
REVISIONS		

The undersigned has reviewed and takes responsibility for this
design, and has the qualifications and meets the requirements set
out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

NICOLA LOMBARDO 28679
NAME SIGNATURE BCIN

REGION DESIGN INC.
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REGION
DESIGN
INC.

SHEET TITLE

GENERAL
NOTES & CHARTS

SCALE

3/16"=1'-0"

DATE

JULY 2017

BY

ZMP

TYPE

CONTRACTOR SHALL CHECK ALL
DIMENSIONS AND ELEVATIONS BEFORE
COMMENCING WITH WORK AND REPORT
ANY DISCREPANCIES TO THE DESIGNER.
PRINTS ARE NOT TO BE SCALED.

AREA

3335

PROJECT NO.

05-11-04

PAGE No.

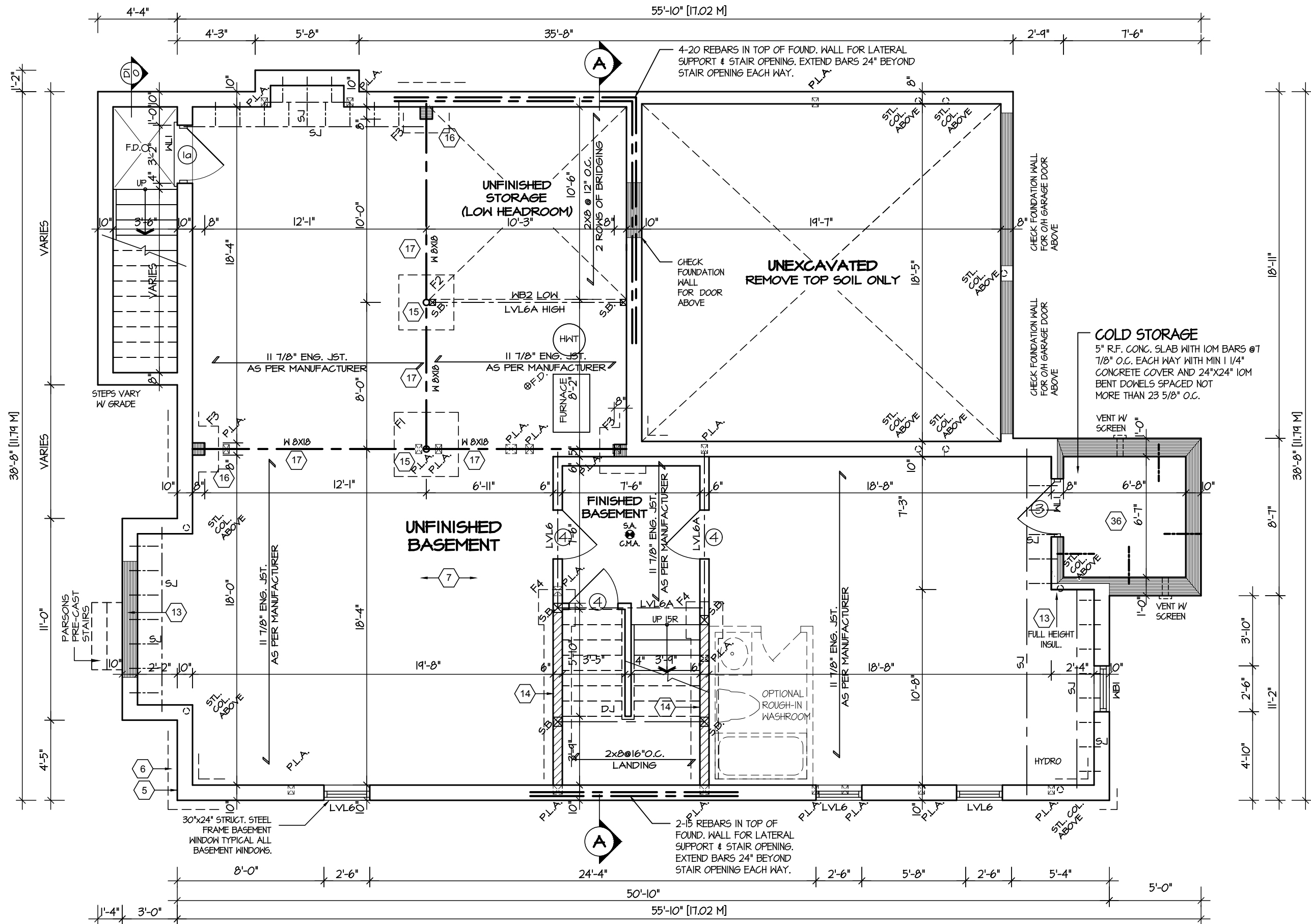
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GREENYORK
HOMES

PROJECT NAME:

OSTIENSE CONSTRUCTION CORP.



BASEMENT PLAN I

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REFER TO SHEET NO. 0 FOR LINTEL, BEAMS AND DOOR SIZES

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

REFER TO FLOOR FRAMING SHOP DRAWINGS FOR ENGINEERED FRAMING LAYOUTS

ALL SUBFLOORS TO BE 3/4" PLYWOOD AND TO BE GLUED AND NAILED ON THIS FLOOR.

5.		
4.		
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NAME	SIGNATURE	BCIN

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SHEET TITLE			
BASEMENT PLAN 1			
SCALE	3/16"=1'-0"	BY	ZMP
DATE	JULY 2017	TYPE	

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AREA	3335	PAGE No.	1
PROJECT NO.	05-11-04		

PROJECT NAME:		OSTIENSE CONSTRUCTION CORP.	
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STRUDET INC.

REGISTERED PROFESSIONAL ENGINEER

B. MARINKOVIC

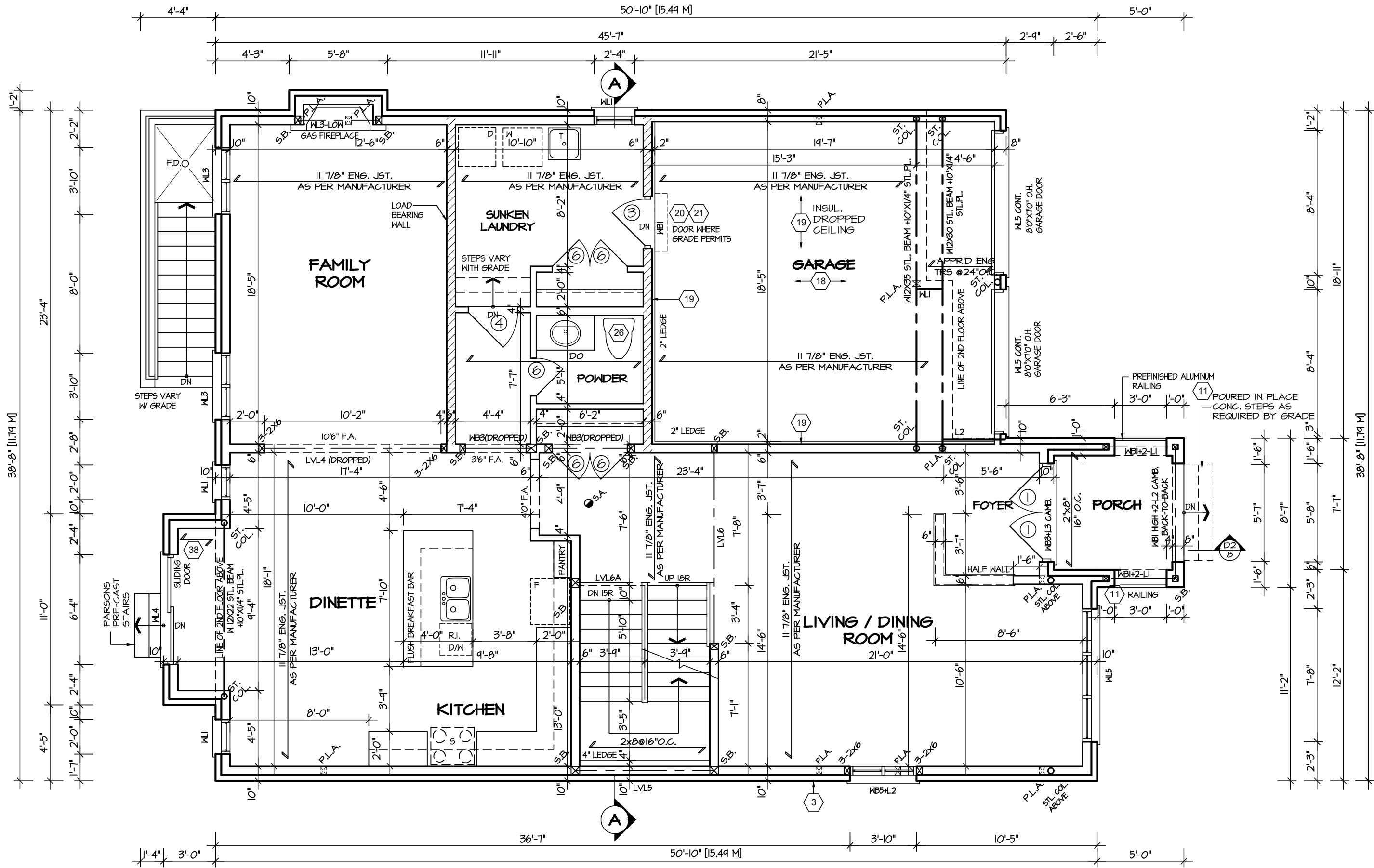
PROVINCE OF ONTARIO

FOR STRUCTURE ONLY

AUBURN 7

COMPLIANCE PACKAGE 'A1'





FIRST FLOOR PLAN I

REFER TO SHEET NO. 0 FOR LINTEL, BEAMS AND DOOR SIZES

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

REFER TO FLOOR FRAMING SHOP DRAWINGS FOR ENGINEERED FRAMING LAYOUTS

ALL SUBFLOORS TO BE 5/8" PLYWOOD AND TO BE GLUED AND NAILED ON THIS FLOOR.

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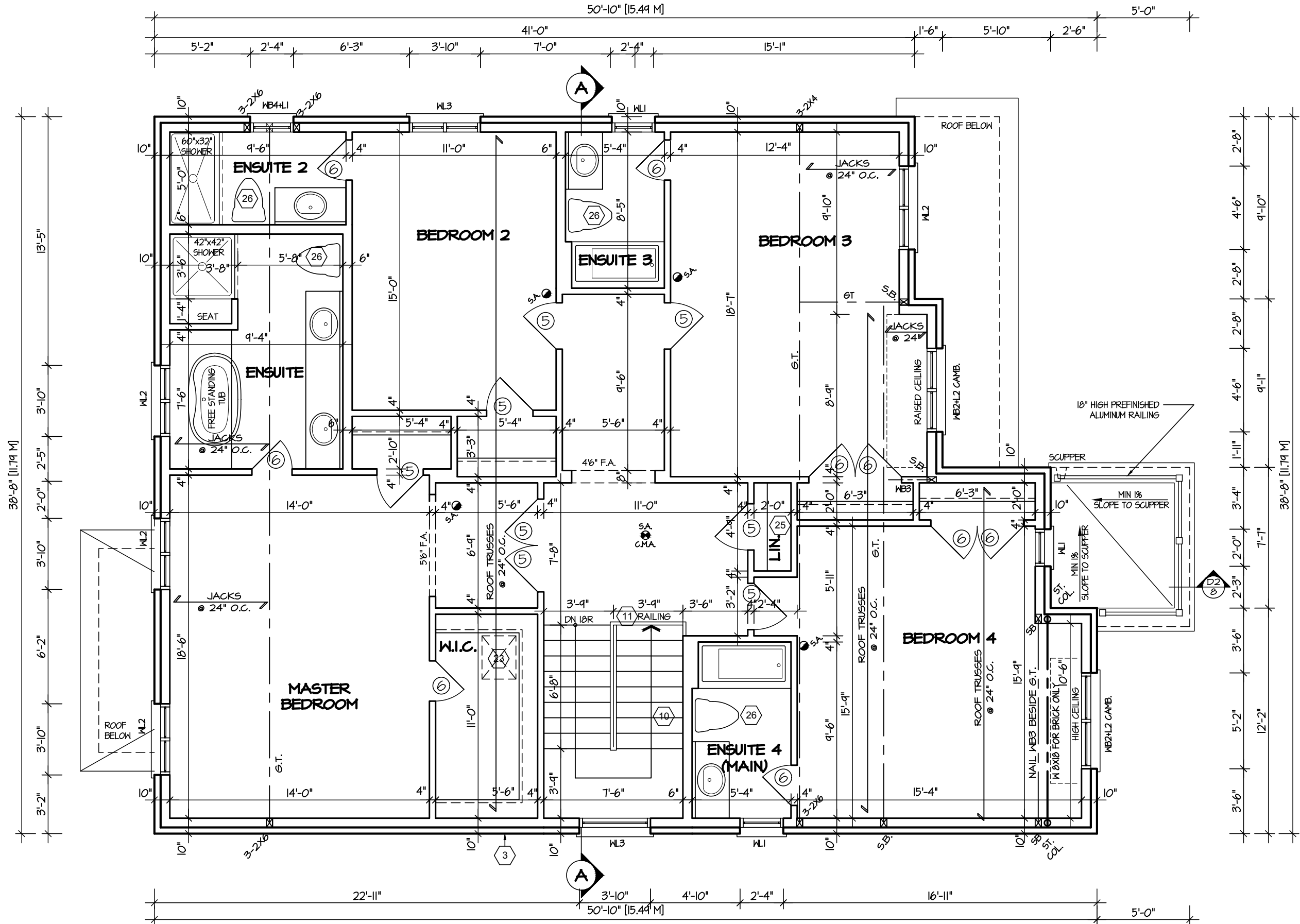
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AUBURN 7

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4.					FIRST FLOOR PLAN 1				
3.	ISSUED FOR PERMIT				SCALE 3/16"=1'-0"	BY ZMP	AREA 3335	PAGE No. 2	
2.	ISSUED FOR REVIEW				DATE JULY 2017	TYPE	PROJECT NO. 05-11-04		
1.	UPDATED FROM SANDSTONE 2								
REVISIONS									



SECOND FLOOR PLAN I

REFER TO TRUSS SHOP DRAWINGS FOR TRUSS LAYOUTS

G.T. = GIRDER TRUSS BY ROOF TRUSS MFG.

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AUBURN 7

COMPLIANCE PACKAGE 'A1'

5.		
4.		
3.		
2.	REDUCED FINISHED BASEMENT AREA	JULY 2017
1.	REVISED AUBURN 7 FROM RIMINI	MAR 2017
REVISIONS		

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REGION
DESIGN
INC.

SHEET TITLE
SECOND
FLOOR PLAN 1

SCALE
3/16"=1'-0"

DATE
JULY 2017

BY
ZMP

TYPE

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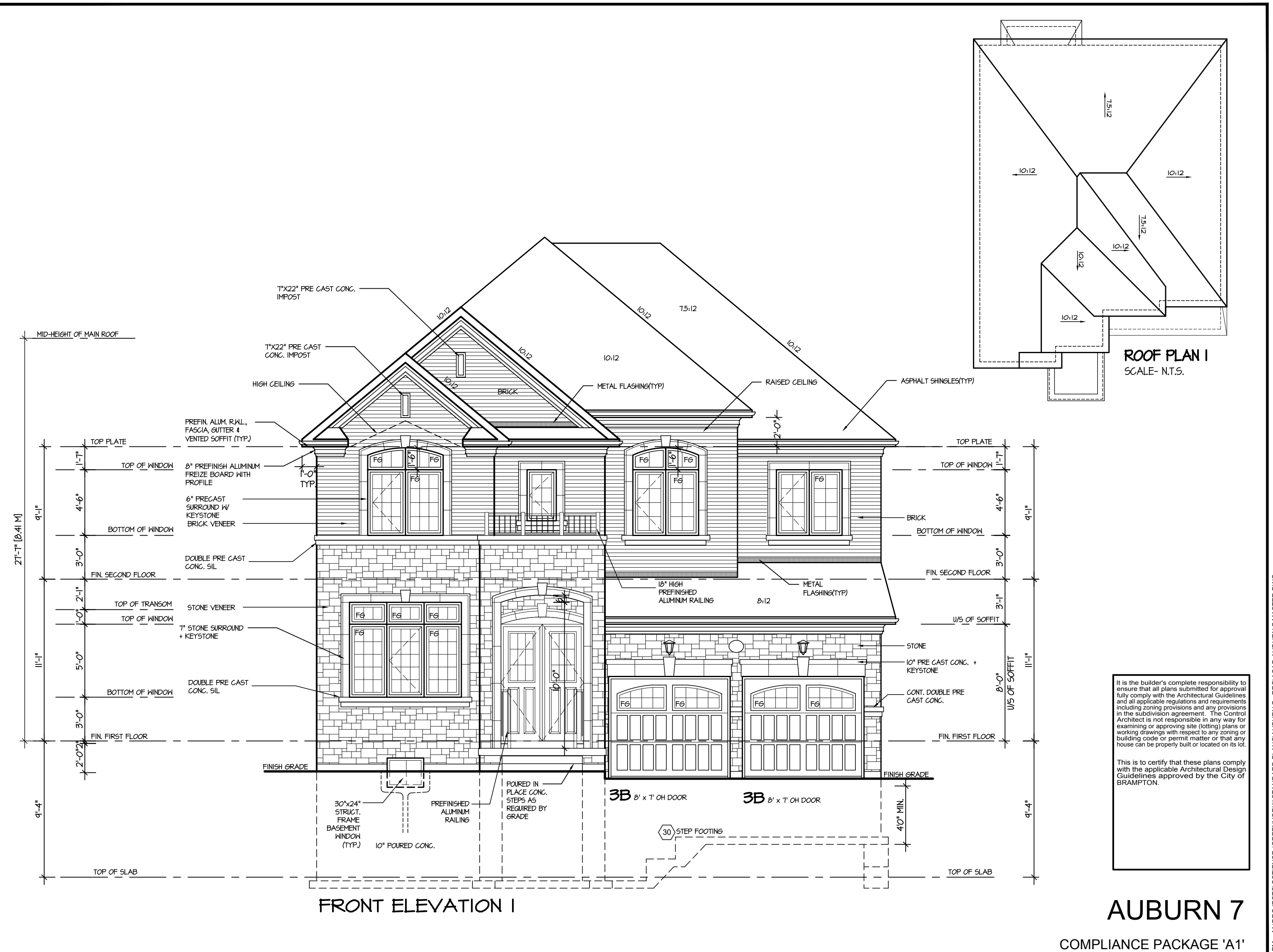
AREA
3335

PROJECT NO.
05-11-04

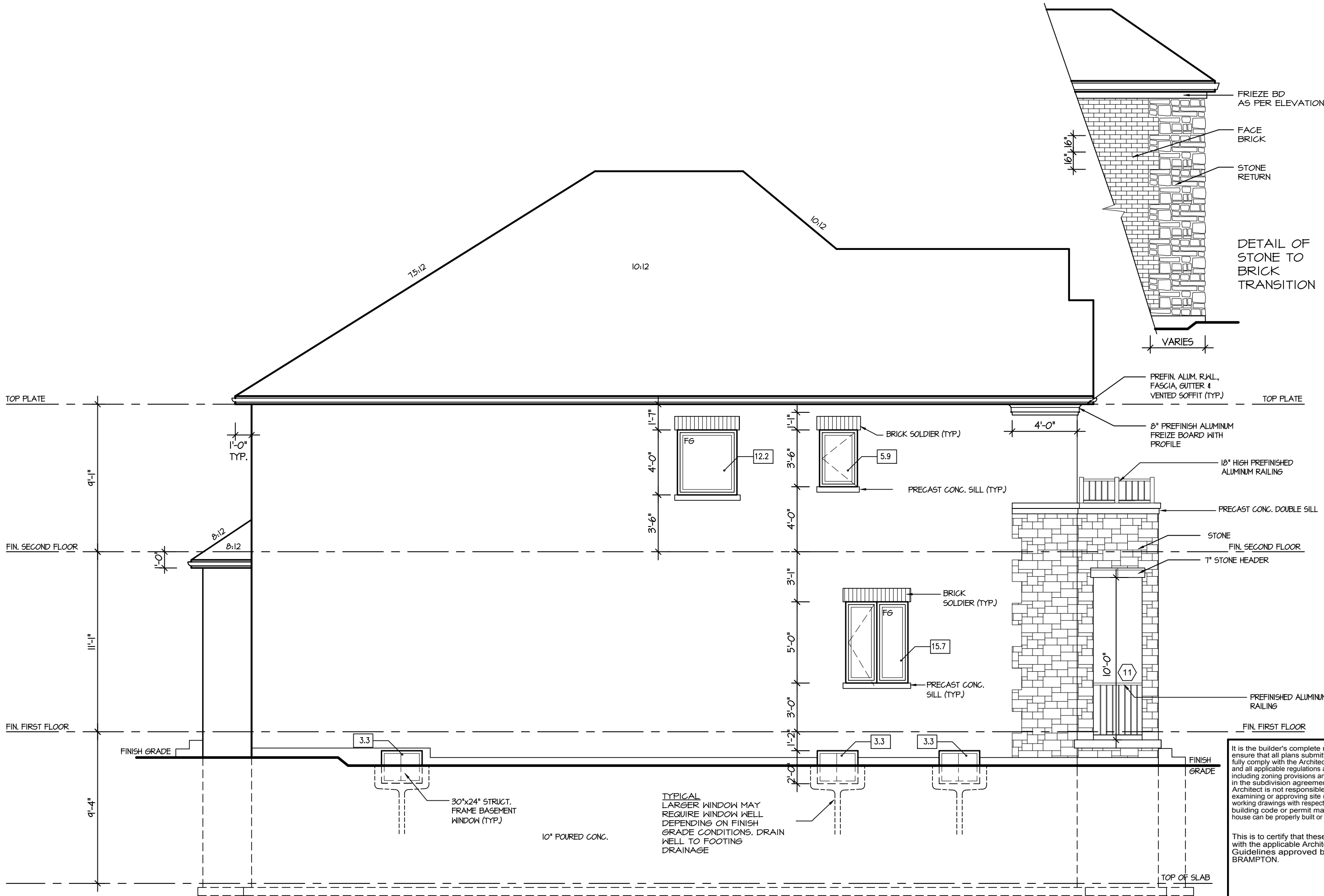
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PROJECT NAME:
OSTIENSE CONSTRUCTION CORP.



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4.					SCALE	3/16"=1'-0"	BY	ZMP	AREA	3335		PAGE No.	4
3.					DATE	JULY 2017	TYPE		PROJECT NO.	05-11-04			
2.	REDUCED FINISHED BASEMENT AREA				JULY 2017								
1.	REVISED AUBURN 7 FROM RIMINI				MAR 2017								
REVISIONS													



LEFT SIDE ELEVATION 1

ALLOWABLE GLAZING(STANDARD PLAN)

WALL AREA	=	116.4	Sq. Ft.
ALLOWABLE GLAZED AREA @ 1 % 1.2 M SIDE YARD	=	81.48	Sq. Ft.
ACTUAL GLAZED AREA	=	43.7	Sq. Ft.

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REGION
DESIGN
INC.

SHEET TITLE

LEFT
SIDE ELEVATION 1

SCALE
3/16"=1'-0"

DATE
JULY 2017

BY
ZMP

TYPE

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AREA
3335

PROJECT NO.
05-11-04

PAGE No.

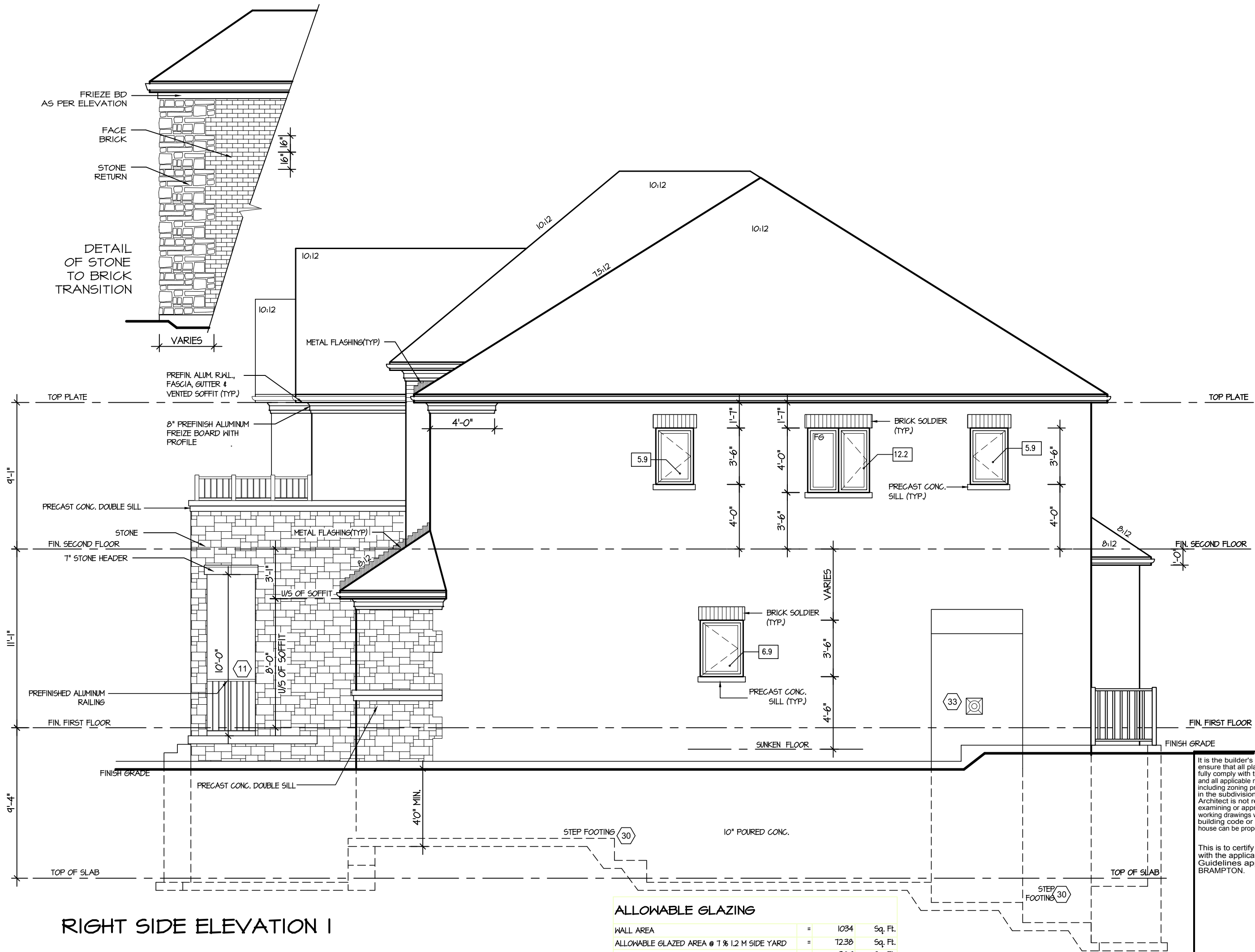
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GREENYORK
HOMES

PROJECT NAME:

OSTIENSE CONSTRUCTION CORP.



RIGHT SIDE ELEVATION I

ALLOWABLE GLAZING			
WALL AREA	=	1034	Sq. Ft.
ALLOWABLE GLAZED AREA @ 1 % 1.2 M SIDE YARD	=	12.30	Sq. Ft.
ACTUAL GLAZED AREA	=	30.9	Sq. Ft.

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1.	UPDATED FROM SANDSTONE 2	MAR 2017
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REGION
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INC.

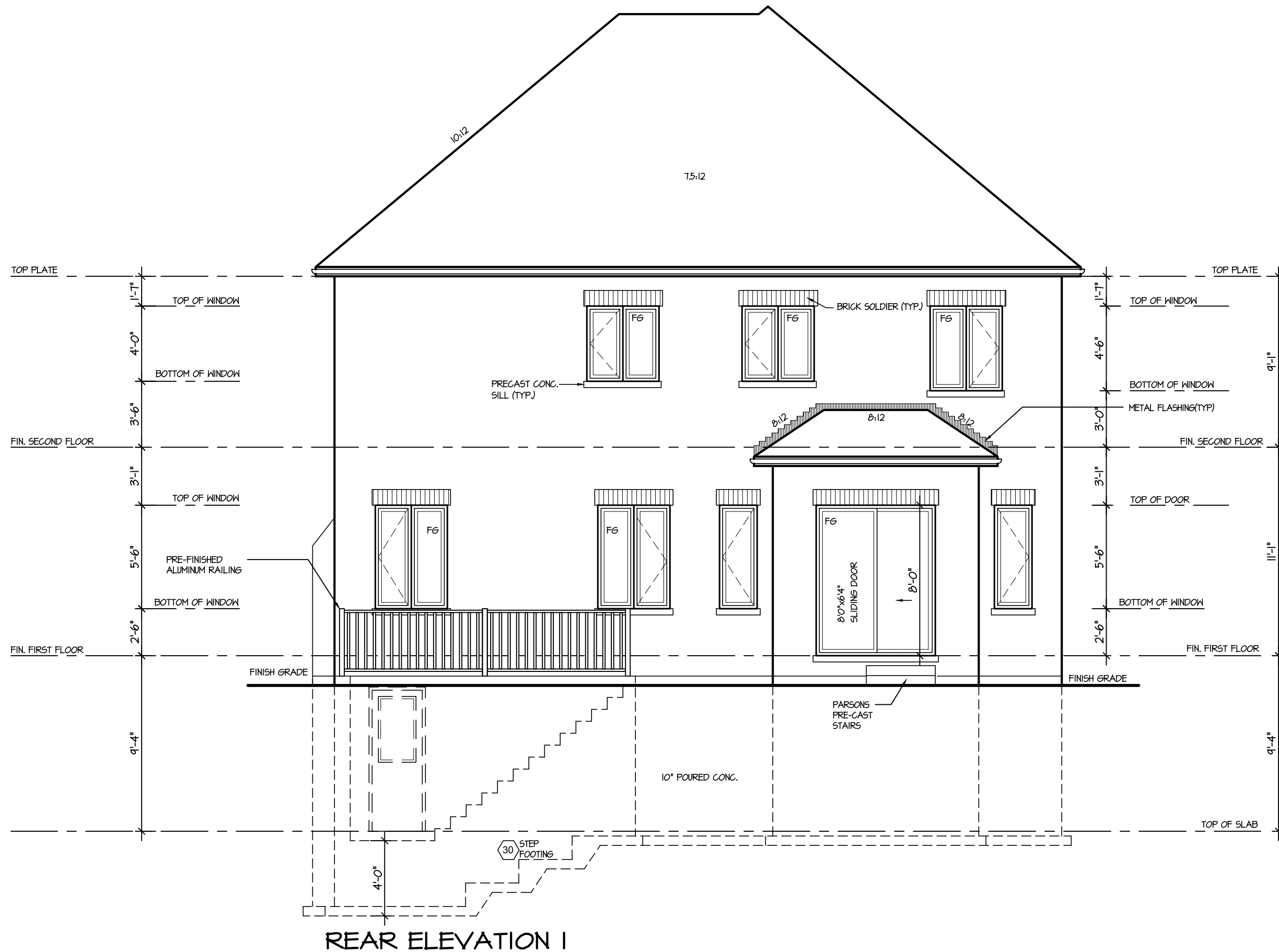
SHEET TITLE	
RIGHT SIDE ELEVATION 1	
SCALE 3/16"=1'-0"	BY ZMP
DATE JULY 2017	TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.	
AREA 3335	PAGE No. 6
PROJECT NO. 05-11-04	



GREENYORK
HOMES

PROJECT NAME:
OSTIENSE CONSTRUCTION CORP.



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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

AUBURN 7

COMPLIANCE PACKAGE 'A1'

5.		
4.		
3.		
2.	REDUCED FINISHED BASEMENT AREA	JULY 2017
1.	REVISED AUBURN 7 FROM RIMINI	MAR 2017
REVISIONS		

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

NICOLA LOMBARDO 28679
NAME SIGNATURE BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0746

**REGION
DESIGN
INC.**

SHEET TITLE
REAR ELEVATION 1

SCALE 3/16"=1'-0"
DATE JULY 2017

BY ZMP
TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

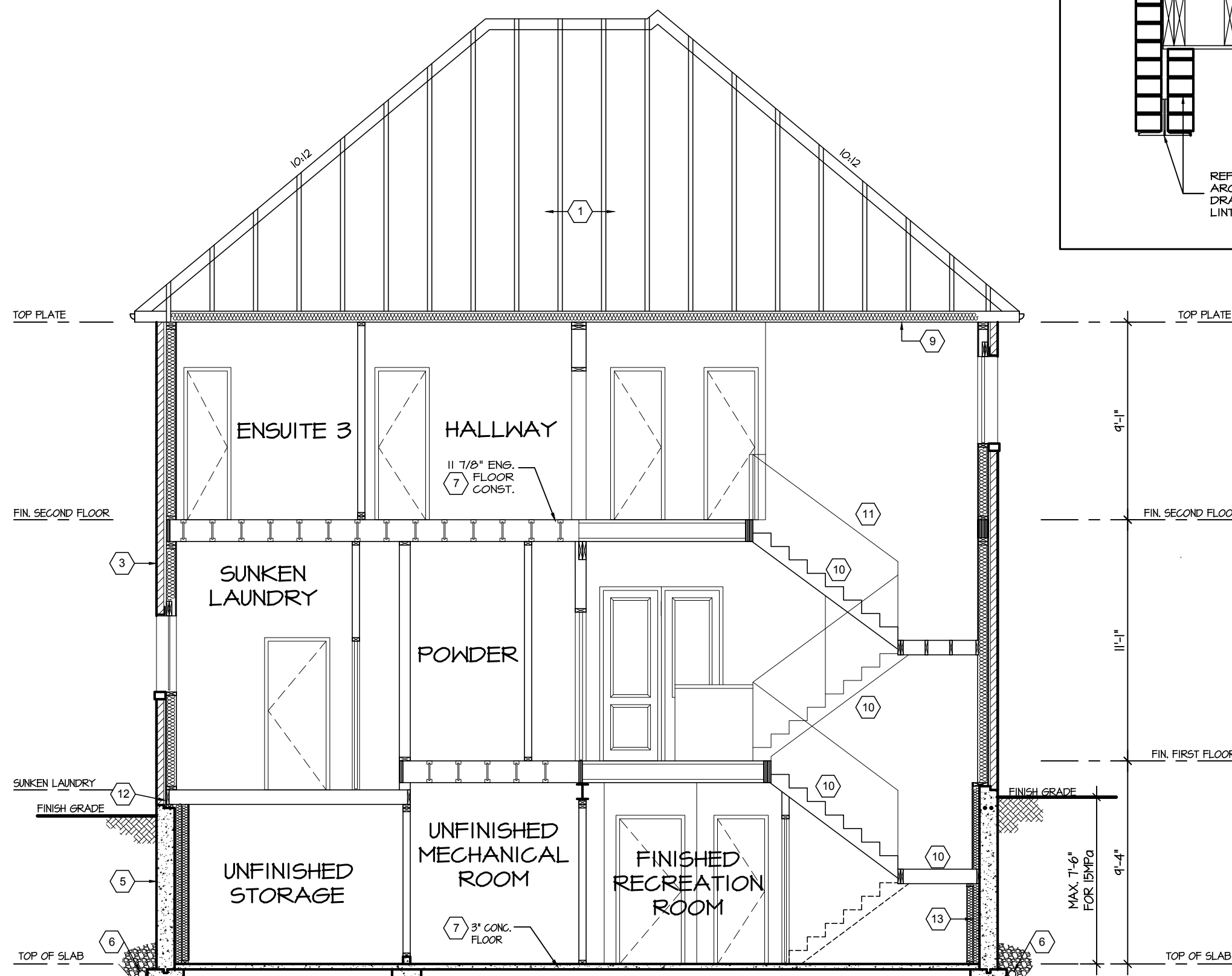
AREA 3335
PROJECT NO. 05-11-04

PAGE No.
7

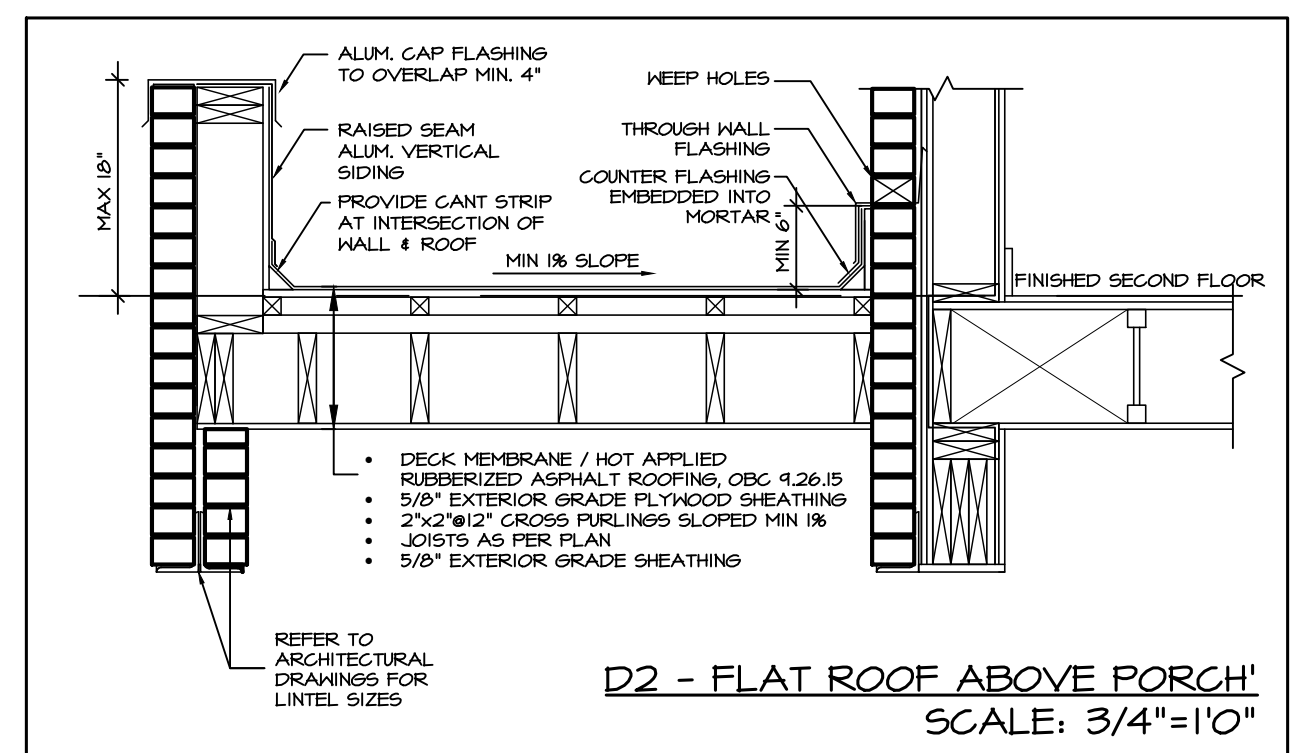


**GREENYORK
HOMES**

PROJECT NAME:
OSTIENSE CONSTRUCTION CORP.



SECTION A-A



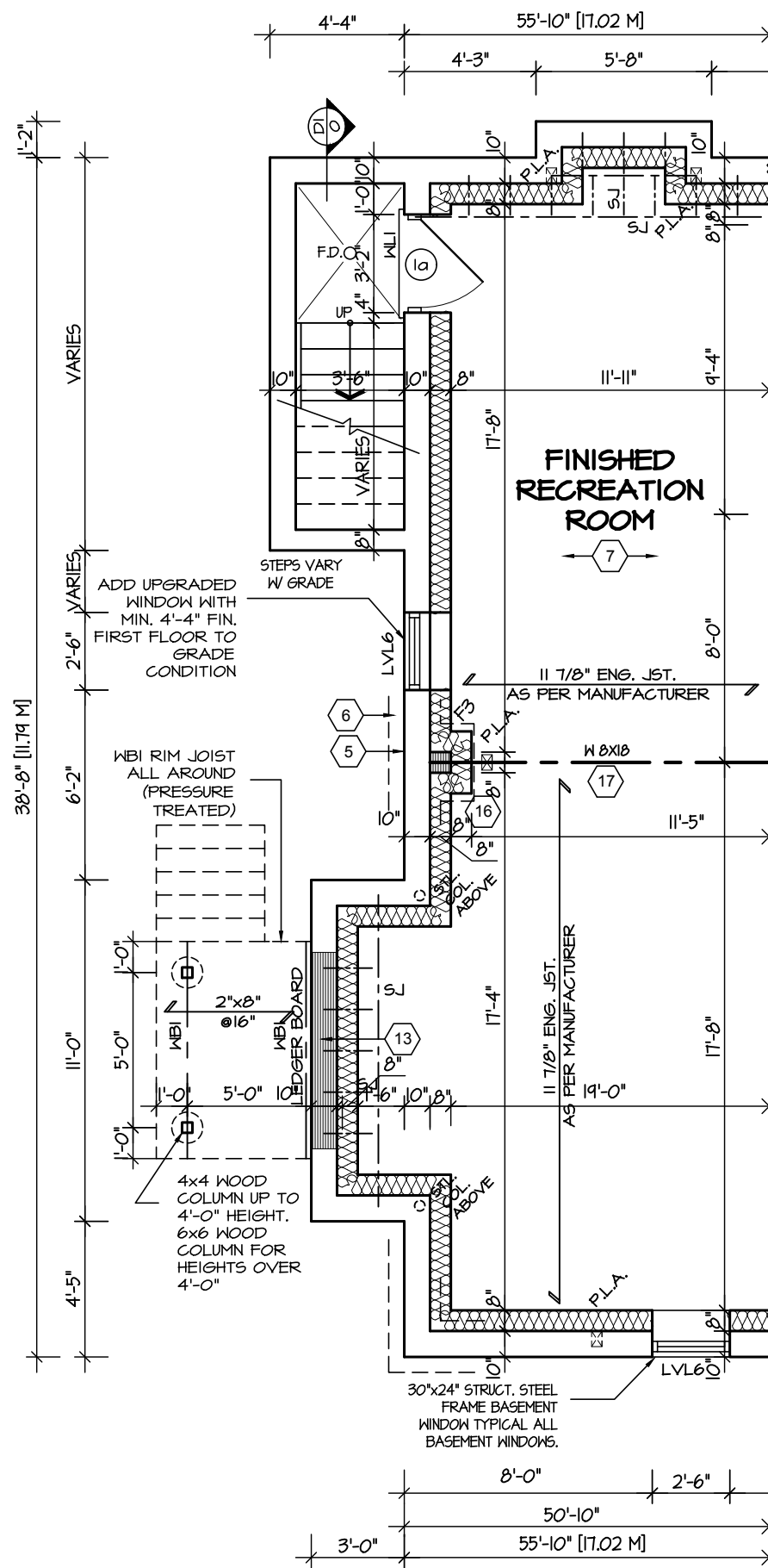
D2 - FLAT ROOF ABOVE PORCH'
SCALE: 3/4"=1'0"



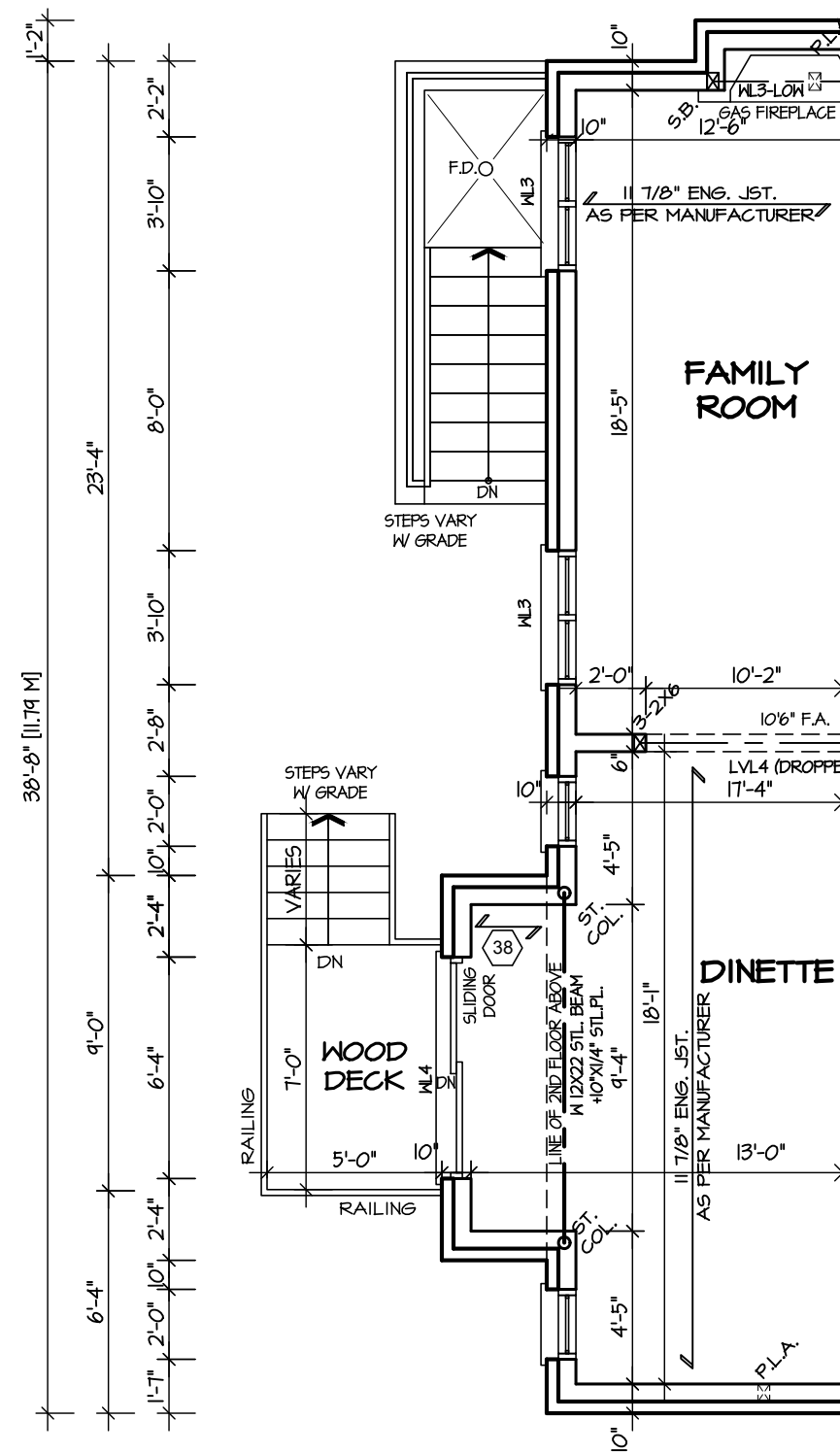
AUBURN 7

COMPLIANCE PACKAGE 'A1'

5. 4. 3. 2. REDUCED FINISHED BASEMENT AREA JULY 2017 1. REVISED AUBURN 7 FROM RIMINI MAR 2017 REVISIONS	The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code NICOLA LOMBARDO 28679 NAME SIGNATURE BCIN	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4096 F (905) 660-0746	REGION DESIGN INC.	SHEET TITLE CROSS SECTION SCALE 3/16"=1'-0" DATE JULY 2017 BY ZMP TYPE	CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED. AREA 3335 PAGE No. 8 PROJECT NO. 05-11-04	PROJECT NAME: OSTIENSE CONSTRUCTION CORP.
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PARTIAL BASEMENT PLAN
W.O.D. CONDITION



PARTIAL FIRST FLOOR PLAN
W.O.D. CONDITION

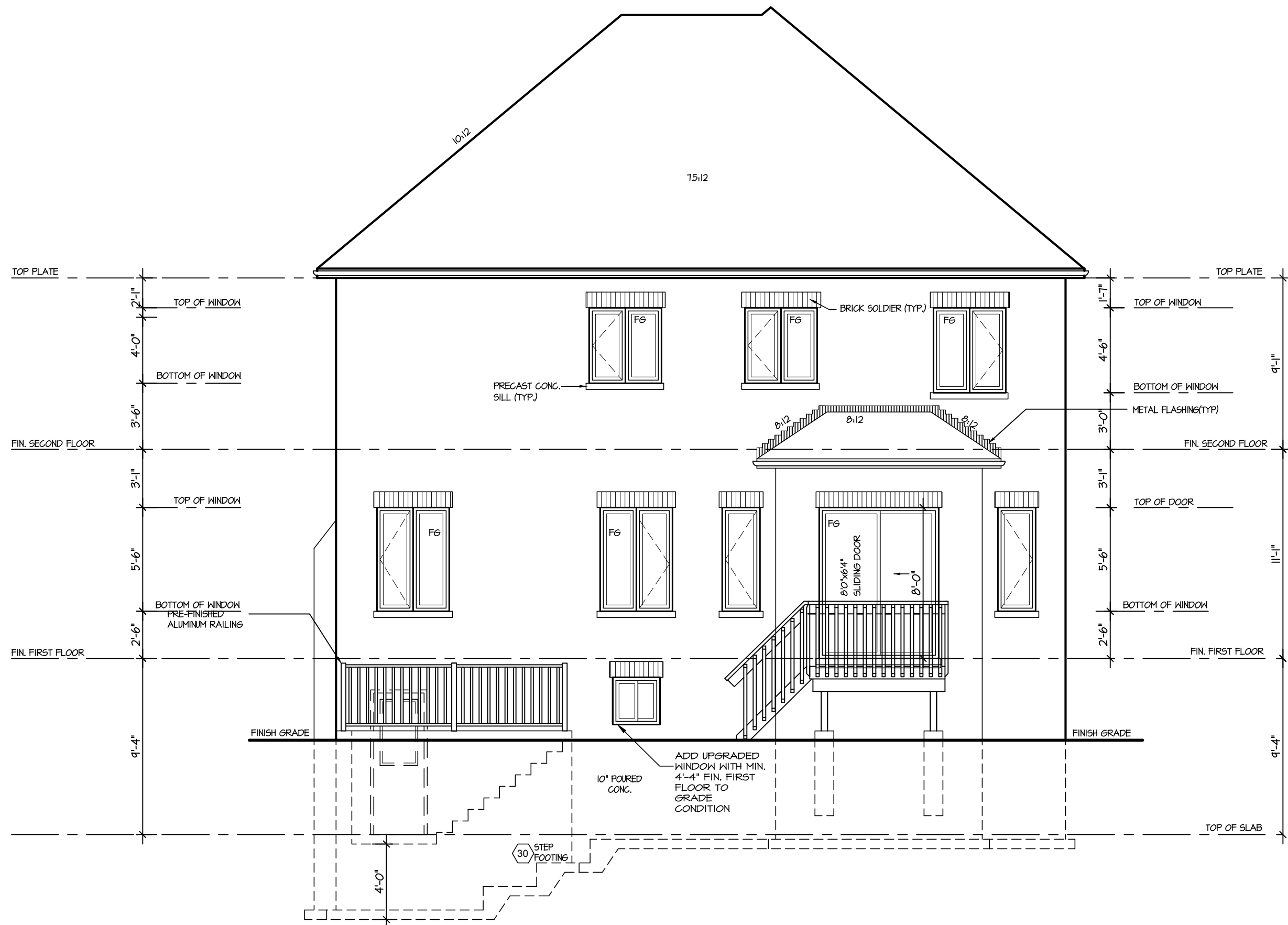
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AUBURN 7

COMPLIANCE PACKAGE 'A1'

5.			The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.	REGION DESIGN INC.	SHEET TITLE	CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.		PROJECT NAME:	
4.			QUALIFICATION INFORMATION	8700 DUFFERIN ST.	DECK PLANS			OSTIENSE CONSTRUCTION CORP.	
3.			Required unless design is exempt under Division C, Subsection 3.2.5 of the building code	CONCORD, ONTARIO	SCALE	BY	AREA	PAGE No.	
2.	REDUCED FINISHED BASEMENT AREA	JULY 2017		L4K 456	3/16"=1'-0"	ZMP	3335	9	
1.	REVISED AUBURN 7 FROM RIMINI	MAR 2017		P (416) 736-4096	DATE	TYPE	PROJECT NO.		
REVISIONS			NICOLA LOMBARDO	F (905) 660-0746	JULY 2017		05-11-04		
			NAME	SIGNATURE	BCIN				
			28679						



REAR ELEVATION
W.O.D. CONDITION

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AUBURN 7

COMPLIANCE PACKAGE 'A1'

5.		
4.		
3.		
2.	REDUCED FINISHED BASEMENT AREA	JULY 2017
1.	REVISED AUBURN 7 FROM RIMINI	MAR 2017
REVISIONS		

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.		
QUALIFICATION INFORMATION		
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code		
NICOLA LOMBARDO	28679	
NAME	SIGNATURE	BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0746



SHEET TITLE	
REAR ELEVATION DECK CONDITION	
SCALE 3/16"=1'-0"	BY ZMP
DATE JULY 2017	TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.	
AREA 3335	PAGE No. 9-2
PROJECT NO. 05-11-04	

	PROJECT NAME: OSTIENSE CONSTRUCTION CORP.
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