

3017

AUBURN 3
ELEVATION 1

O.REG. 332/12

2017-SB-12
COMPLIANCE
PACKAGE 'A1'

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2	MAR. 30, 2017	COMPLETED TO PRECOORDINATION STAGE - ISSUED TO CLIENT
1	MAR. 27, 2017	INTRO. PLAN FROM RIMINI 13-11 - AUBURN 3

No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

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Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

Walter Botter
NAME SIGNATURE BCIN 21031

REGISTRATION INFORMATION
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jardin design group inc. 27763
FIRM NAME BCIN

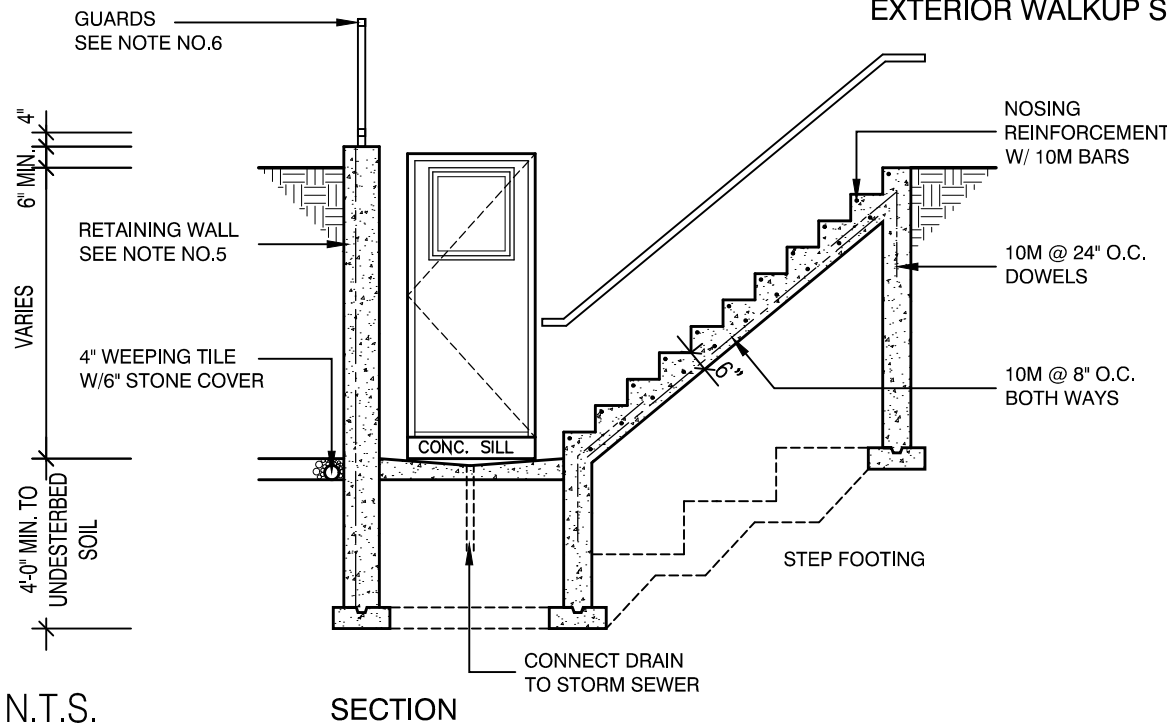
AREA/GENERAL NOTES

OSTIENSE
BRAMPTON



MODEL T
SCALE: 3/16"= 1'-0"
PROJ. No. 17-14
DWG. No. 0

EXTERIOR WALKUP STAIRS DETAILS



GENERAL NOTES:

FOOTING

1. 24"x8" POURED CONC. FOOTING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED GRANULAR FILL.

CONCRETE

2. MINIMUM COMPRESSIVE STRENGTH OF 32 MPa (4650 psi) @ 28 DAYS W/ 5% TO 8% AIR ENTRAINMENT.

EXTERIOR STAIRS

3. 7 7/8" RISE MAXIMUM
8 1/4" RUN MINIMUM
9 1/4" TREAD MINIMUM

INSULATION

4. FOR INSULATION VALUE & VAPOUR BARRIER LOCATION REFER TO NOTE 13 OF STANDARD NOTES.

RETAINING WALL

5. 10" POURED CONCRETE W/ NO REINFORCING REQUIRED FOR WALL HEIGHTS TO A MAX. OF 4'-7". PROVIDE 15M VERTICAL REINFORCEMENT @ 16" O.C. AND 15M HORIZONTAL REINFORCEMENT @ 24" O.C. FOR WALL HEIGHTS TO 7'-0". RETAINING WALL TO RESIST LATERAL DESIGN LOADS AS PER OBC DIVISION B SECTION 4.1.5.16.

GUARDS

6. 3'-6" HIGH WHERE DISTANCE FROM GRADE TO BOTTOM OF WALKOUT EXCEEDS 5'-11": 2'-11" FOR LESSER HEIGHTS. MAXIMUM 4" BETWEEN VERTICAL PICKETS.

BRICK VENEER LINTELS:

WL1 = 3 1/2" x 3 1/2" x 1 1/4" (90x90x6) + 2- 2" x 8" SPR.
WL2 = 4" x 3 1/2" x 5/16" (100x90x8) + 2- 2" x 8" SPR.
WL3 = 5" x 3 1/2" x 5/16" (125x90x8) + 2- 2" x 10" SPR.
WL4 = 6" x 3 1/2" x 3/8" (150x90x10) + 2- 2" x 12" SPR.
WL5 = 6" x 4" x 3/8" (150x100x10) + 2- 2" x 12" SPR.
WL6 = 5" x 3 1/2" x 5/16" (125x90x8) + 2- 2" x 12" SPR.
WL7 = 5" x 3 1/2" x 5/16" (125x90x8) + 3- 2" x 10" SPR.
WL8 = 5" x 3 1/2" x 5/16" (125x90x8) + 3- 2" x 12" SPR.
WL9 = 6" x 4" x 3/8" (150x100x10) + 3- 2" x 12" SPR.

WOOD LINTELS:

WB1 = 2- 2" x 8" SPRUCE BEAM WB6 = 3- 2" x 12" SPRUCE BEAM
WB2 = 3- 2" x 8" SPRUCE BEAM WB7 = 5- 2" x 12" SPRUCE BEAM
WB3 = 2- 2" x 10" SPRUCE BEAM WB10 = 4- 2" x 8" SPRUCE BEAM
WB4 = 3- 2" x 10" SPRUCE BEAM WB11 = 4- 2" x 10" SPRUCE BEAM
WB5 = 2- 2" x 12" SPRUCE BEAM

STEEL LINTELS:

L1 = 3 1/2 x 3 1/2 x 1 1/4 (90 x 90 x 6) L4 = 6" x 3 1/2" x 3/8" (150 x 90 x 10)
L2 = 4" x 3 1/2" x 5/16" (100 x 90 x 8) L5 = 6" x 4" x 3/8" (150 x 100 x 10)
L3 = 5" x 3 1/2" x 5/16" (125 x 90 x 8) L6 = 7" x 4" x 3/8" (180 x 100 x 10)

LAMINATED VENEER LUMBER (LVL BEAMS)

LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)
LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)
LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)
LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)
LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)
LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)
LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)
LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)
LVL6A= 1-1 3/4" x 11 7/8" (1-45x300)
LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)
LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)
LVL7A= 4-1 3/4" x 11 7/8" (4-45x300)
LVL8 = 2-1 3/4" x 14" (2-45x356)
LVL9 = 3-1 3/4" x 14" (3-45x356)

DOOR SCHEDULE:

1 = 2'-10" x 6'-8" INSULATED ENTRANCE DOOR
1A = 2'-8" x 6'-8" INSULATED ENTRANCE DOOR
2 = 2'-8" x 6'-8" EXTERIOR GLAZED DOOR
3 = 2'-8" x 6'-8" SLAB DOOR (1 3/4" EXTERIOR)
4 = 2'-8" x 6'-8" SLAB DOOR (1 3/8" INTERIOR)
5 = 2'-6" x 6'-8" SLAB DOOR (1 3/8" INTERIOR)
6 = 2'-2" x 6'-8" SLAB DOOR (1 3/8" INTERIOR)
7 = 1'-6" x 6'-8" SLAB DOOR (1 3/8" INTERIOR)
8 = 2'-6" x 6'-8" BI-FOLD (1 3/8" INTERIOR)
9 = 3'-0" x 6'-8" BI-FOLD (1 3/8" INTERIOR)
10 = 2- 2'-0" x 6'-8" BI-FOLD (1 3/8" INTERIOR)
11 = 2- 2'-6" x 6'-8" BI-FOLD (1 3/8" INTERIOR)
12 = 2'-6" x 6'-8" FRENCH DOOR (1 3/8" INTERIOR)

STRIP FOOTINGS FOR SINGLES AND SEMIS UP TO 2 STOREY

8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS

20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.

ASSUME THE LARGER FOOTINGS SIZE WHEN TWO CONDITIONS APPLY

ASSUMED 120 KPa (18 p.s.i.) SOIL BEARING CAPACITY OR 90 KPa
FOR ENGINEERED FILL IS USED, TO BE VERIFIED ON SITE.

FOUNDATION WALLS WITH ENGINEERING JOISTS OVER 16'-0" SPAN

24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.

ENGINEERED FILL FOOTINGS

24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING

BELOW EXTERIOR WALLS.

30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW PARTY WALLS. (REFER TO ENG. FILL FOOTING DETAIL)

PAD FOOTING

120 KPa NATIVE SOIL

F1 = 42"x42"x18" CONCRETE PAD F1 = 48"x48"x20" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD F2 = 40"x40"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD F3 = 34"x34"x14" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD
F5 = 16"x16"x8" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD

90 KPa ENGINEERED FILL SOIL

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)

NOTE:

WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC. FOUNDATION WALL IS REQUIRED.

NOTE:

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa
WITH 5-8% AIR ENTRAINMENT.

NOTE:

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

NOTE:

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ROOF TRUSS DRAWINGS BY MANUFACTURER .

NOTE:

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FLOOR TRUSS LAYOUT BY MANUFACTURER .

NOTE:

PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN.

AUBURN 3 ELEV.-1		ENERGY EFFICIENCY- SB12	
ELEVATION	WALL FT²	OPENING FT²	PERCENTAGE
FRONT	923.47	149.01	16.14 %
LEFT SIDE	1056.24	67.67	6.41 %
RIGHT SIDE	1019.34	19.50	1.91 %
REAR	928.63	178.61	19.23 %
TOTAL	3927.68	414.79	10.56 %

AREA CALCULATIONS EL-1

GROUND FLOOR AREA	=	1346 Sq. Ft.
SECOND FLOOR AREA	=	1638 Sq. Ft.
TOTAL FLOOR AREA	=	2984 Sq. Ft.
ADD OPEN AREAS	=	0 Sq. Ft.
ADD FIN. BASEMENT AREA	=	33 Sq. Ft.
GROSS FLOOR AREA	=	3017 Sq. Ft.
GROUND FLOOR COVERAGE	=	1346 Sq. Ft.
GARAGE COVERAGE / AREA	=	393 Sq. Ft.
PORCH COVERAGE / AREA	=	55 Sq. Ft.
COVERAGE W/ PORCH	=	1794 Sq. Ft.
	=	166.67 Sq. m.
COVERAGE W/O PORCH	=	1739 Sq. Ft.
	=	161.56 Sq. m.

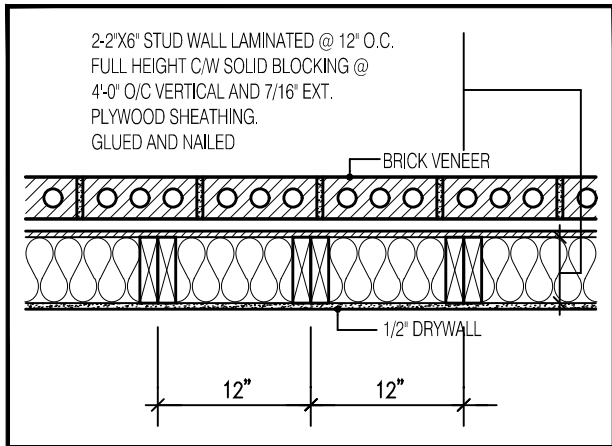
STRUDET INC.



FOR STRUCTURE ONLY

LEGEND:

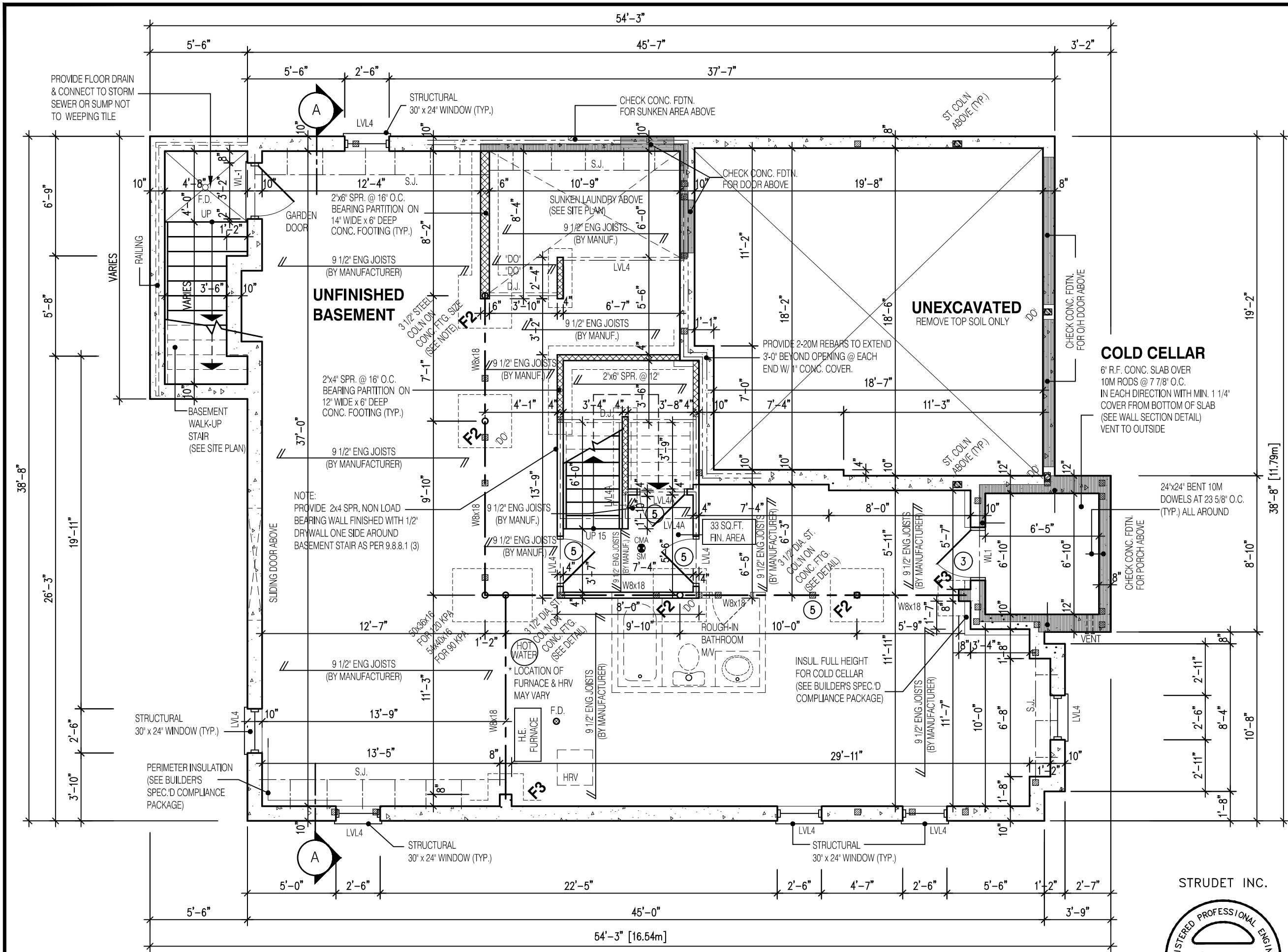
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- INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
- STL. PLATE FOR STEEL COL'N ABOVE
- LAMINATED VENEER LUMBER
- SINGLE JOIST
- DOUBLE JOIST
- TRIPLE JOIST
- REPEAT NOTE
- SHOWER WEEPERS



FULL HEIGHT WALL DETAIL 1

WITH BRICK VENEER

N.T.S.



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NOTE:
REFER TO SHEET NO. 0-1 FOR LINTEL, BEAMS AND DOOR SIZE

NOTE:
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NOTE:
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NOTE:
SUBFLOOR TO BE 5/8" PLYWOOD ON THIS LEVEL
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Walter Botter *WBe* 21031
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FIRM NAME BCIN

BASEMENT PLAN EL-1

OSTIENSE
BRAMPTON

BILD
MODEL
T
SCALE:
3/16" = 1'-0"
PROJ. No.
17-14
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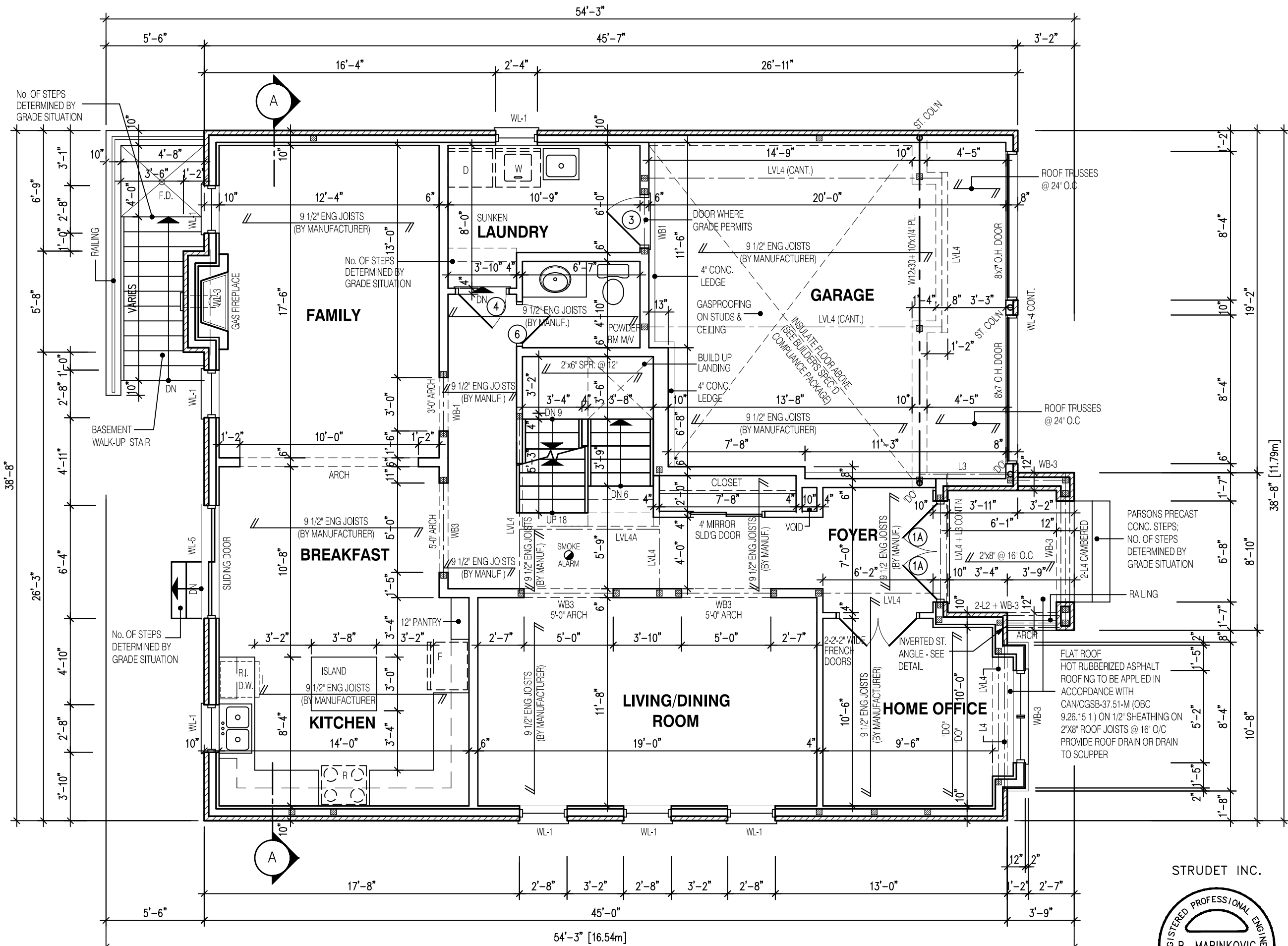
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FIRST FLOOR PLAN EL-1

OSTIENSE
BRAMPTON



MODEL
T
SCALE:
3/16" = 1'-0"
PROJ. No.
17-14
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2



STRUDET INC.



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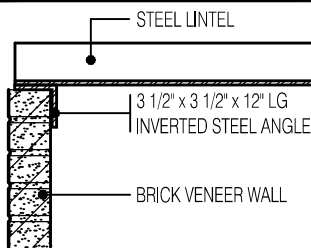
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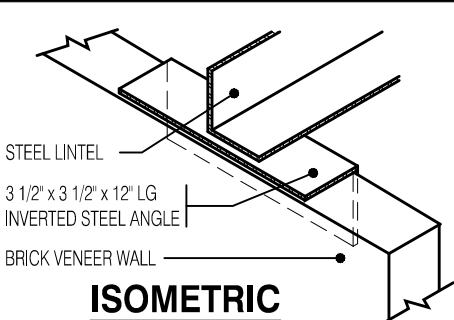
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SECTION

INVERTED STEEL ANGLE DETAIL

Scale: 3/4" = 1'-0"



ISOMETRIC

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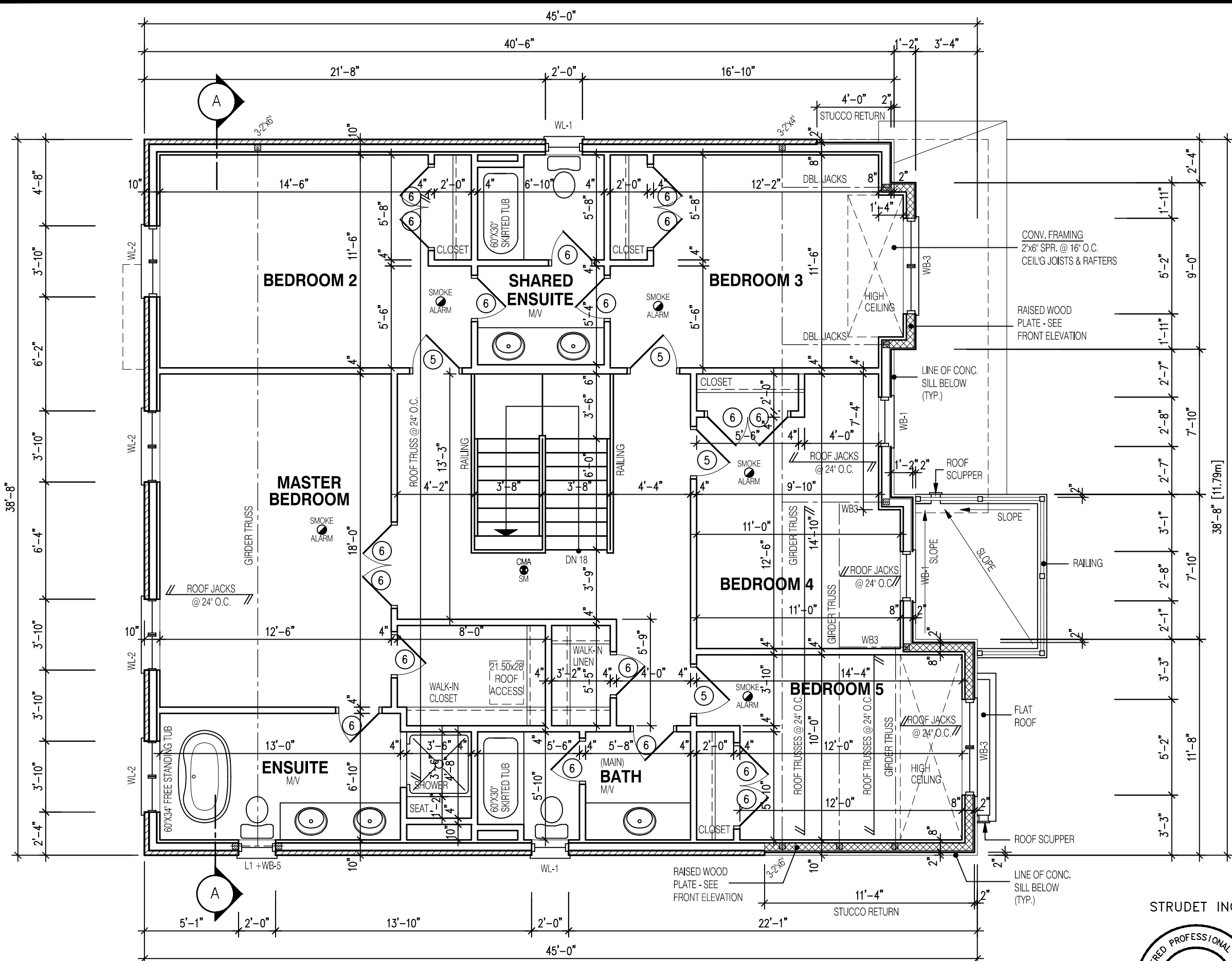
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SECOND FL. PLAN EL-1

OSTIENSE
BRAMPTON

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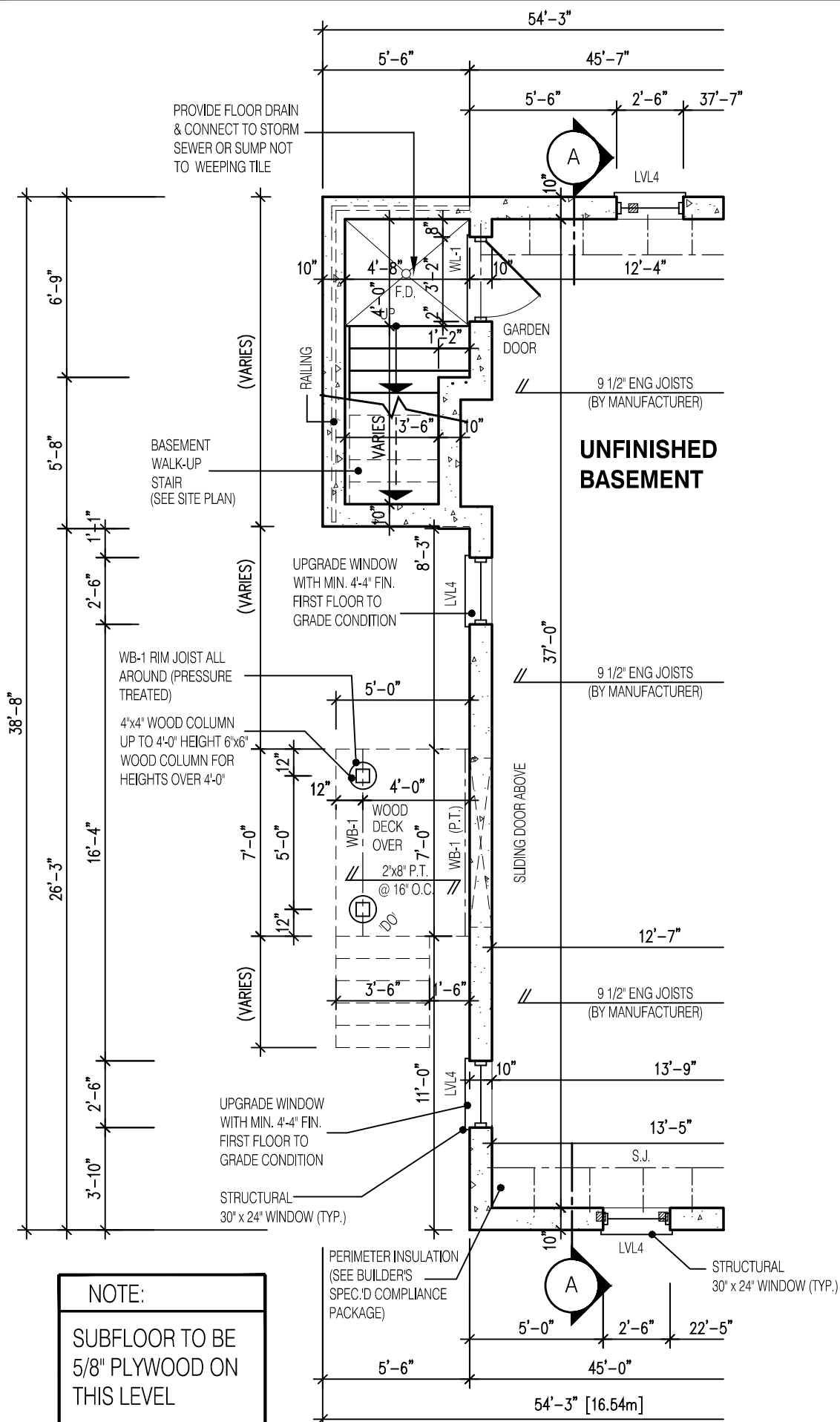
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- T.J. TRIPLE JOIST
- REPEAT NOTE
- SHOWER WEEPERS

NOTE:

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED ROOF TRUSS DRAWINGS BY MANUFACTURER.



NOTE:

REFER TO SHEET NO. 0-1 FOR LINTEL, BEAMS AND DOOR SIZE

NOTE:

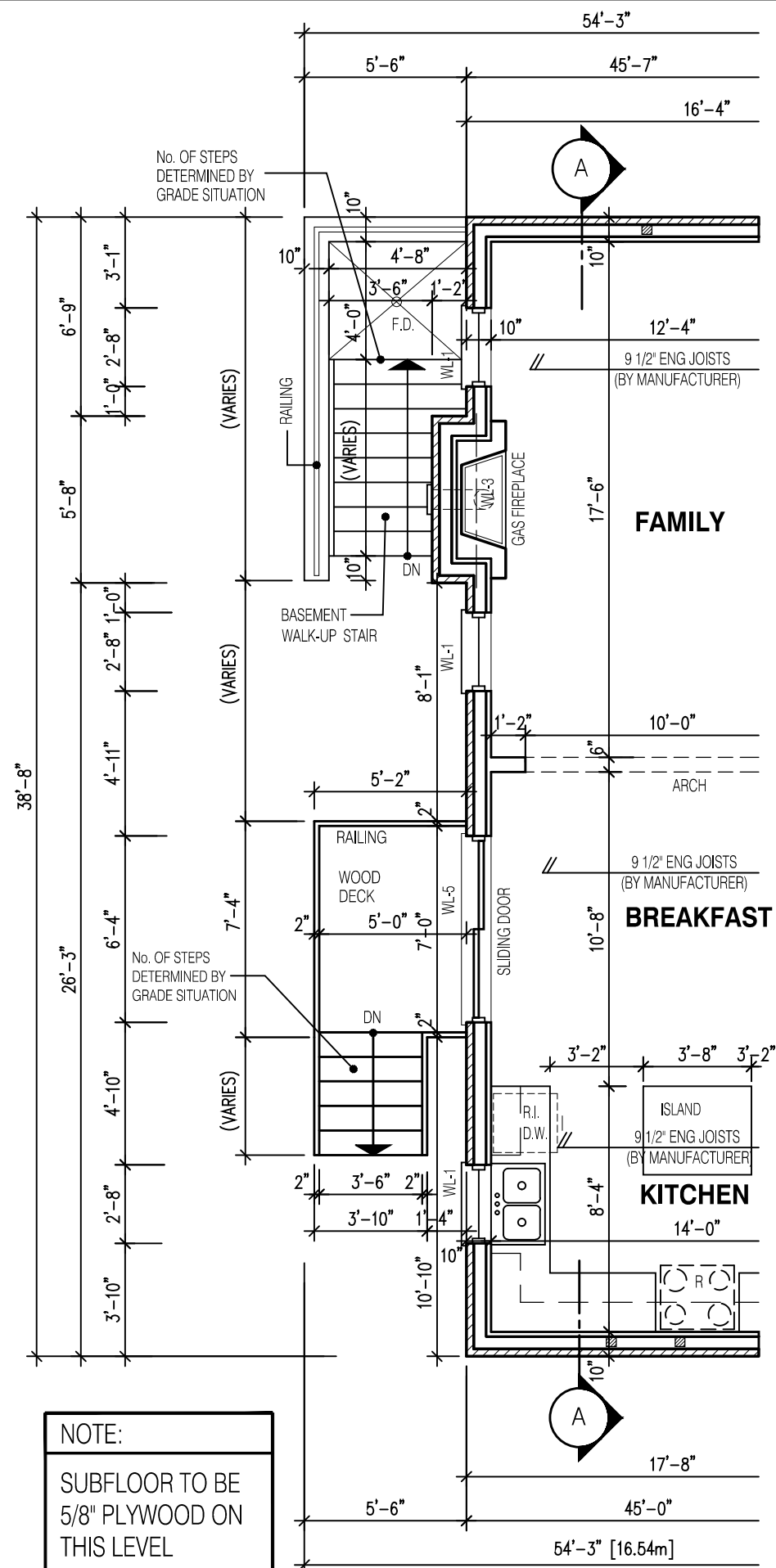
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NOTE:

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7"; 2 ROWS FOR SPANS GREATER THAN 7'

NOTE:

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LEGEND:

- BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D)
- INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
- STL. PLATE FOR STEEL COL'N ABOVE LAMINATED VENEER LUMBER
- LVL SINGLE JOIST
- S.J. DOUBLE JOIST
- D.J. TRIPLE JOIST
- T.J. REPEAT NOTE
- SHOWER WEEPERS

STRUDET INC.



FOR STRUCTURE ONLY

3017

AUBURN 3
ELEVATION 1

O.REG. 332/12

2017-SB-12
COMPLIANCE
PACKAGE 'A1'

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7		
6		
5	JULY 18, 2017	REMOVED FINISHED BASEMENT & REV. AREA; REISSUED FOR PERMIT
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2	MAR. 30, 2017	COMPLETED TO PRECOORDINATION STAGE - ISSUED TO CLIENT
1	MAR. 27, 2017	INTRO. PLAN FROM RIMINI 13-11 - AUBURN 3

No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

Walter Botter *WBe* 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

jardin design group inc. 27763
FIRM NAME BCIN

PARTIAL DECK EL-1

OSTIENSE
BRAMPTON



MODEL
T
SCALE:
3/16" = 1'-0"
PROJ. No.
17-14
DWG. No.
3-1

3017

AUBURN 3
ELEVATION 1

O.REG. 332/12

2017-SB-12
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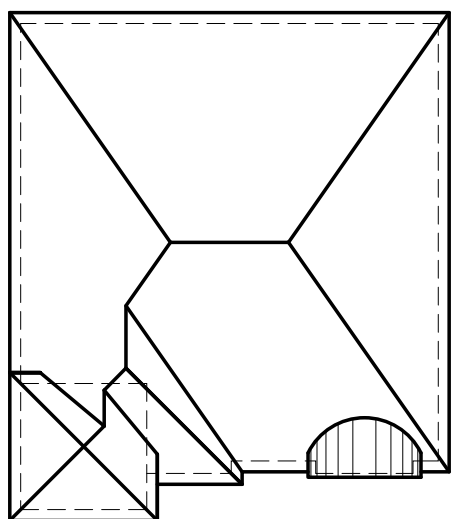
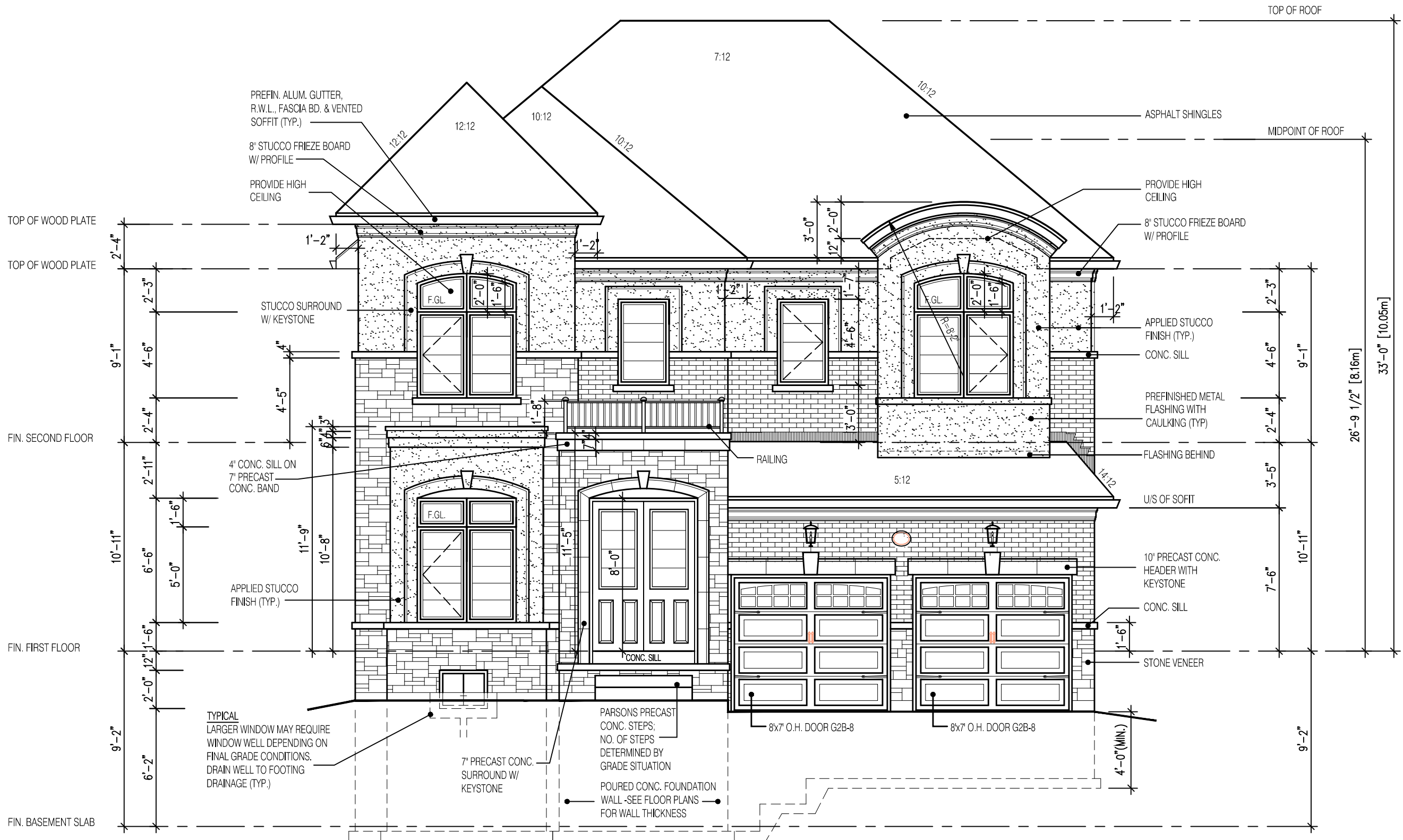
jardin design group inc. 27763
FIRM NAME BCIN

FRONT ELEVATION 1

OSTIENSE
BRAMPTON



MODEL	T
SCALE:	3/16" = 1'-0"
PROJ. No.	17-14
DWG. No.	4



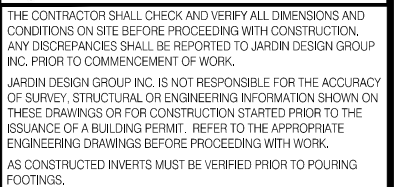
ROOF PLAN

N.T.S.

AUBURN 3
ELEVATION 1

**2017-SB-12
COMPLIANCE
PACKAGE 'A1'**

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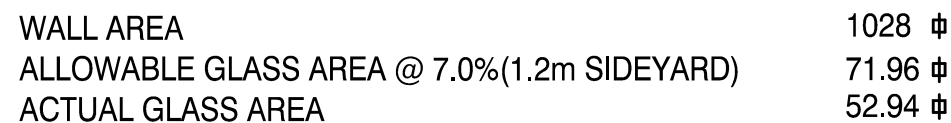
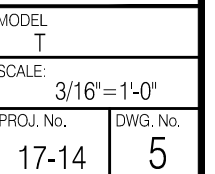
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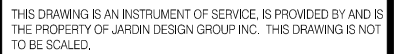
REGISTRATION INFORMATION
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3.2.4 of the building code

<i>jardin design group inc.</i>	27763
FIRM NAME	BCIN

OSTIENSE
BRAMPTON

**2017-SB-12
COMPLIANCE
PACKAGE 'A1'**

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No:	DATE:	WORK DESCRIPTION:
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jardin design group inc.	27763
FIRM NAME	BCIN

MODEL T	
SCALE: 3/16" = 1'-0"	
PROJ. No. 17-14	DWG. No. 6



3017

AUBURN 3
ELEVATION 1

O.REG. 332/12

2017-SB-12
COMPLIANCE
PACKAGE 'A1'

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VAUGHAN ONT. L4K 3P3
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Walter Botter *WBe* 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
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jardin design group inc. 27763
FIRM NAME BCIN

REAR DECK EL-1

OSTIENSE
BRAMPTON



MODEL
T
SCALE:
3/16" = 1'-0"
PROJ. No.
17-14
DWG. No.
6-1



REAR ELEVATION 1 DECK CONDITION

NOTE:
WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC. FOUNDATION WALL IS REQUIRED.
(FOUNDATION PLAN TO BE REVIEWED IN CONJUNCTION WITH SITE PLAN)

3017
AUBURN 3
ELEVATION 1
O.REG. 332/12
2017-SB-12
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PACKAGE 'A1'

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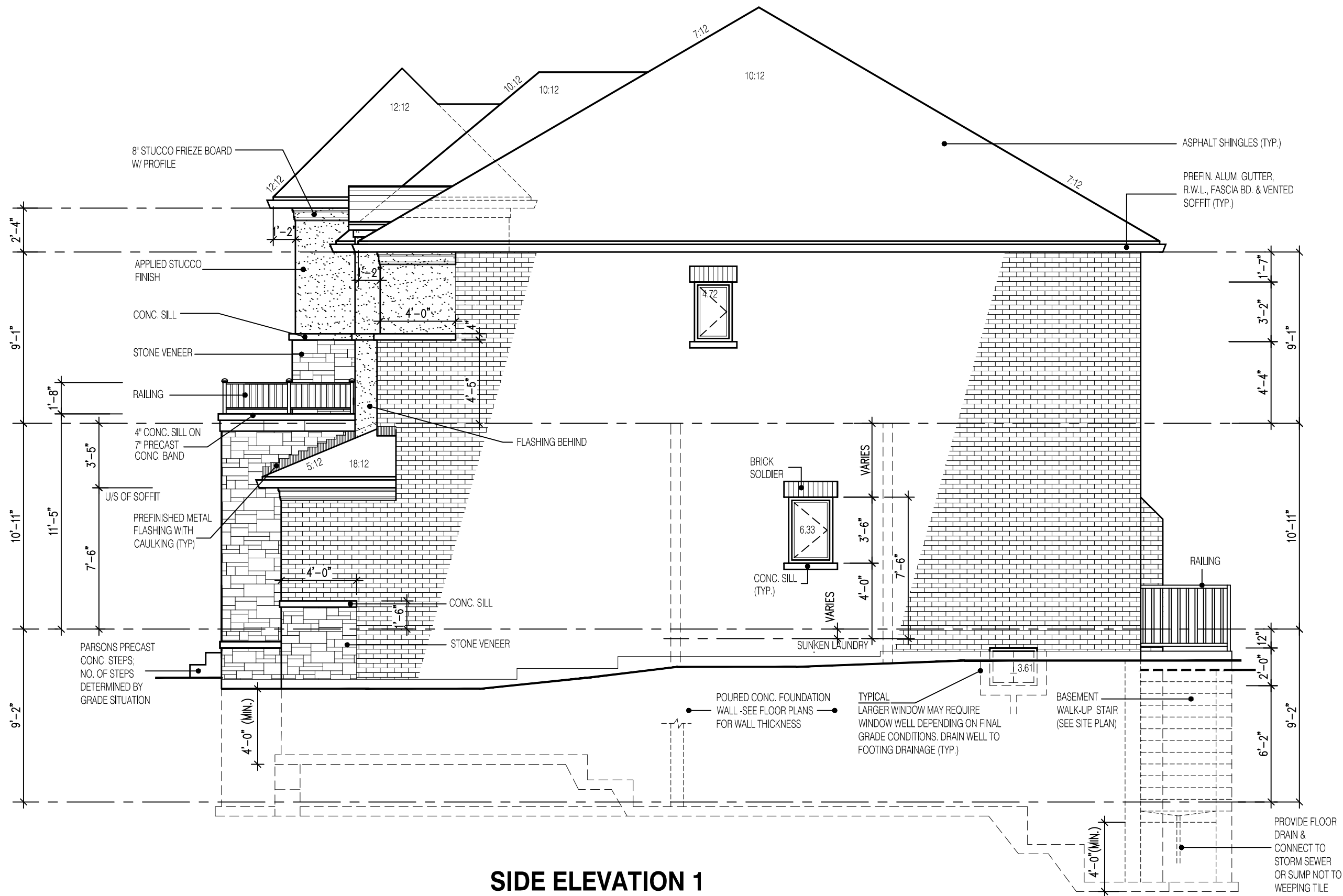
Walter Botter 21031
NAME SIGNATURE BCIN

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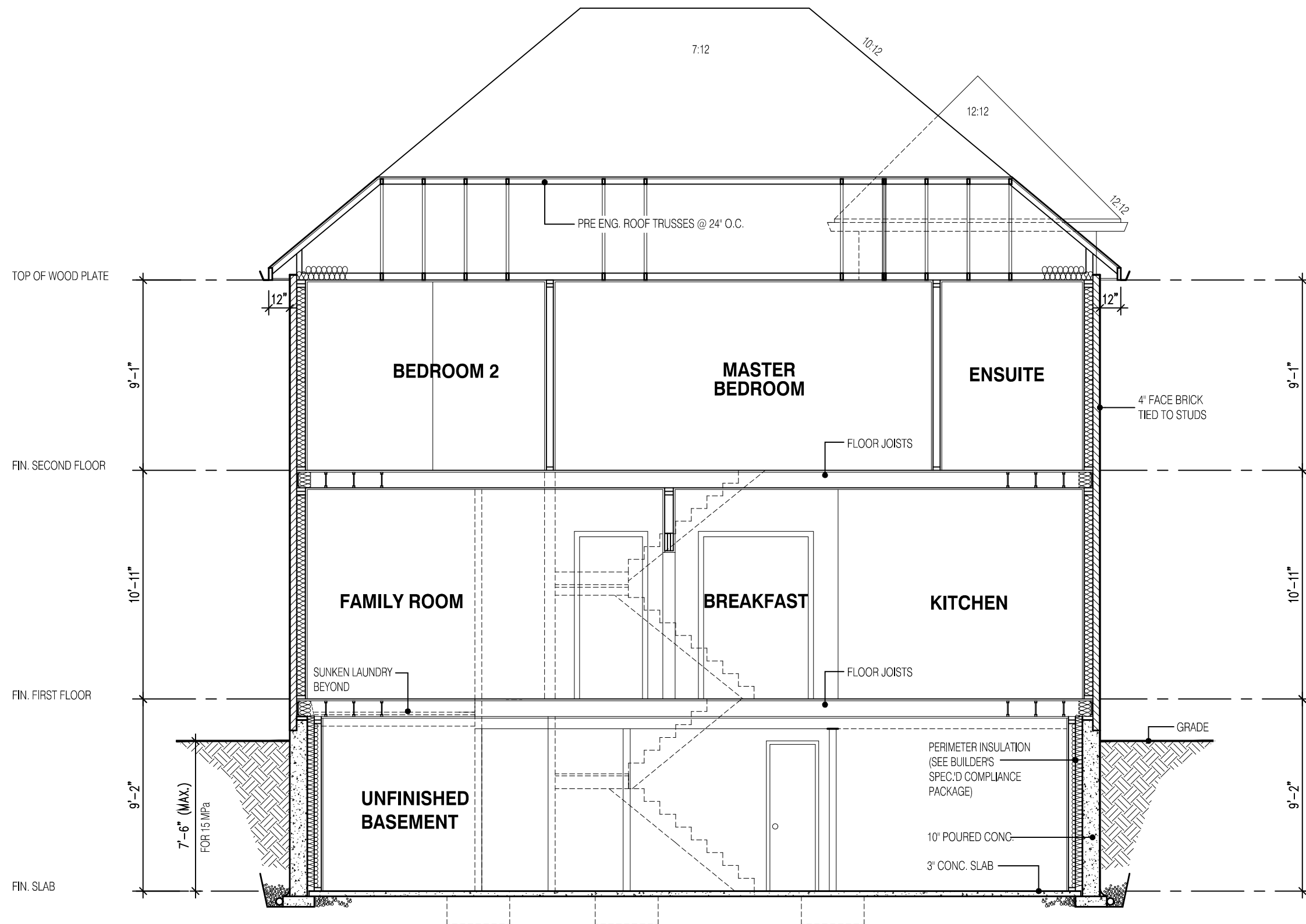
SIDE ELEVATION 1
OSTIENSE
BRAMPTON

	MODEL	T
	SCALE:	3/16" = 1'-0"
	PROJ. No.	DWG. No.
	17-14	7



SIDE ELEVATION 1
UNPROTECTED OPENINGS

WALL AREA	955	⌘
ALLOWABLE GLASS AREA @ 7.0%(1.2m SIDEYARD)	66.85	⌘
ACTUAL GLASS AREA	14.66	⌘



SECTION A-A
ELEVATION 1

STRUDET INC.



FOR STRUCTURE ONLY

3017

AUBURN 3
ELEVATION 1

O.REG. 332/12

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jardin design group inc. 27763
FIRM NAME BCIN

SECTION ELEVATION 1

OSTIENSE
BRAMPTON



MODEL	T
SCALE:	3/16" = 1'-0"
PROJ. No.	DWG. No.
17-14	8