

STRIP FOOTINGS -

FOR SINGLES & SEMIS UP TO 2 STOREY

8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS
20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.

FOUNDATION WALLS WITH ENGINEERED JOISTS OVER 16' SPANS
24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.

FOOTINGS ON ENGINEERED FILL

24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING
BELOW EXTERIOR WALLS.

30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING
BELOW PARTY WALLS.

(REFER TO FOOTING DETAILS ON ENGINEERED FILL)

ASSUME THE LARGER FOOTING SIZE

WHEN TWO CONDITIONS APPLY

ASSUMED 120 KPa (10 p.s.i.) SOIL BEARING CAPACITY OR 90 KPa
ENGINEERED SOIL FILL, TO BE VERIFIED ON SITE.

PAD FOOTINGS

120 KPa NATIVE SOIL

F1 = 42"x42"x18" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD
F5 = 18"x18"x8" CONCRETE PAD

90 KPa ENGINEERED FILL SOIL

F1 = 48"x48"x20" CONCRETE PAD
F2 = 40"x40"x16" CONCRETE PAD
F3 = 34"x34"x14" CONCRETE PAD
F4 = 28"x28"x12" CONCRETE PAD
F5 = 18"x18"x8" CONCRETE PAD

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)

WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC.
FTDN. WALL IS REQUIRED.

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC.
FLAT WORK) TO BE 32 MPa WITH 5-8% AIR ENTRAINMENT

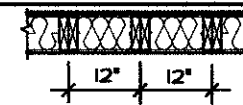
SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL
CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR
SPANS GREATER THAN 7'

REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF
FRAMING INFORMATION

PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL
GRADING PLAN.

REFER TO FLOOR FRAMING SHOP DRAWINGS FOR
ENGINEERED FRAMING LAYOUTS

2-2"x6" STUD WALL NAILED TOGETHER
AND SPACED @ 12" O.C. FULL HT C/M
SOLID BLOCKING 4'-0" O.C. VERTICAL
AND 7/16" EXT. PLYWOOD SHEATHING.



MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 18'-0" AND
MAXIMUM SUPPORTED LENGTH OF TRUSS IS 40'-0"

TWO STORY HEIGHT WALL DETAIL

DOOR SCHEDULE

NOS.	WIDTH	HEIGHT 8'-4" CEILING	HEIGHT 10' OR MORE CEILING	TYPE
1	2'-10"	6'-8"	8'-0"	INSULATED ENTRANCE DOOR
1a	2'-8"	6'-8"	8'-0"	INSULATED FRONT DOORS
2	2'-8"	6'-8"	8'-0"	WOOD & GLASS DOOR
3	2'-8"	6'-8"	8'-0"	EXTERIOR SLAB DOOR
4	2'-8"	6'-8"	8'-0"	INTERIOR SLAB DOOR
5	2'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR
6	2'-2"	6'-8"	8'-0"	INTERIOR SLAB DOOR
7	1'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR

BRICK VENEER LINTELS

ML1 = 3'-1/2"x3'-1/2"x1/4" (100x90x6.0L) + 2-2"x8" SPR. No.2
ML2 = 4'-3/2"x3'-1/2"x1/4" (100x90x6.0L) + 2-2"x8" SPR. No.2
ML3 = 5'-3/2"x3'-1/2"x1/4" (125x90x6.0L) + 2-2"x10" SPR. No.2
ML4 = 6'-3/2"x3'-1/2"x1/4" (150x90x10.0L) + 2-2"x12" SPR. No.2
ML5 = 6'-4"x3/8" (150x100x10.0L) + 2-2"x12" SPR. No.2
ML6 = 5'-3/2"x3'-1/2"x1/4" (125x90x6.0L) + 2-2"x12" SPR. No.2
ML7 = 5'-3/2"x3'-1/2"x1/4" (125x90x6.0L) + 3-2"x10" SPR. No.2
ML8 = 5'-3/2"x3'-1/2"x1/4" (125x90x6.0L) + 3-2"x12" SPR. No.2
ML9 = 6'-4"x3/8" (150x100x10.0L) + 3-2"x12" SPR. No.2

LINTELS AND BEAMS

MB1 = 2-2"x8" SPR. No.2 (2-38x184 SPR. No.2)
MB2 = 3-2"x8" SPR. No.2 (3-38x184 SPR. No.2)
MB3 = 2-2"x10" SPR. No.2 (2-38x235 SPR. No.2)
MB4 = 3-2"x10" SPR. No.2 (3-38x235 SPR. No.2)
MB5 = 2-2"x12" SPR. No.2 (2-38x286 SPR. No.2)
MB6 = 3-2"x12" SPR. No.2 (3-38x286 SPR. No.2)
MB7 = 5-2"x12" SPR. No.2 (5-38x286 SPR. No.2)
MB8 = 4-2"x10" SPR. No.2 (4-38x235 SPR. No.2)
MB9 = 4-2"x12" SPR. No.2 (4-38x286 SPR. No.2)

LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)
LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)
LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)
LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)
LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)
LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)
LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)
LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)
LVL6A = 1-1 3/4" x 11 7/8" (1-45x300)
LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)
LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)
LVL7A = 4-1 3/4" x 11 7/8" (4-45x300)
LVL8 = 2-1 3/4" x 14" (2-45x356)
LVL9 = 3-1 3/4" x 14" (3-45x356)
LVL10 = 2-1 3/4" x 18" (2-45x456)

LVL BEAMS SHALL BE VERSA-LAM 2.0E (Fb=2800psi MIN) OR
EQUIVALENT.

LOOSE STEEL LINTELS

L1 = 3'-1/2"x3'-1/2"x1/4" (100x90x6.0L)
L2 = 4'-3/2"x3'-1/2"x1/4" (100x90x6.0L)
L3 = 5'-3/2"x3'-1/2"x1/4" (125x90x6.0L)
L4 = 6'-3/2"x3'-1/2"x1/4" (150x90x10.0L)
L5 = 6'-4"x3/8" (150x100x10.0L)
L6 = 7'-4"x3/8" (175x100x10.0L)

THE PLANNING
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Design Control Review

I, Richard F. Merrill of The Planning
Partnership Ltd., certify that the
Plans/ Drawings comply with the
approved architectural control
guidelines. This stamp is ONLY
for the purposes of design control
and carries no other professional
obligation.

Reviewed By: _____
Date: _____
Reviewed For:
☐ Final Review
☐ Preliminary Review



5.		
4.		
3.		
2.		
1.	UPDATED FOR LOT 35R	JAN 2017
REVISIONS		

The undersigned has reviewed and takes responsibility for this
design, and has the qualifications and meets the requirements set
out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

NICOLA LOMBARDO 28679
NAME SIGNATURE BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0746

REGION
DESIGN
INC.

SHEET TITLE
AREA CHARTS
ELEV. 2A

SCALE 3/16"=1'-0"
DATE OCT 2016

BY ZMP/VG
TYPE

CONTRACTOR SHALL CHECK ALL
DIMENSIONS AND ELEVATIONS BEFORE
COMMENCING WITH WORK AND REPORT
ANY DISCREPANCIES TO THE DESIGNER.
PRINTS ARE NOT TO BE SCALED.

AREA 1942
PAGE No. 0

PROJECT 01-01-18

Greenpark.

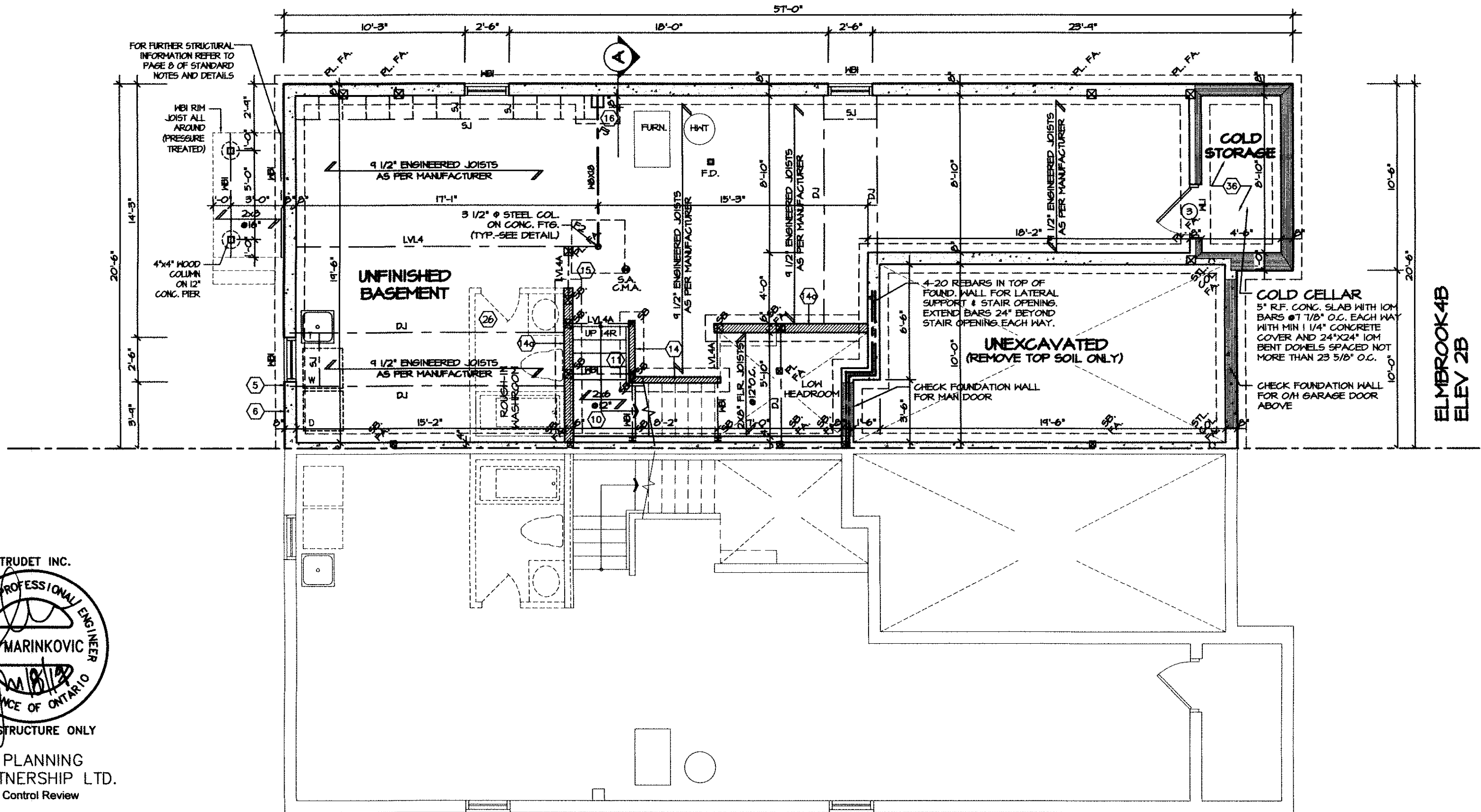
PROJECT NAME
STAR TIME HOME LTD.

ELMBROOK 4B		ELEV. 2B		COMPLIANCE PACKAGE "A1"	
ELEVATION	WALL FT ²	WALL MT ²	OPENING FT ²	OPENING MT ²	PERCENTAGE
FRONT	438.54	40.75	56.55	5.25	12.84 %
LEFT SIDE	1095.04	101.74	0.00	0.00	0.00 %
RIGHT SIDE	1095.04	101.74	82.67	7.68	7.55 %
REAR	1120.12	104.06	121.44	11.33	10.84 %
TOTAL	3748.84	348.28	261.16	24.26	6.97 %

AREA CALCULATIONS ELMBROOK 4B		ELEV. 2B	
GROUND FLOOR AREA	=	867	Sq. Ft.
SECOND FLOOR AREA	=	1070	Sq. Ft.
TOTAL FLOOR AREA	=	1937	Sq. Ft.
1st FLOOR OPEN AREA	= 0	0	Sq. Ft.
2nd FLOOR OPEN AREA	= 10	10	Sq. Ft.
ADD TOTAL OPEN AREAS	=	10	Sq. Ft.
ADD FIN. BASEMENT AREA	=	0	Sq. Ft.
GROSS FLOOR AREA	=	1947	Sq. Ft.
GROUND FLOOR COVERAGE	=	867	Sq. Ft.
GARAGE COVERAGE / AREA	=	217	Sq. Ft.
PORCH COVERAGE / AREA	=	52	Sq. Ft.
TOTAL COVERAGE W/ PORCH	=	1136	Sq. Ft.
	=	105.54	Sq. m.
TOTAL COVERAGE W/O PORCH	=	1084	Sq. Ft.
	=	100.71	Sq. m.

JAN 19 2017

ELMBROOK 4B - 35R
COMPLIANCE PACKAGE "A1"



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Date: _____
Reviewed For:
☐ Final Review
☐ Preliminary Review

5.		
4.		
3.		
2.		
1.	UPDATED FOR LOT 35R	JAN 2017
REVISIONS		

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 2.2.5 of the building code

NICOLA LOMBARDO 28679
NAME SIGNATURE BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0746

REGION
DESIGN
INC.

SHEET TITLE
BASEMENT PLAN
ELEV. 2A

SCALE 3/16"=1'-0"
DATE MAR 2016

BY ZMP/VG
TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

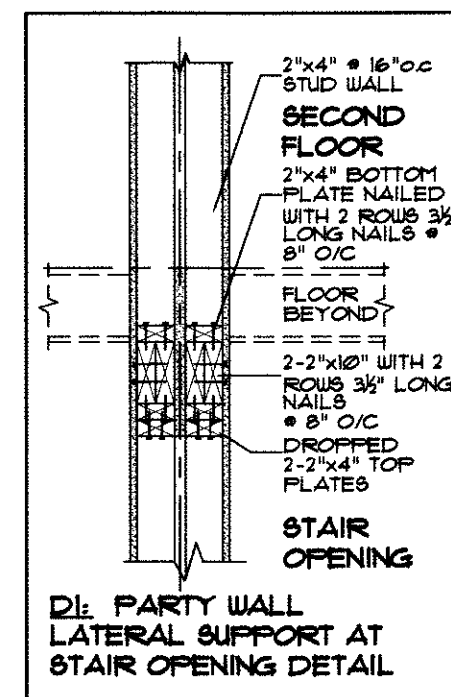
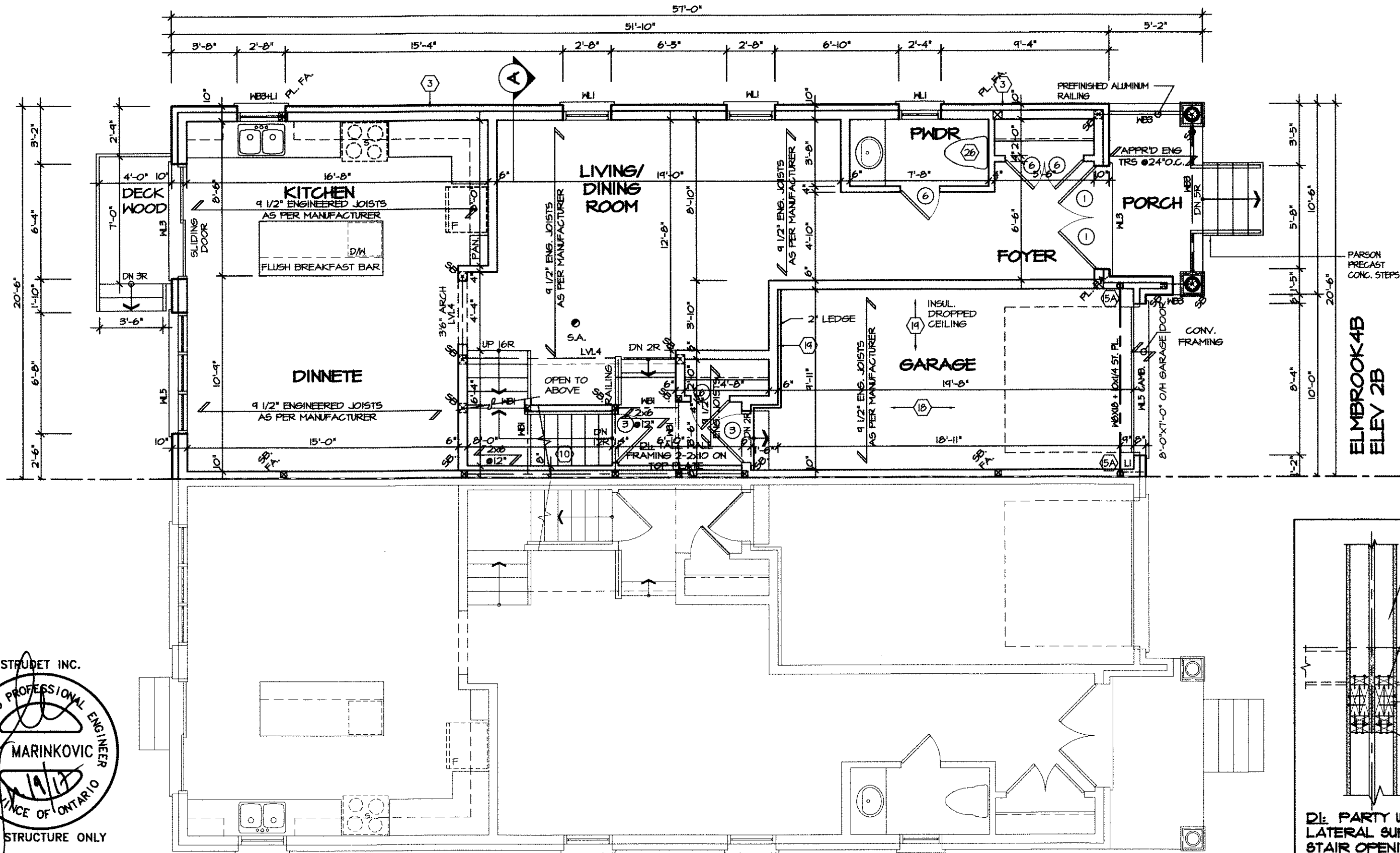
AREA 1942
PROJECT 01-01-18

PAGE No.
1-2

Greenpark.

PROJECT NAME
STAR TIME HOME LTD.

JAN 19 2017
ELMBROOK 4B - 35R
COMPLIANCE PACKAGE "A1"



GROUND FLOOR PLAN 2

REFER TO SHEET NO. 0 FOR LINTEL, BEAMS AND DOOR SIZES

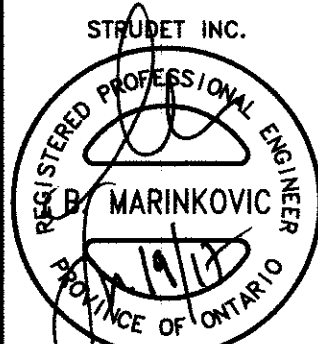
SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

REFER TO FLOOR FRAMING SHOP DRAWINGS FOR ENGINEERED FRAMING LAYOUTS

ALL SUBFLOORS TO BE 3/4" PLY AND TO BE GLUED AND NAILED ON THIS FLOOR.

JAN 19 2017

ELMBROOK 4B - 35R COMPLIANCE PACKAGE "A1"



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☐ Final Review
☐ Preliminary Review

REVISIONS	
5.	
4.	
3.	
2.	
1.	UPDATED FOR LOT 35R JAN 2017

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QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.6 of the building code

NICOLA LOMBARDO 28679
NAME SIGNATURE BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0746

**REGION
DESIGN
INC.**

SHEET TITLE
**FIRST FLOOR PLAN
ELEV. 2A**

SCALE 3/16"=1'-0"
DATE MAR 2016

BY ZMP/VG
TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

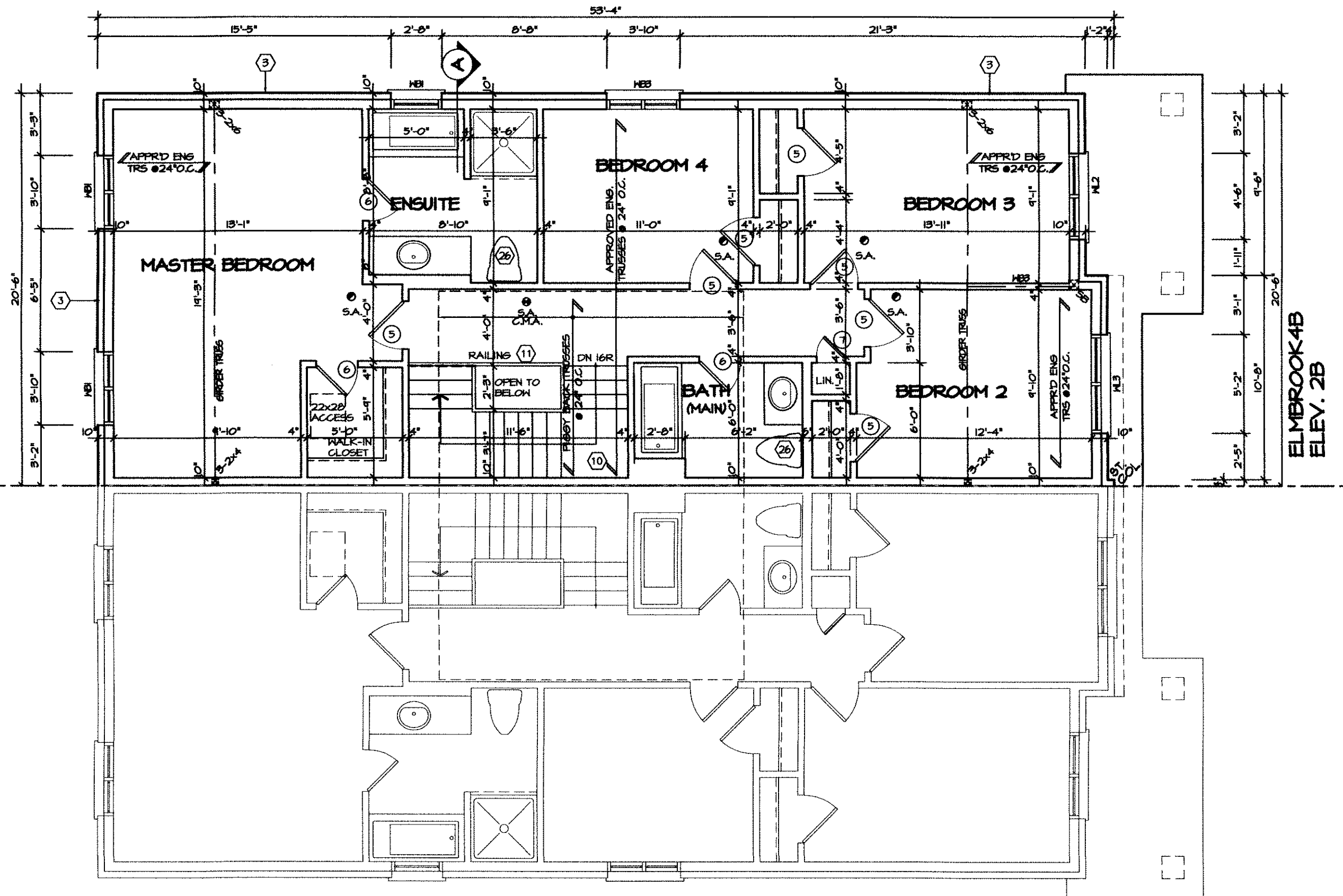
AREA 1942
PAGE No. 2-2
PROJECT 01-01-18

Greenpark.

PROJECT NAME
STAR TIME HOME LTD.

STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM

REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM. REFER TO OBC 9.5.2.3, 3.8.3.8.(1)(d) & 3.8.3.13.(1)(f)



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☐ Preliminary Review

JAN 19 2017

ELMBROOK 4B - 35R
COMPLIANCE PACKAGE "A1"

5. _____ 4. _____ 3. _____ 2. _____ 1. UPDATED FOR LOT 35R JAN 2017 REVISIONS	The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.3 of the building code NICOLA LOMBARDO 28679 NAME SIGNATURE BCIN	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4096 F (905) 660-0746	SHEET TITLE SECOND FLOOR PLAN ELEV. 2A SCALE 3/16"=1'-0" DATE MAR 2016	CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED. AREA 1942 PROJECT 01-01-18	Greenpark. PROJECT NAME STAR TIME HOME LTD.
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Date: _____
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☐ Preliminary Review

ELMBROOK 4B - 35L
FRONT ELEV 2A

ELMBROOK 4B - 35R
FRONT ELEV 2B

ELMBROOK 4B - 35R
COMPLIANCE PACKAGE "A1"

5.		
4.		
3.		
2.		
1.	UPDATED FOR LOT 35R	JAN 2017
REVISIONS		

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design, and has the qualifications and meets the requirements set
out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

NICOLA LOMBARDO 28679
NAME SIGNATURE BCIN

REGION DESIGN INC.
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P (416) 738-4096
F (905) 660-0748

REGION
DESIGN
INC.

SHEET TITLE
FRONT ELEVATION
ELEV. 2A

SCALE 3/16"=1'-0"
DATE MAR 2016

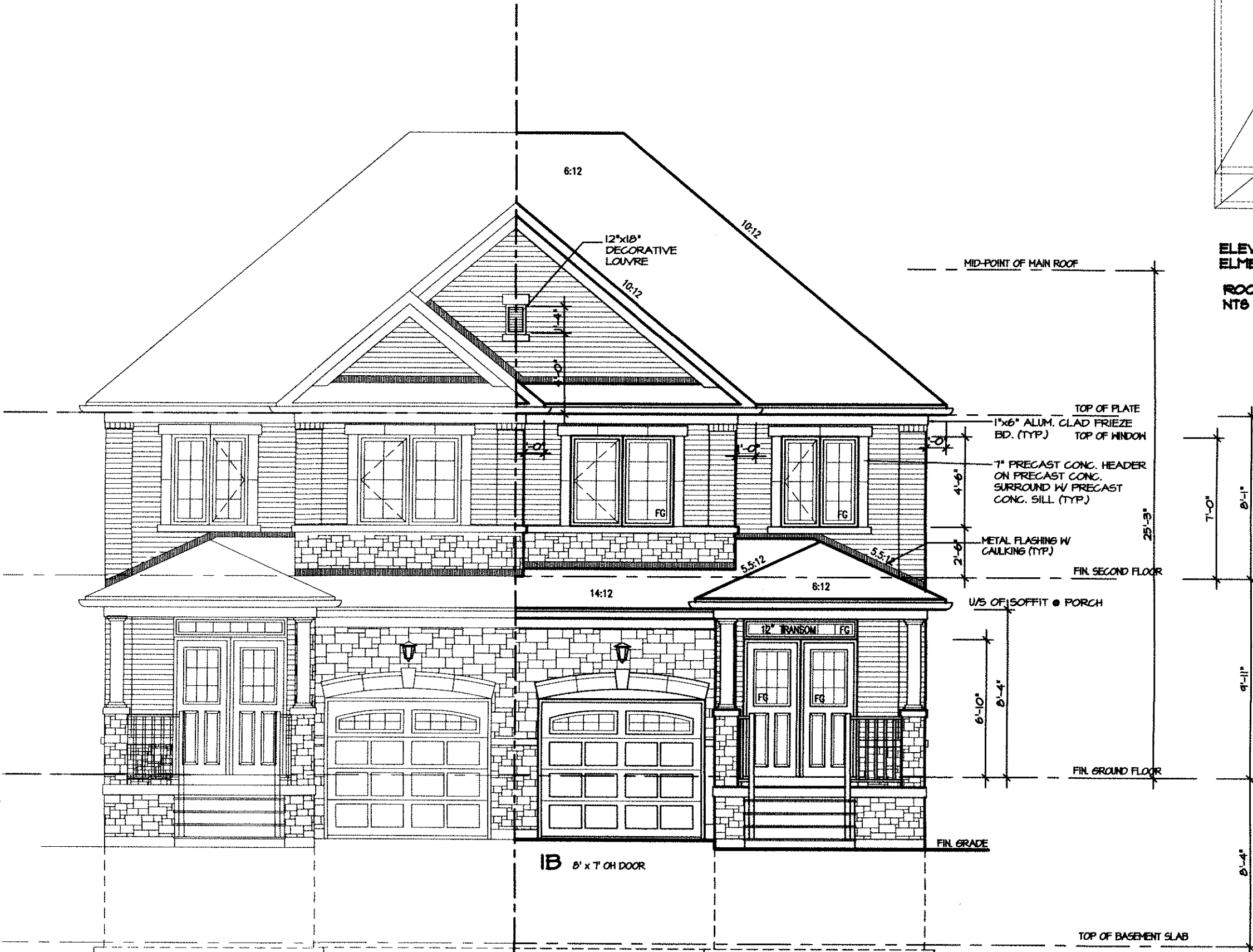
BY ZMP/VG
TYPE

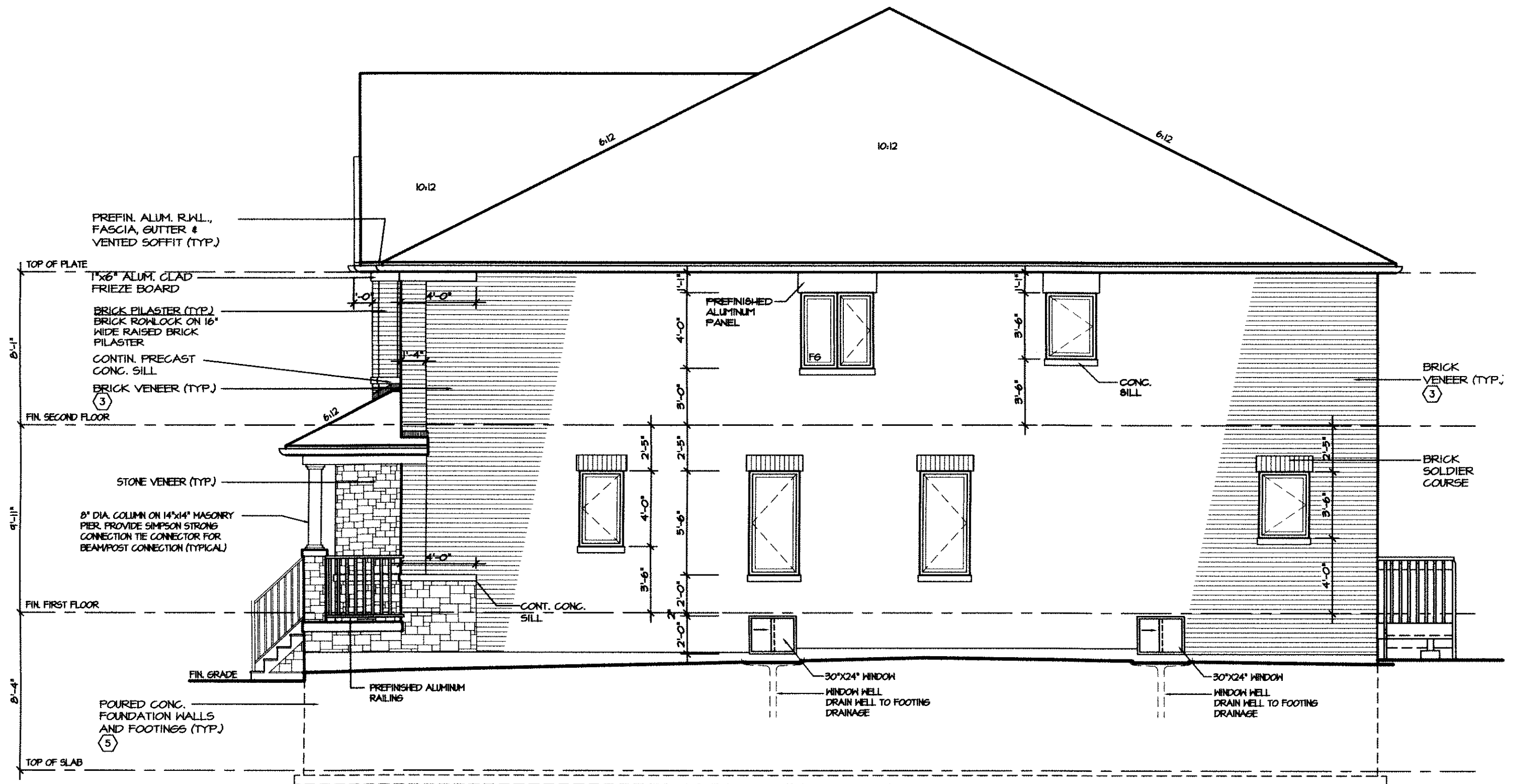
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AREA 1942
PAGE No. 4-2
PROJECT 01-01-18

Greenpark.

PROJECT NAME
STAR TIME HOME LTD.





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ALLOWABLE GLAZING

WALL AREA

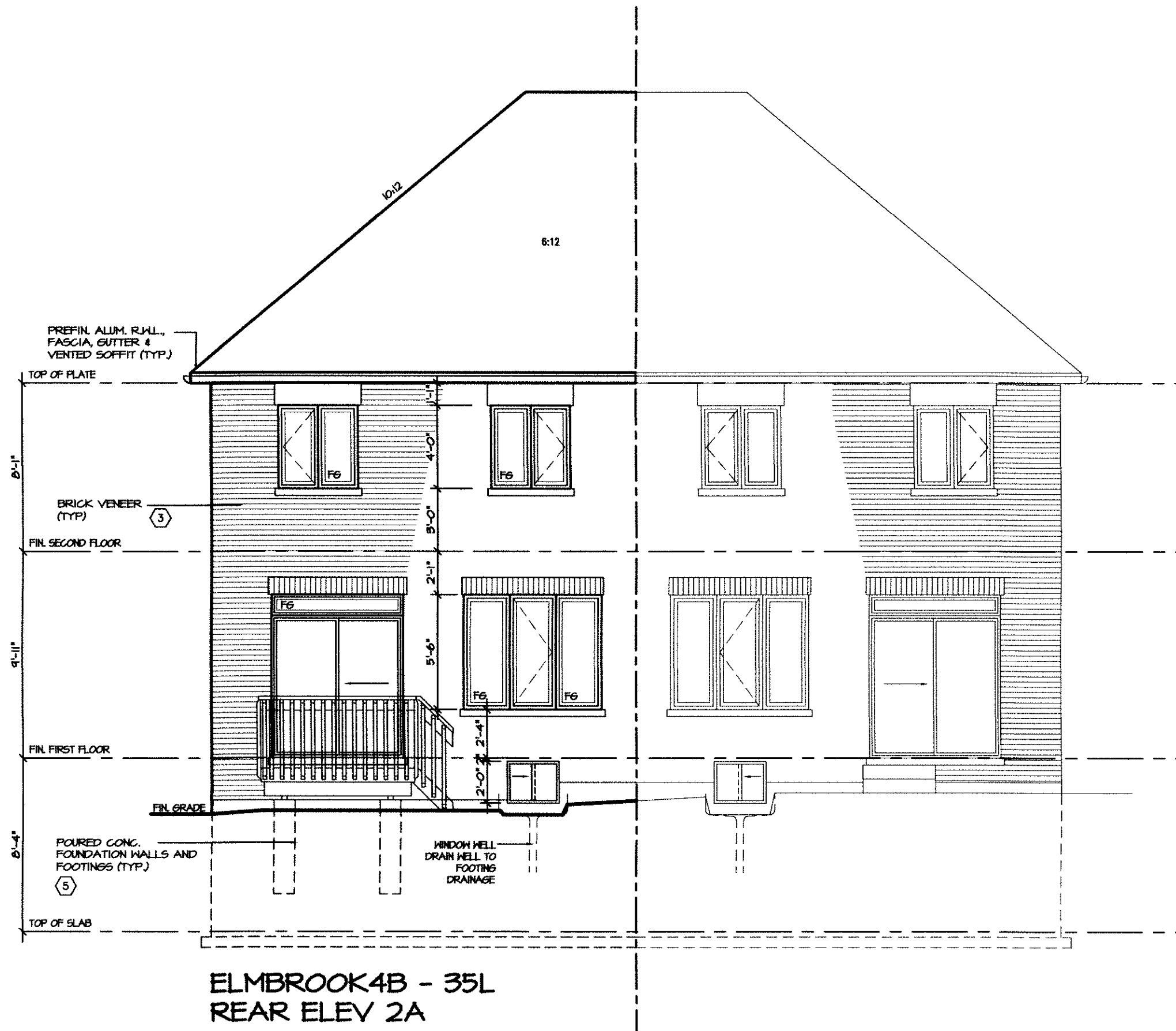
WALL AREA	1040.68
ALLOWABLE WINDOW AREA @ 7.00 % (1.2 M SIDEYARD)	72.85
ACTUAL WINDOW AREA	57.60

ELMBROOK 4B-35R RIGHT ELEVATION 2B

JAN 19 2017

ELMBROOK 4B - 35R COMPLIANCE PACKAGE "A1"

5. _____ 4. _____ 3. _____ 2. _____ 1. _____ REVISIONS	The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.1 of the building code NICOLA LOMBARDO <i>[Signature]</i> 28679 NAME SIGNATURE BCIN	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4096 F (905) 660-0746	REGION DESIGN INC.	SHEET TITLE RIGHT SIDE ELEVATION ELEV. 2A SCALE 3/16"=1'-0" DATE MAR 2016	BY ZMP/VG TYPE	AREA 1942 PROJECT 01-01-18	PAGE No. 5-2	CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED. Greenpark. PROJECT NAME STAR TIME HOME LTD.
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THE PLANNING
PARTNERSHIP LTD.
Design Control Review

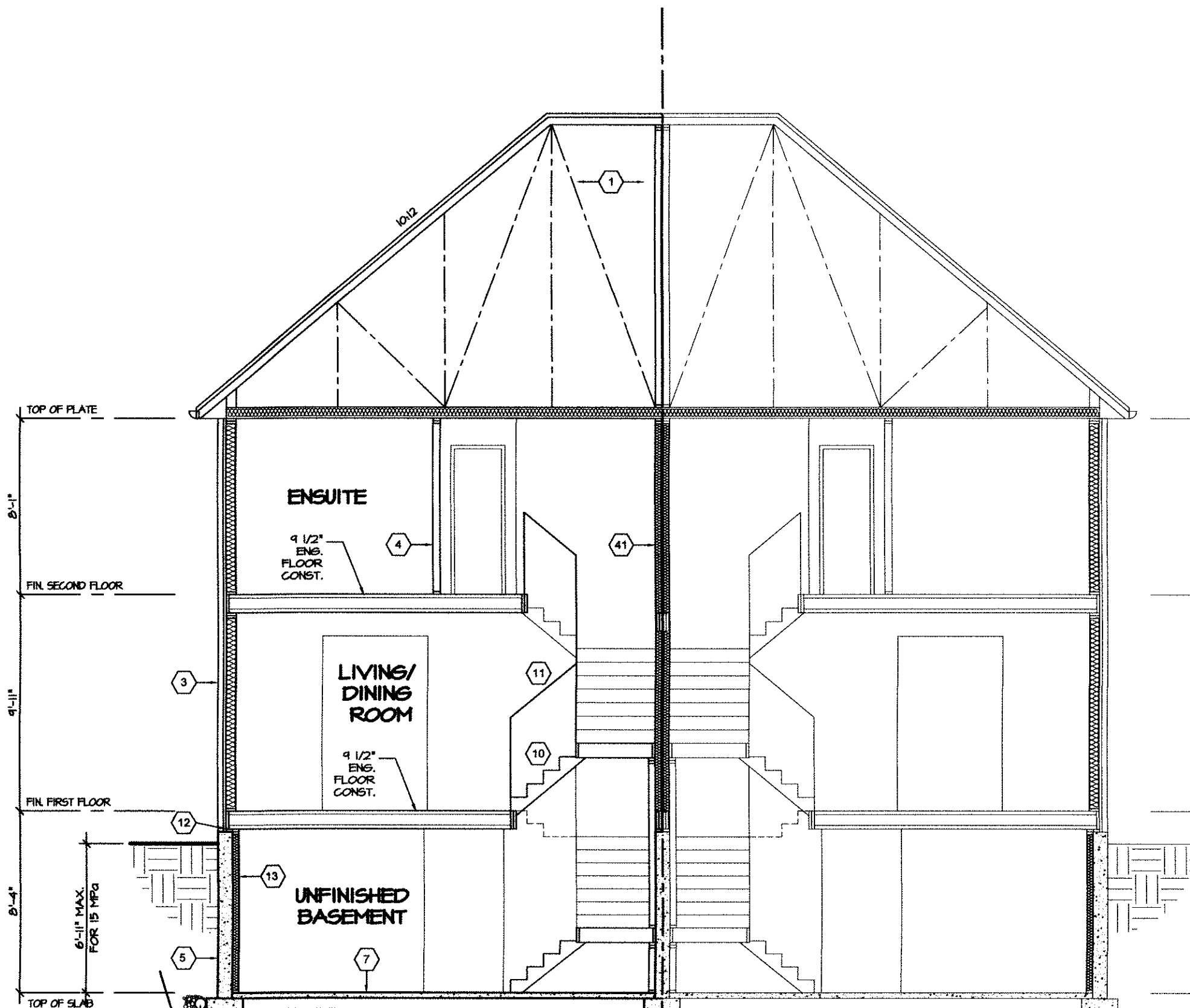
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☐ Preliminary Review

JAN 19 2017

ELMBROOK 4B - 35R
COMPLIANCE PACKAGE "A1"

5.			The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division F, Subsection 3.2.5 of the building code NICOLA LOMBARDO <i>[Signature]</i> 28679 NAME SIGNATURE BCIN	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4096 F (905) 660-0746	REGION DESIGN INC.	SHEET TITLE REAR ELEVATION 2 ELEV. 2A		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.		 Greenpark.	
4.						SCALE 3/16"=1'-0"	BY ZMP/VG	AREA 1942	PAGE No. 6-2		PROJECT NAME STAR TIME HOME LTD.
3.						DATE MAR 2016	TYPE	PROJECT 01-01-18			
2.											
1.	UPDATED FOR LOT 35R	JAN 2017									
REVISIONS											



ELMBROOK4B
ELEVATION 2B

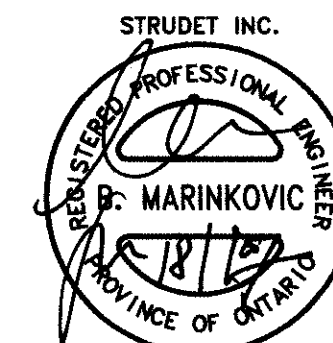
ELMBROOK4B
ELEVATION 2A

A-A BUILDING SECTION

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JAN 19 2017

FOR STRUCTURE ONLY
ELMBROOK 4B - 35R
COMPLIANCE PACKAGE "A1"

5.			The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division 7, Subsection 3.2.5 of the building code NICOLA LOMBARDO <i>[Signature]</i> 28679 NAME SIGNATURE BCIN	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4096 F (905) 660-0746	REGION DESIGN INC.	SHEET TITLE		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.		 Greenpark. PROJECT NAME STAR TIME HOME LTD.
4.						CROSS SECTION ELEV. 2A				
3.						SCALE 3/16"=1'-0"	BY ZMP/VG	AREA 1942	PAGE No. 7	
2.						DATE MAR 2016	TYPE	PROJECT 01-01-18		
1.	UPDATED FOR LOT 35R	JAN 2017								
REVISIONS										