

**STRIP FOOTINGS -**  
**FOR SINGLES & SEMIS UP TO 2 STOREY**  
 8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS  
 20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.  
 24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.

FOUNDATION WALLS WITH ENGINEERED JOISTS OVER 16' SPANS  
 24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.

FOOTINGS ON ENGINEERED FILL  
 24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING  
 BELOW EXTERIOR WALLS.  
 30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING  
 BELOW PARTY WALLS.  
 (REFER TO FOOTING DETAILS ON ENGINEERED FILL)  
**ASSUME THE LARGER FOOTING SIZE  
 WHEN TWO CONDITIONS APPLY**

ASSUMED 120 KPa (18 p.s.i.) SOIL BEARING CAPACITY OR 90 KPa  
 ENGINEERED SOIL FILL, TO BE VERIFIED ON SITE.

**PAD FOOTINGS**  
 120 KPa NATIVE SOIL 90 KPa ENGINEERED FILL SOIL

F1 = 42"x42"x18" CONCRETE PAD F1 = 48"x48"x20" CONCRETE PAD  
 F2 = 36"x36"x16" CONCRETE PAD F2 = 40"x40"x16" CONCRETE PAD  
 F3 = 30"x30"x12" CONCRETE PAD F3 = 34"x34"x14" CONCRETE PAD  
 F4 = 24"x24"x12" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD  
 F5 = 16"x16"x8" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)

PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL  
 GRADING PLAN.

REFER TO FLOOR FRAMING SHOP DRAWINGS FOR  
 ENGINEERED FRAMING LAYOUTS



WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC.  
 FDTN. WALL IS REQUIRED.

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC.  
 FLAT WORK) TO BE 32 MPa WITH 5-8% AIR ENTRAINMENT

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL  
 CERAMIC TILE AREAS.  
 PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR  
 SPANS GREATER THAN 7'

REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF  
 FRAMING INFORMATION

**DOOR SCHEDULE**

NOS.	WIDTH	HEIGHT 8'-4" CEILING	HEIGHT 10' OR MORE CEILING	TYPE
1	2'-10"	6'-8"	8'-0"	INSULATED ENTRANCE DOOR
1a	2'-8"	6'-8"	8'-0"	INSULATED FRONT DOORS
2	2'-8"	6'-8"	8'-0"	WOOD & GLASS DOOR
3	2'-8"	6'-8"	8'-0"	EXTERIOR SLAB DOOR
4	2'-8"	6'-8"	8'-0"	INTERIOR SLAB DOOR
5	2'-8"	6'-8"	8'-0"	INTERIOR SLAB DOOR
6	2'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR
7	1'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR

**BRICK VENEER LINTELS**

ML1 = 3-1/2"x3-1/2"x1/4" (90x90x6.0L) + 2-2"x8" SPR. No.2  
 ML2 = 4"x3-1/2"x5/16" (100x90x8.0L) + 2-2"x8" SPR. No.2  
 ML3 = 5"x3-1/2"x5/16" (125x90x8.0L) + 2-2"x10" SPR. No.2  
 ML4 = 6"x3-1/2"x3/8" (150x90x10.0L) + 2-2"x12" SPR. No.2  
 ML5 = 6"x4"x3/8" (150x100x10.0L) + 2-2"x12" SPR. No.2  
 ML6 = 5"x3-1/2"x5/16" (125x90x8.0L) + 2-2"x12" SPR. No.2  
 ML7 = 5"x3-1/2"x5/16" (125x90x8.0L) + 3-2"x10" SPR. No.2  
 ML8 = 5"x3-1/2"x5/16" (125x90x8.0L) + 3-2"x12" SPR. No.2  
 ML9 = 6"x4"x3/8" (150x100x10.0L) + 3-2"x12" SPR. No.2

**LINTELS AND BEAMS**

MB1 = 2-2"x8" SPR. No.2 (2-38x184 SPR. No.2)  
 MB2 = 3-2"x8" SPR. No.2 (3-38x184 SPR. No.2)  
 MB3 = 2-2"x10" SPR. No.2 (2-38x235 SPR. No.2)  
 MB4 = 3-2"x10" SPR. No.2 (3-38x235 SPR. No.2)  
 MB5 = 2-2"x12" SPR. No.2 (2-38x286 SPR. No.2)  
 MB6 = 3-2"x12" SPR. No.2 (3-38x286 SPR. No.2)  
 MB7 = 5-2"x12" SPR. No.2 (5-38x286 SPR. No.2)  
 MB11 = 4-2"x10" SPR. No.2 (4-38x235 SPR. No.2)  
 MB12 = 4-2"x12" SPR. No.2 (4-38x286 SPR. No.2)

**LAMINATED VENEER LUMBER (LVL) BEAMS**

LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)  
 LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)  
 LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)  
 LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)  
 LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)  
 LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)  
 LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)  
 LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)  
 LVL6A = 1-1 3/4" x 11 1/8" (1-45x300)  
 LVL6 = 2-1 3/4" x 11 1/8" (2-45x300)  
 LVL7 = 3-1 3/4" x 11 1/8" (3-45x300)  
 LVL7A = 4-1 3/4" x 11 1/8" (4-45x300)  
 LVL8 = 2-1 3/4" x 14" (2-45x356)  
 LVL9 = 3-1 3/4" x 14" (3-45x356)  
 LVL10 = 2-1 3/4" x 18" (2-45x456)

LVL BEAMS SHALL BE VERSA-LAM 2.0E (Fb=2800psi MIN.) OR  
 EQUIVALENT.

**LOOSE STEEL LINTELS**

L1 = 3-1/2"x3-1/2"x1/4" (90x90x6.0L)  
 L2 = 4"x3-1/2"x5/16" (100x90x8.0L)  
 L3 = 5"x3-1/2"x5/16" (125x90x8.0L)  
 L4 = 6"x3-1/2"x3/8" (150x90x10.0L)  
 L5 = 6"x4"x3/8" (150x100x10.0L)  
 L6 = 7"x4"x3/8" (175x100x10.0L)

**ELMBROOK 4B - ELEV. 3**

ELEVATION	WALL FT <sup>2</sup> (WALL M <sup>2</sup> )	OPENING FT <sup>2</sup> (OPENING M <sup>2</sup> )	PERCENTAGE
FRONT	406.58 (37.77)	46.17 (4.29)	11.36 %
LEFT SIDE	1040.68 (96.68)	79.33 (7.37)	7.62 %
RIGHT SIDE	1040.68 (96.68)	0.00 (0.00)	0.00 %
REAR	403.17 (37.46)	120.28 (11.17)	29.83 %
<b>TOTAL</b>	<b>2891.11 FT<sup>2</sup> (268.59 M<sup>2</sup>)</b>	<b>245.78 FT<sup>2</sup> (22.83 M<sup>2</sup>)</b>	<b>8.50 %</b>

COMPLIANCE PACKAGE "A1"

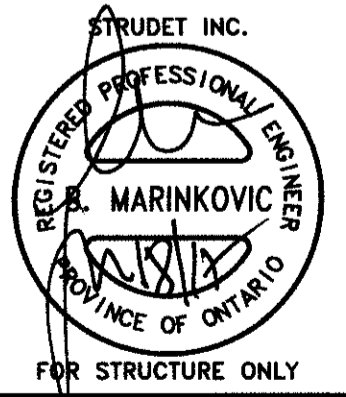
**AREA CALCULATIONS ELMBROOK 4B ELEV.3**

GROUND FLOOR AREA	=	867 Sq. Ft.
SECOND FLOOR AREA	=	1065 Sq. Ft.
<b>TOTAL FLOOR AREA</b>	=	<b>1932 Sq. Ft.</b>
1st FLOOR OPEN AREA	=	0 Sq. Ft.
2nd FLOOR OPEN AREA	=	10 Sq. Ft.
ADD TOTAL OPEN AREAS	=	10 Sq. Ft.
ADD FIN. BASEMENT AREA	=	0 Sq. Ft.
<b>GROSS FLOOR AREA</b>	=	<b>1942 Sq. Ft.</b>
GROUND FLOOR COVERAGE	=	867 Sq. Ft.
GARAGE COVERAGE / AREA	=	217 Sq. Ft.
PORCH COVERAGE / AREA	=	52 Sq. Ft.
<b>TOTAL COVERAGE W/ PORCH</b>	=	<b>1136 Sq. Ft.</b>
	=	105.54 Sq. m.
<b>TOTAL COVERAGE W/O PORCH</b>	=	<b>1084 Sq. Ft.</b>
	=	100.71 Sq. m.

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 Partnership Ltd., certify that the  
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 Date: \_\_\_\_\_  
 Reviewed For:  
 Final Review  
 Preliminary Review



JAN 19 2017

**ELMBROOK 4B - 34R**  
 COMPLIANCE PACKAGE "A1"

NO.	REVISIONS	DATE
1.	UPDATED FOR LOT 34	JAN 2017

The undersigned has reviewed and takes responsibility for this  
 design, and has the qualifications and meets the requirements set  
 out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION  
 Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

NICOLA LOMBARDO 28679  
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SHEET TITLE  
**AREA CHARTS**

SCALE 3/16"=1'-0"  
 DATE OCT 2016

BY ZMP/VG  
 TYPE

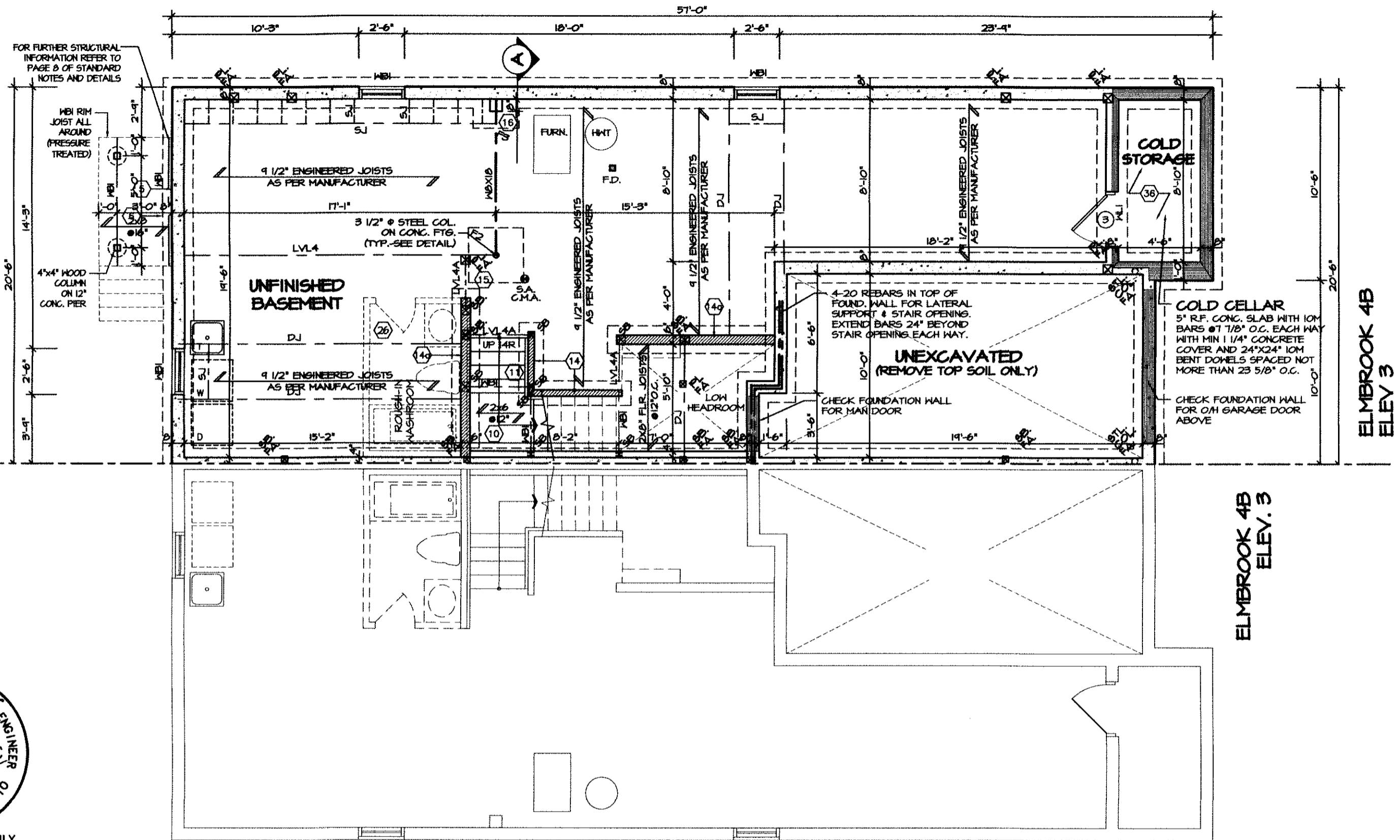
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 DIMENSIONS AND ELEVATIONS BEFORE  
 COMMENCING WITH WORK AND REPORT  
 ANY DISCREPANCIES TO THE DESIGNER.  
 PRINTS ARE NOT TO BE SCALED.

AREA 1942  
 PAGE No. 0

PROJECT 01-01-15

**Greenpark.**

PROJECT NAME  
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ELMBROOK 4B  
ELEV 3

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ELEV. 3



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**BASEMENT PLAN 3**

REFER TO SHEET NO. 0 FOR LINTEL, BEAMS AND DOOR SIZES

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

REFER TO FLOOR FRAMING SHOP DRAWINGS FOR ENGINEERED FRAMING LAYOUTS

ALL SUBFLOORS TO BE 3/4" PLY AND TO BE GLUED AND NAILED ON THIS FLOOR.

JAN 19 2017

**ELMBROOK 4B - 34R**  
COMPLIANCE PACKAGE "A1"

NO.	REVISIONS	DATE
1.	UPDATED FOR LOT 34	JAN 2017

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SHEET TITLE  
**BASEMENT PLAN**  
ELEV. 3

SCALE 3/16"=1'-0"  
DATE OCT 2016

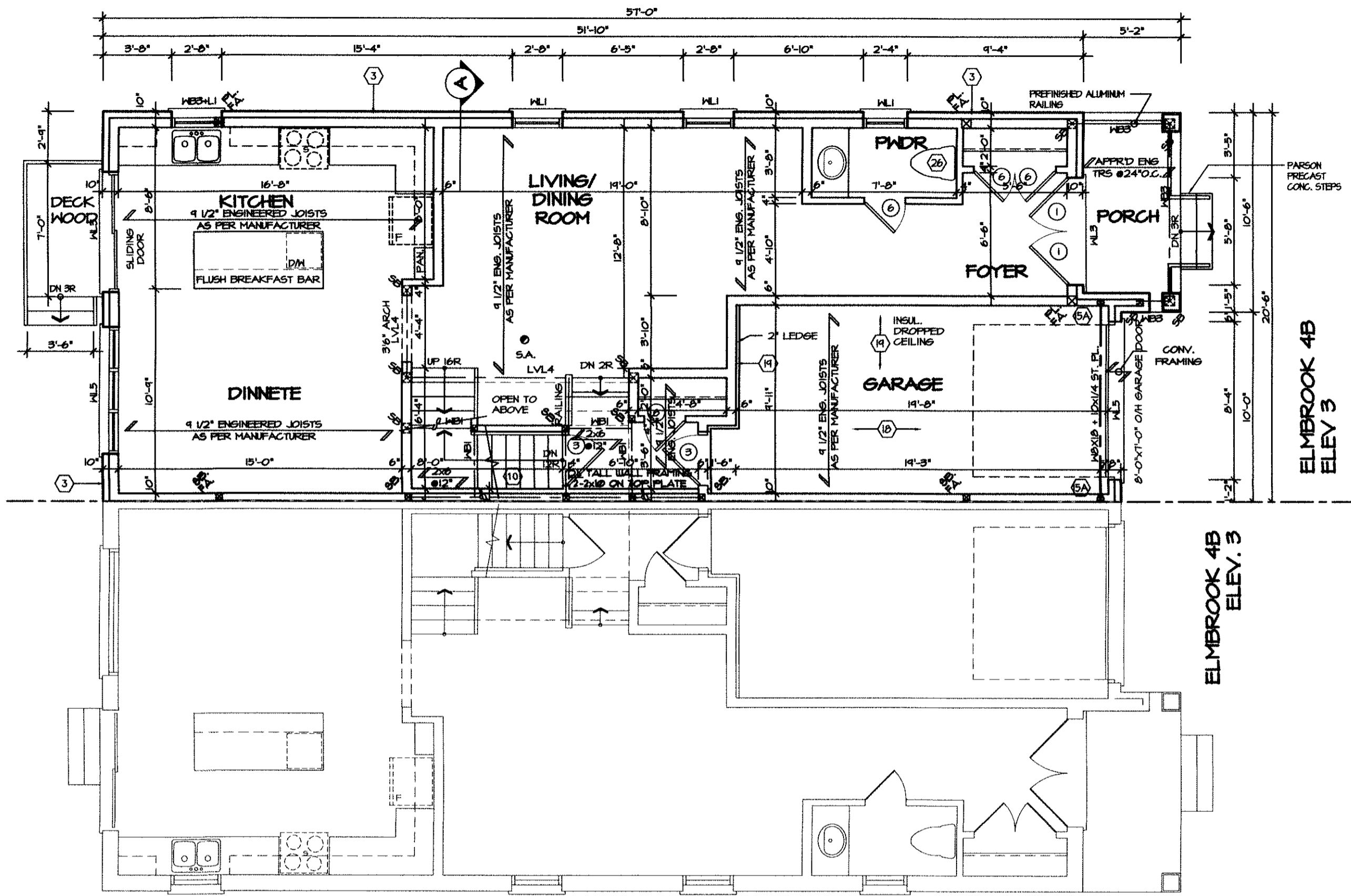
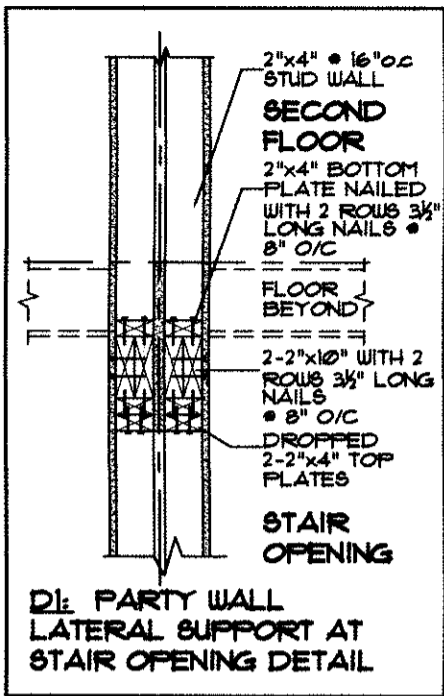
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TYPE

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**GROUND FLOOR PLAN 3**

REFER TO SHEET NO. 0 FOR LINTEL BEAMS AND DOOR SIZES	REFER TO FLOOR FRAMING SHOP DRAWING FOR ENGINEERED FRAMING LAYOUTS
SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7'	ALL SUBFLOORS TO BE 5/8" PLY AND TO BE GLUED AND NAILED ON THIS FLOOR.

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**ELMBROOK 4B - 34R**  
COMPLIANCE PACKAGE "A1"



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Reviewed For:  
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 Preliminary Review

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SHEET TITLE  
**FIRST FLOOR PLAN**  
ELEV. 3

SCALE 3/16"=1'-0"  
DATE OCT 2016

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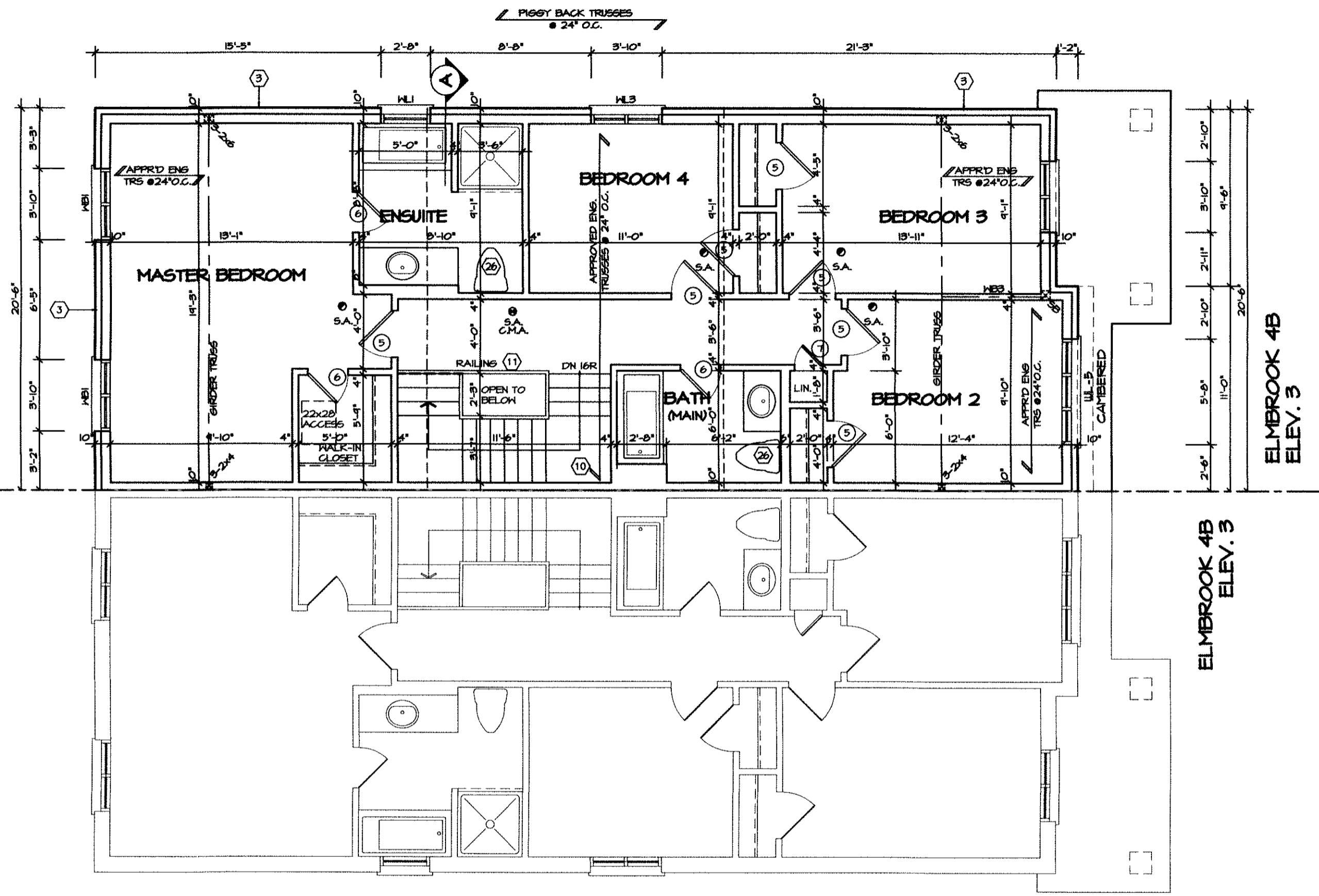
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**STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM**

REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM. REFER TO OBC, 4.5.2.3, 3.9.3.9.(1)(d) & 3.9.3.13.(1)(f)



ELMBROOK 4B  
ELEV. 3

ELMBROOK 4B  
ELEV. 3



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**ELMBROOK 4B - 34L**  
COMPLIANCE PACKAGE "A1"

NO.	REVISIONS	DATE
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SHEET TITLE  
**SECOND FLOOR PLAN**  
ELEV. 3

SCALE 3/16"=1'-0"  
DATE OCT 2016

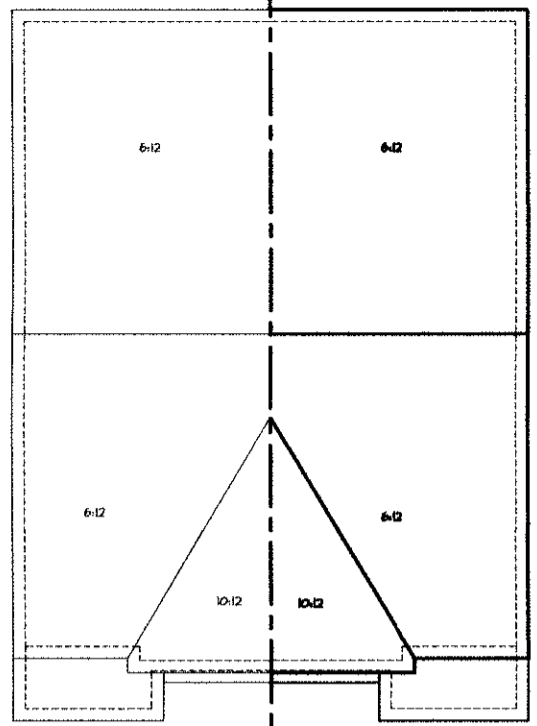
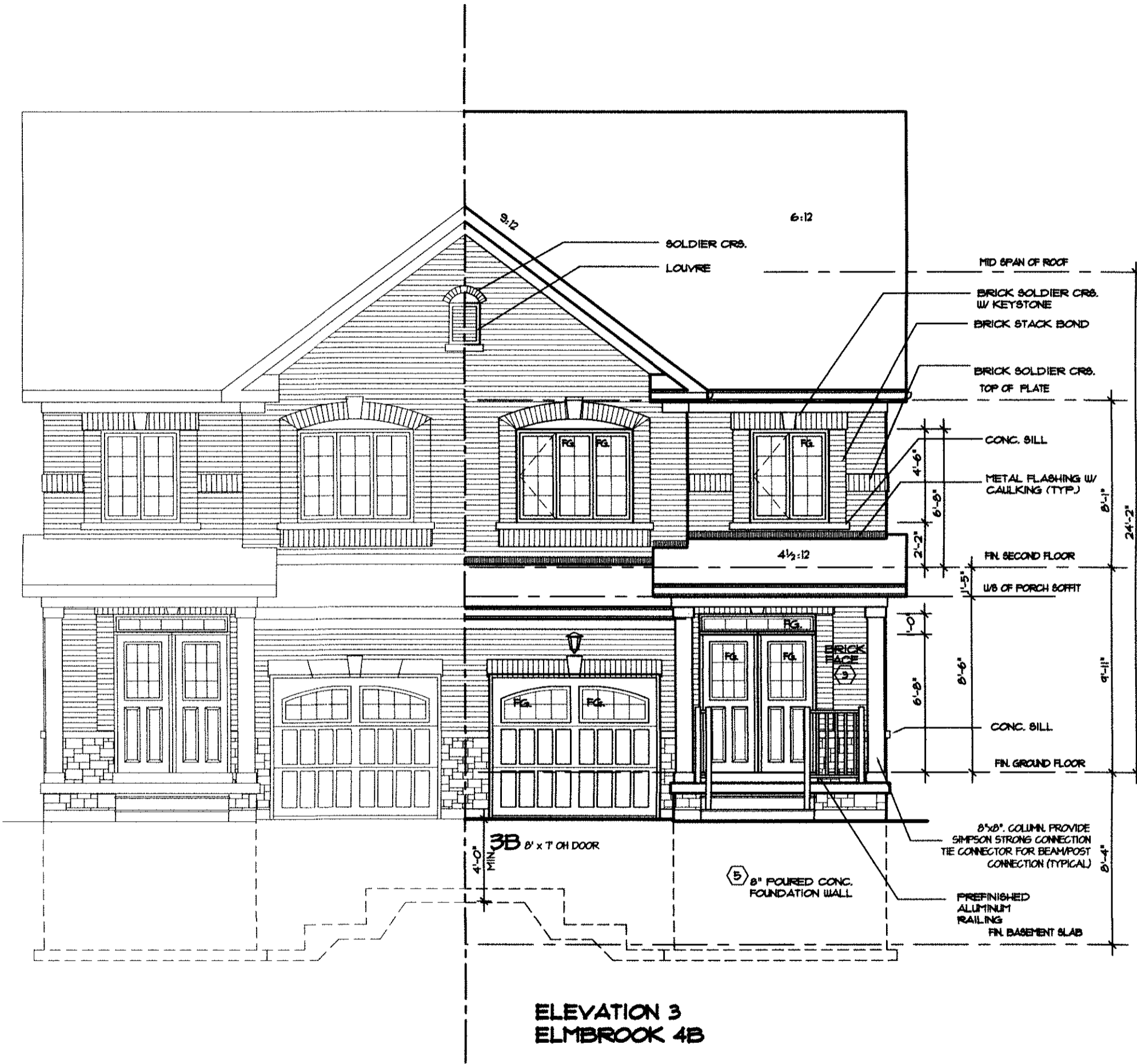
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TYPE

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PROJECT 01-01-15

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ELEVATION 3  
ELMBROOK 4B  
ROOF PLAN  
NTS

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ELEVATION 3  
ELMBROOK 4B

JAN 19 2017

ELMBROOK 4B - 34R  
COMPLIANCE PACKAGE "A1"

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1.	UPDATED FOR LOT 34	JAN 2017
REVISIONS		

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SHEET TITLE  
FRONT ELEVATION  
ELEV. 3

SCALE 3/16"=1'-0"  
DATE OCT 2016

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TYPE

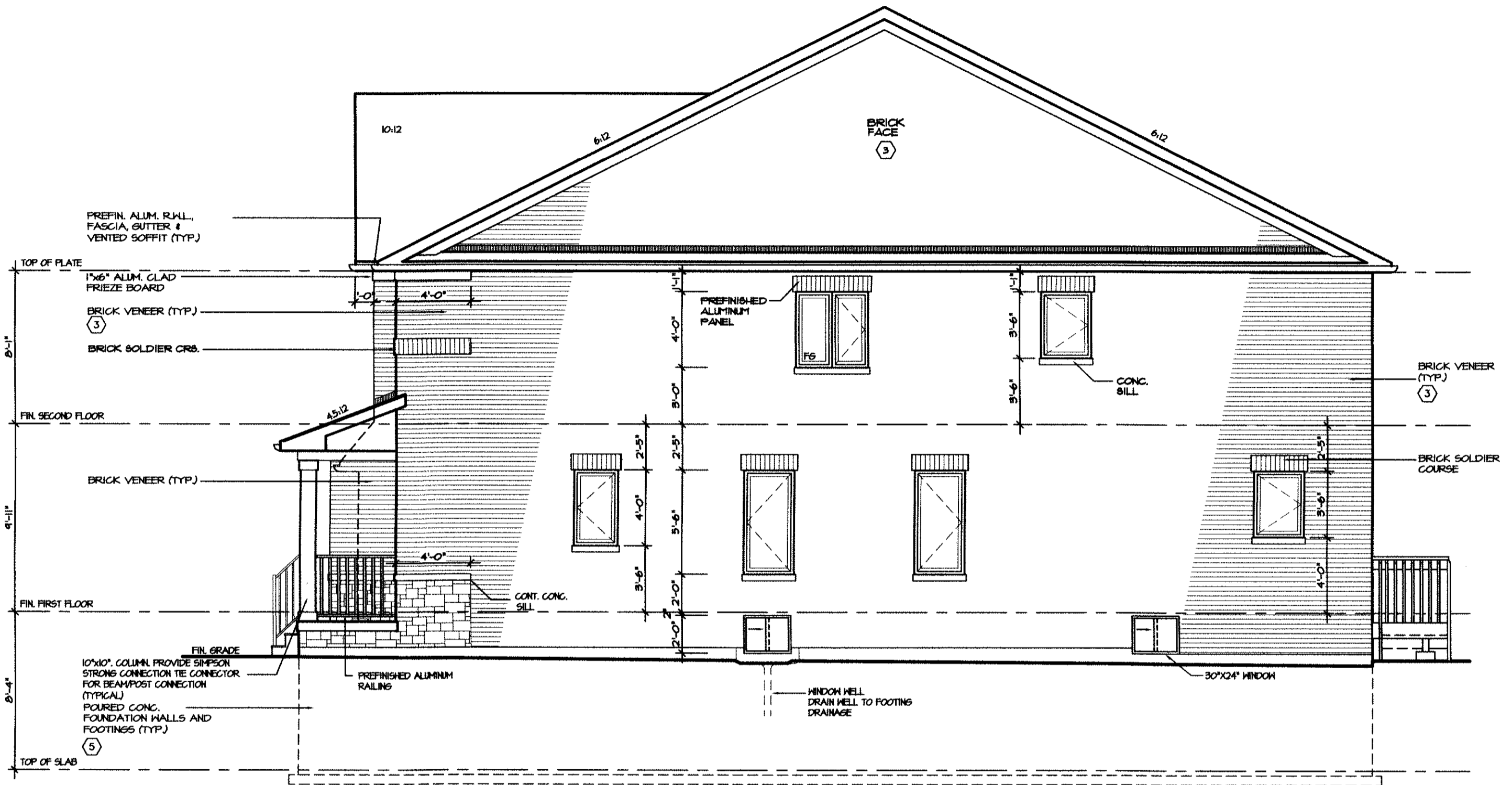
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4-3

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**ALLOWABLE GLAZING**

WALL AREA	
WALL AREA	1040.68
ALLOWABLE WINDOW AREA @ 7.00 % (1.2 M SIDNEYARD)	72.85
ACTUAL WINDOW AREA	57.60

**ELMBROOK 4B  
RIGHT ELEVATION 3**

JAN 19 2017

**ELMBROOK 4B - 34R**  
COMPLIANCE PACKAGE "A1"

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SHEET TITLE  
**RIGHT SIDE  
ELEVATION 3**

SCALE 3/16"=1'-0"  
DATE OCT 2016

BY ZMP/VG  
TYPE

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ELMBROOK 4B  
REAR ELEV 3

ELMBROOK 4B  
REAR ELEV 3

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**ELMBROOK 4B - 34R**  
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**REGION DESIGN INC.**

SHEET TITLE  
**REAR ELEVATION 3**

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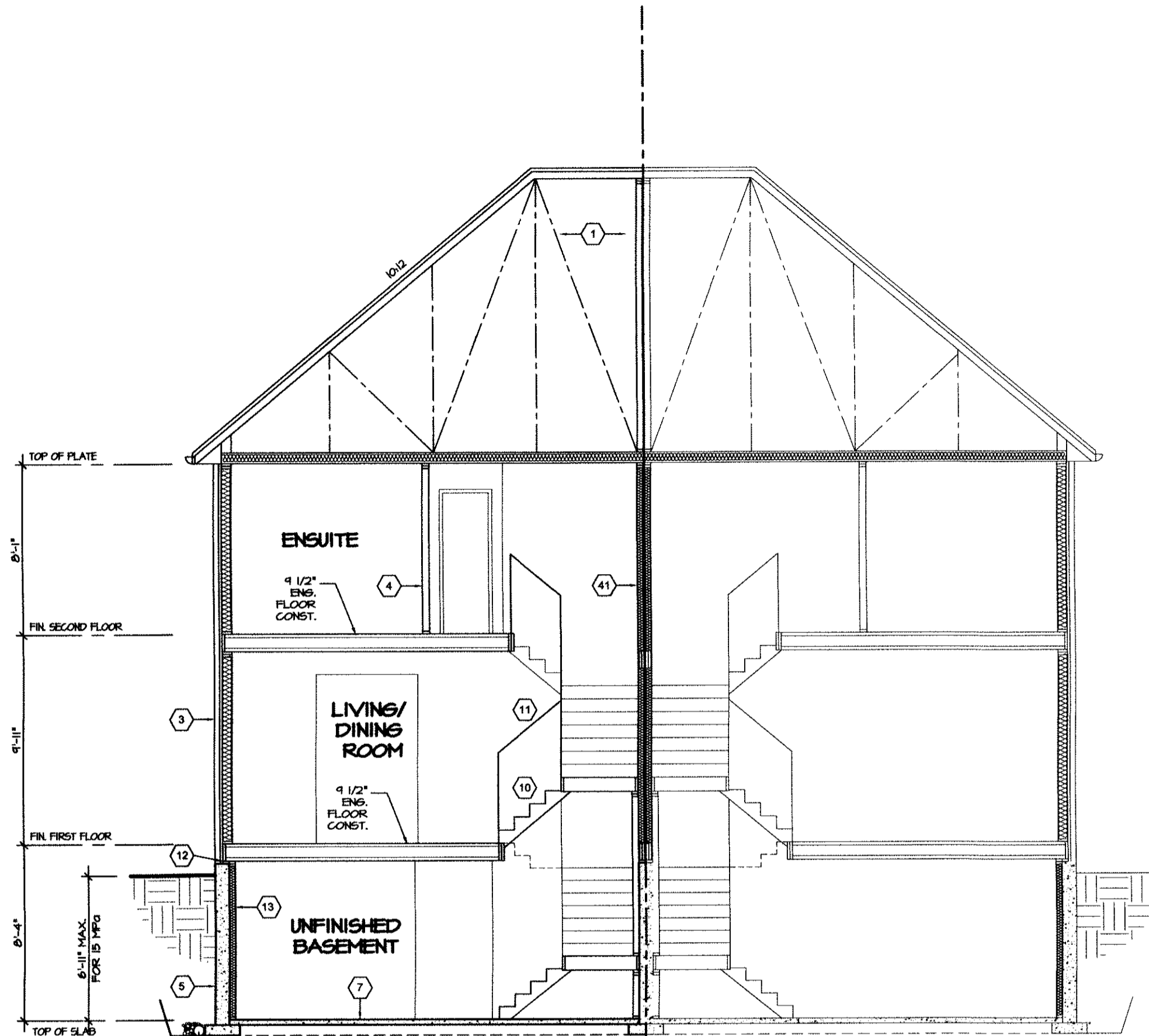
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PAGE No.  
**6-3**

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PROJECT NAME  
STAR TIME HOME LTD.

JANUARY 19, 2017 11:36:17 AM \\PROJECTS\STAR TIME\CUSTOMER\ELMBROOK 4B - 48 E3 LOT 34\ELMBROOK 4B - 48 E3 LOT 34 L & R.DWG



ELMBROOK 4B  
REAR ELEV 3  
A-A BUILDING SECTION

ELMBROOK 4B  
REAR ELEV 3

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ELMBROOK 4B - 34R  
COMPLIANCE PACKAGE "A1"

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8700 DUFFERIN ST.  
CONCORD, ONTARIO  
L4K 4S6  
P (416) 736-4096  
F (905) 660-0746



SHEET TITLE  
**CROSS SECTION**

SCALE 3/16"=1'-0"  
DATE MAR 2016

BY ZMP/VG  
TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

AREA 1942  
PROJECT 01-01-15

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**Greenpark.**

PROJECT NAME  
STAR TIME HOME LTD.

JANUARY 17, 2017 3:45:23 PM \\PROJECTS\STAR TIME\CUSTOMER\ELMBROOK 4B - 4B E3 LOT 34\PLM\BROOKE 4B - 4B E3 LOT 34 L & R.DWG