

CARLOTREE LP
GREENPARK GROUP
5600 n federal hwy
fort lauderdale, 33308
(954) 610-8502
vmarchese@greenparkgroupusa.com

ARCHITECT
REX NICHOLS ARCHITECTS PA
1600 S FEDERAL HWY #970
Pompano Beach, FL 33062
(561) 445-3520
rexnichols@bellsouth.net
info@rexnicholsarchitects.com

Rhett Roy Landscape Architecture Planning,
P.A.
412 North Andrews Avenue
Fort Lauderdale, FL 33301
954-462-0704 tel
nr@rhettroy.com

ROSS ENGINEERS
Melissa Ross
3325 S. University Dr.,
Ste 111
Davie, FL 33328
Phone: 954-318-0624
mross@rossengineers.com

ATLAS SAFETY & SECURITY DESIGN
INC
Randy Atlas Phd FAIA CPP
305-332-6588.
ratlas@ix.netcom.com

CAULFIELD & WHEELER, INC.
7900 GLADES ROAD - SUITE 100
BOCA RATON, FLORIDA 33434
PHONE: 561-392-1991
FAX: 561-750-1452
CELL: 561-239-9522
JWAGNER@CWIASSOC.COM

DOUGLAS WOOD ASSOCIATES
INC
5040 NW 7th St #820
Miami, FL 33126
(305) 461-3450
dwood@douglaswood.biz

KAMM CONSULTING
Rick Gonzalez – Vice President
1407 W. Newport Center Drive
Deerfield Beach, FL 33442
rgonzalez@kammconsulting.com
O. 954.949.2200
F. 954.949.2201

Best Deal Construction & Services Inc.
Attn: Daniel Birro
1900 NW 33 Court, Suite 3
Pompano Beach, FL 33064
561-674-7232
CBC 1258554

ZONING DISTRICT INFORMATION

Current Land use designation of property	MH-16-25 DU/Acre
Current Zoning of project and abutting properties	RM-20
Gross acreage	0.88 Acres
Net acreage (to vegetation line)	0.69 Acres
Lot coverage maximum allowed	0.60
Lot coverage proposed (based on vegetation line)	0.27
Number of dwellings	6
Density Proposed	6.81 DU/Acre
Dwelling units by type	1 (All 6 units are 3-story

North end unit	3,389 square feet AC
South end unit	3,472 square feet AC
4 Middle units each	4,048 square feet AC
Total building area	23,053 square feet AC
Total building area with garages	25,689 square feet

OCCUPANCY GROUP	R-2
TYPE OF CONSTRUCTION	III-B
PROPOSED PRINCIPAL USE	RESIDENTIAL TOWNHOUSE
PROPOSED ACCESSORY USE	PRIVATE SWIMMING POOLS

ANY EXCAVATION IN THE NEW PAVER ROADWAY
WILL REQUIRE EXCAVATABLE FLOWABLE FILL.

1	2017 Florida Building Code Residential
2	2017 Florida Building Code - Building
3	2017 Florida Building Code - Mechanical, Fuel Gas, Electric & Plumbing.
4	2017 Florida Building Code - Energy Conservation
5	2017 Florida Fire Prevention - NFPA 70

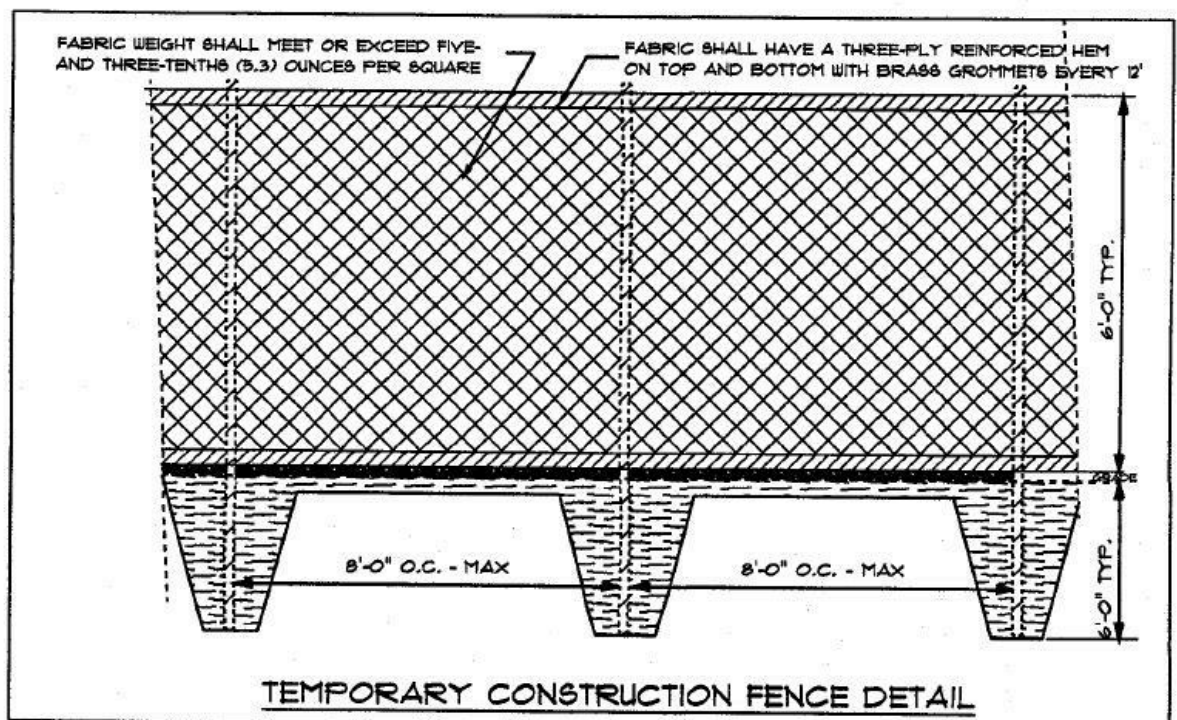
SURVEY	
S-1	SURVEY
S-2	PLAT
S-3	PLAT
ARCHITECTURAL	
001	TITLE SHEET
002 A-1	SITE PLAN
004 A-2	1ST FLOOR PLAN
004 A-3	SECOND FLOOR
004 A-4	3RD FLOOR PLAN
004 A-5	ROOF DECK PLAN
004 A-6	ROOF / SUSTAINABILITY PLAN
004 A-7	EAST ELEVATIONS
004 A-8	WEST ELEVATION
004 A-9	SOUTH & NORTH ELEVATIONS
004 A-10	BUILDING SECTIONS
004 A-11	LONGITUDINAL SECTION INCLUDING POOL
004 A-12	DOOR SCHEDULE
004 A-13	WALL TYPE & SECTIONS
004 A-14	DETAILS
004 A-15	RENDERING REAR FACADE
CIVIL DRAWINGS	
003 C-1	GENERAL NOTES AND SPECIFICATIONS
003 C-2	PAVING GRADING AND DRAINAGE PLAN
003 C-3	WATER AND SANITARY SEWER PLAN
003 C-4	PAVEMENT MARKING AND SIGNAGE PLAN
003 C-5	POLLUTION PREVENTION CONTROL PLAN
003 C-6	PAVING GRADING AND DRAINAGE DETAILS
003 C-7	WATER AND SANITARY SEWER DETAILS
003 C-7.1	WATER AND SANITARY SEWER DETAILS
003 C-8	EARTHWORK AREAS AND VOLUMETRIC PLAN
003 LSP-9	LIFE SAFETY PLAN
LANDSCAPE DRAWINGS	
005 LD-1	TREE DISPOSITION PLAN
005 LH-1	HARDSCAPE PLAN
005 LH-2	HARDSCAPE DETAILS
005 LP-1	LANDSCAPE PLAN
005 LP-2	LANDSCAPE NOTES DETAILS
005 LT-1	LANDSCAPE LIGHTING PLAN
005 LR-1	IRRIGATION PLAN
005 LR-2	IRRIGATION NOTES DETAILS
CPTED	
006 CPTED-1	CPTED SITE PLAN
007 MECHANICAL	
007 M0.1	MECHANICAL NOTES, LEGEND & INDEX
007 M2.1	1 ST FLOOR MECHANICAL PLAN
007 M2.2	2 ND FLOOR MECHANICAL PLAN
007 M2.3	3 RD FLOOR MECHANICAL PLAN
007 M2.4	ROOF MECHANICAL PLAN
007 M6.1	MECHANICAL SCHEDULES
008 ELECTRICAL	
008 E0.1	ELECTRICAL NOTES, LEGEND & INDEX
008 E1.1	ELECTRICAL SITE PLAN
008 E3.1	1 ST FLOOR ELECTRICAL PLAN
008 E3.2	2 ND FLOOR ELECTRICAL PLAN
008 E3.3	3 RD FLOOR ELECTRICAL PLAN
008 E3.4	ROOF ELECTRICAL LAN
008 E5.1	ELECTRICAL RISE DIAGRAM
008 E6.1	ELECTRICAL PANEL SCHEDULES
009 PLUMBING	
009 P0.1	PLUMBING NOTES, DETAILS & INDEX
009 P0.2	DETAILS
009 P1.1	PLUMBING SITE PLAN
009 P2.1A	PLUMBING DRAINAGE PLAN (UNDERGROUND)
009 P2.1B	PLUMBING DRAINAGE PLAN LEVEL 1
009 P2.2	PLUMBING DRAINAGE PLAN LEVEL 2
009 P2.3	PLUMBING DRAINAGE PLAN LEVEL 3
009 P2.4	PLUMBING DRAINAGE PLAN ROOF DECK
009 P3.1	PLUMBING SERVICE PLAN LEVEL 1
009 P3.2	PLUMBING SERVICE PLAN LEVEL 2
009 P3.3	PLUMBING SERVICE PLAN LEVEL 3
009 P3.4	PLUMBING SERVICE PLAN ROOF DECK
009 P5.1	THA – SANITARY AND DOMESTIC WATER ISOMETRICS
009 P5.2	THB – E – SANITARY AND DOMESTIC WATER ISOMETRICS
009 P5.3	THF – SANITARY AND DOMESTIC WATER ISOMETRICS
009 P5.4	TH A-C – GAS ISOMETRICS
009 P5.5	TH D-E – GAS ISOMETRICS
009 P5.6	TH A – STORM ISOMETRICS
009 P5.7	TH B-E – STORM ISOMETRICS
009 P5.8	THF – STORM ISOMETRICS
010 FIRE SPRINKLER	
010 FSP-0.1	FIRE SPRINKLER PERFORMANCE SPEC NOTES, LEGEND & INDEX
010 FSP-1.1	FIRE SPRINKLER PERFORMANCE SPEC SITE PLAN
010 FSP-2.1	FIRE SPRINKLER PERFORMANCE SPEC TYPICAL 1 ST FLOOR PLAN
010 FSP-2.2	FIRE SPRINKLER PERFORMANCE SPEC TYPICAL 2 ND FLOOR PLAN
010 FSP-2.3	FIRE SPRINKLER PERFORMANCE SPEC TYPICAL 3 RD FLOOR PLAN
010 FSP-2.4	FIRE SPRINKLER PERFORMANCE SPEC ROOF DECK PLAN
011 STRUCTURAL	
0011 S-1.00	GENERAL STRUCTURAL NOTES, ABBREV. LEGEND & DRAWING INDEX
0011 S-1.01	CONT. GENERAL STRUCTURAL NOTES
0011 S-1.02	SCHEDULES AND TYP. DETAILS
0011 S-1.03	SCHEDULES AND TYP. DETAILS
0011 S-1.04	SHEAR WALL REINFORCEMENT
0011 S-1.05	TYP. DETAILS
0011 S-1.06	TYPICAL PILE CAP REINFORCEMENT DETAILS
0011 S-2.00	FOUNDATION PLAN
0011 S-2.01A	PARTIAL GROUND FLOOR FRAMING PLAN
0011 S-2.01B	PARTIAL GROUND FLOOR FRAMING PLAN
0011 S-2.02	SECOND FLOOR FRAMING PLAN
0011 S-2.03	THIRD FLOOR FRAMING PLAN
0011 S-2.04	ROOF FRAMING PLAN
0011 S-2.05	HIGH ROOF FRAMING PLAN
0011 S-3.00	SECTIONS AND DETAILS
0011 S-3.01	SECTIONS AND DETAILS
0011 S-3.02	SECTIONS AND DETAILS
0011 S-3.03	SECTIONS AND DETAILS
0011 S-3.04	SECTIONS AND DETAILS
0011 S-4.00	DESIGN WIND PRESSURES FOR ROOFING SYSTEM
0011 S-4.01	DESIGN WIND PRESSURES FOR DOORS, WINDOWS & CLADDING
0011 S-4.02	DESIGN WIND PRESSURES FOR DOORS, WINDOWS & CLADDING
0011 S-4.03	DESIGN WIND PRESSURES FOR DOORS, WINDOWS & CLADDING

LOTS 1, 2 AND 3, BLOCK 1, "POMPAÑO BEACH MORANG AND PARKS SUBDIVISION ON PALM ISLAND", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, PAGE 28 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, AND BLOCK "A", "POMPAÑO BEACH BLOUNT BROS. REALTY CO'S SUBDIVISION", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, PAGE 43, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

LESS AND EXCEPT THAT PORTION CONVEYED TO THE CITY OF POMPAÑO BEACH FOR RIGHT OF WAY PURPOSES AND RECORDED IN OFFICIAL RECORDS BOOK 44414, PAGE 1818, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

SAID LANDS SITUATE IN THE CITY OF POMPAÑO BEACH, BROWARD COUNTY, FLORIDA.

CONTAINING 38,188.9 SQUARE FEET/0.8767 ACRES, MORE OR LESS.



LEGEND

CCCL Coastal Construction Control Line

PROPERTY

EXTERIOR WALL

PROJECTION OF THE BUILDING

CENTER

FENCE

BEACH DUNES

VEGETATION LINE

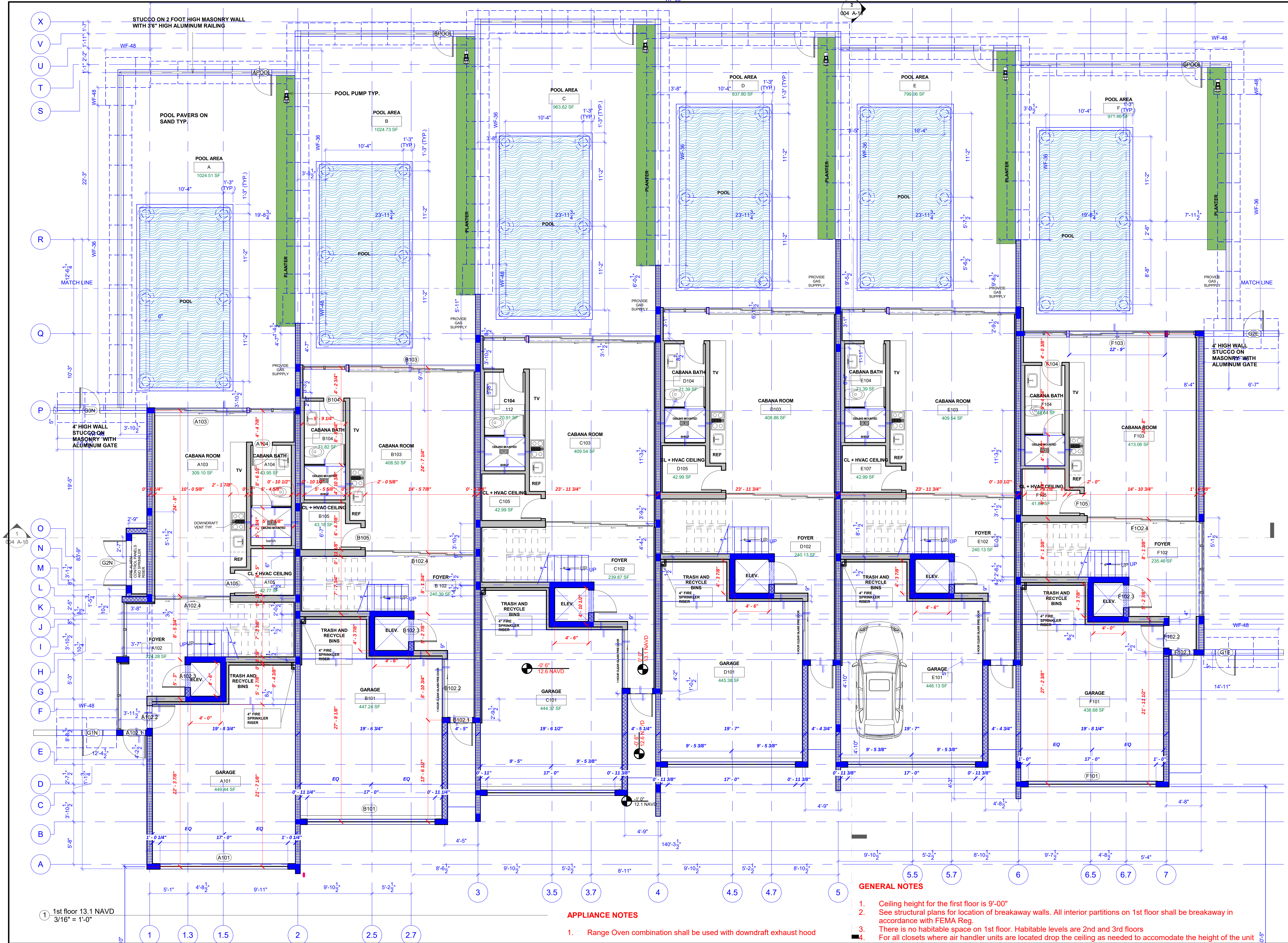
CONSTRUCTION FENCE

PRIVATE LOT AREA

MATERIAL LEGEND:

- POOL DECK PAVERS ON SAND
- DRIVEWAY TRAFFIC PAVERS ON SAND
- PRIVACY WALL - WHITE STUCCO ON CONCRETE BLOCKS WITH WHITE GALVANISED STEEL
- BUILDING WHITE STUCCO ON CONCRETE BLOCK AND COMPOSITE WOOD ACCENT





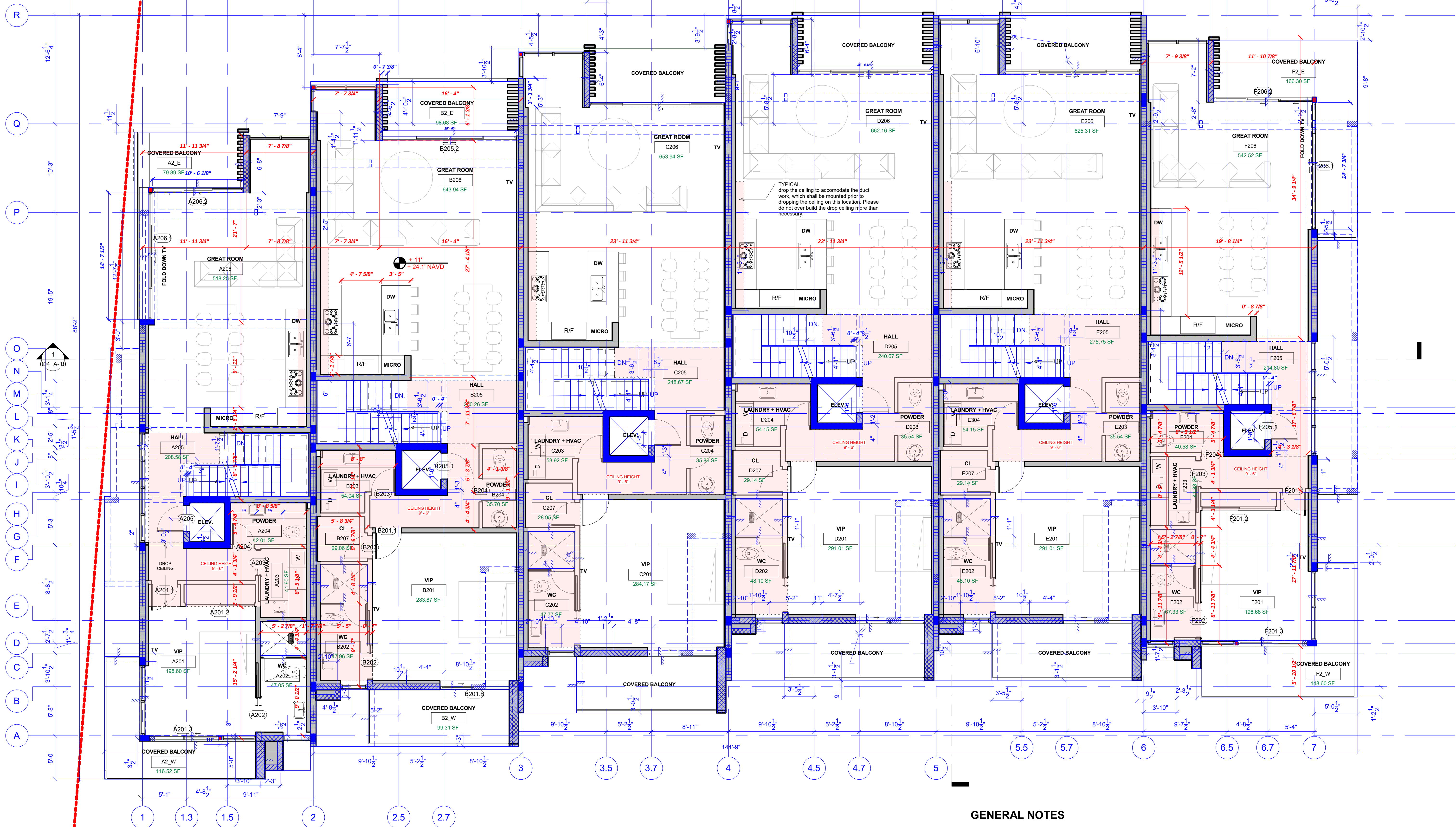
1 1st floor 13.1 NAVD
3/16" = 1'-0"

APPLIANCE NOTES

- Range Oven combination shall be used with downdraft exhaust hood

GENERAL NOTES

- Ceiling height for the first floor is 9'-0"
- See structural plans for location of breakaway walls. All interior partitions on 1st floor shall be breakaway in accordance with FEMA Reg.
- There is no habitable space on 1st floor. Habitable levels are 2nd and 3rd floors
- For all closets where air handler units are located drop the ceiling as needed to accommodate the height of the unit



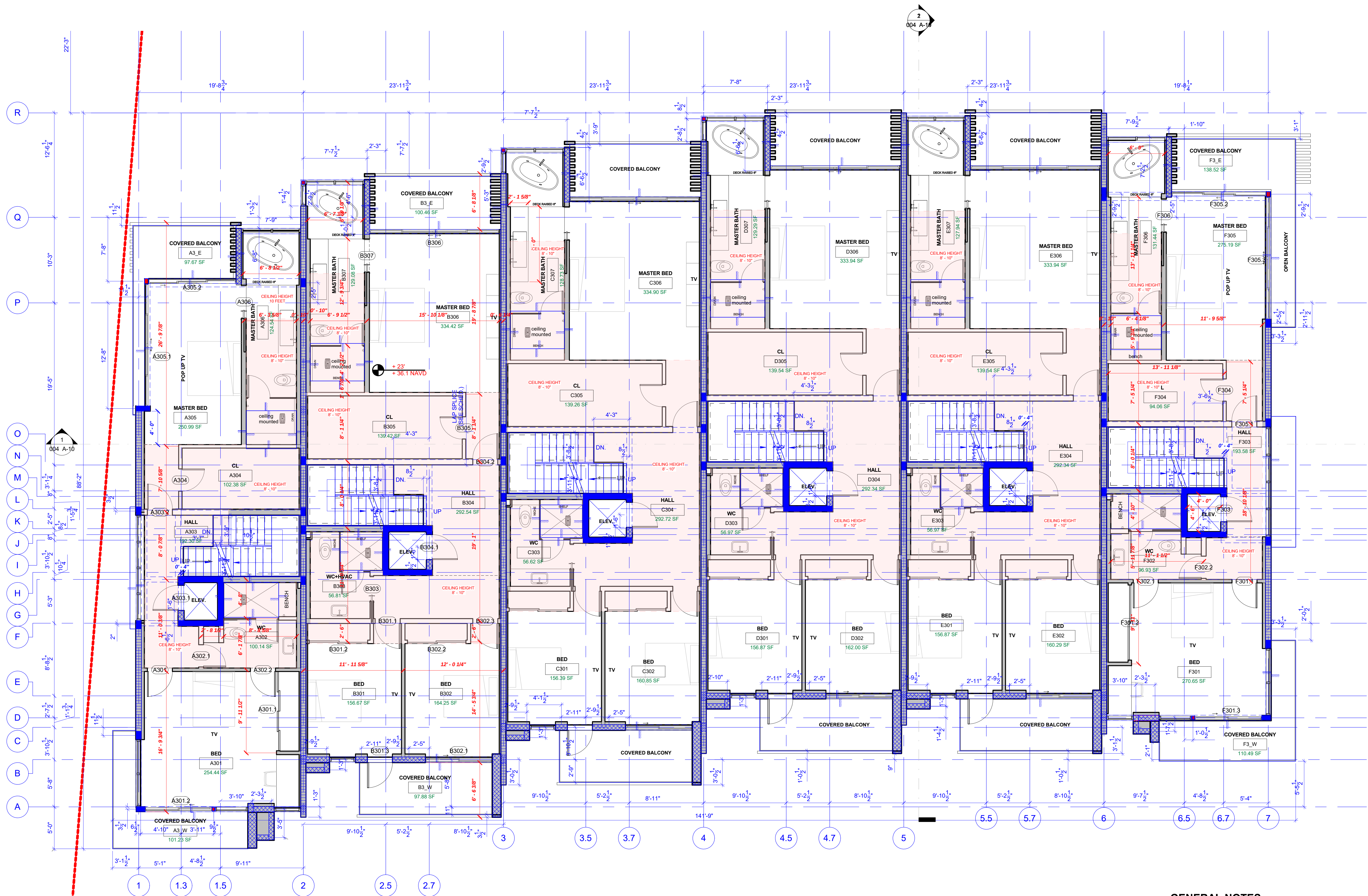
GENERAL NOTES

- Ceiling height for the second floor is 10'-6" except where noted and shaded in red
- Recess shower floors 2 inches at all 1st floor bathrooms
- At the living room, at the kitchen side wall, drop the ceiling to accomodate the duct work, which shall be mounted prior to dropping the ceiling on this location. Please do not over build the drop ceiling more than necessary.

APPLIANCE NOTES

- Range Oven combination shall be used with exhaust hood over

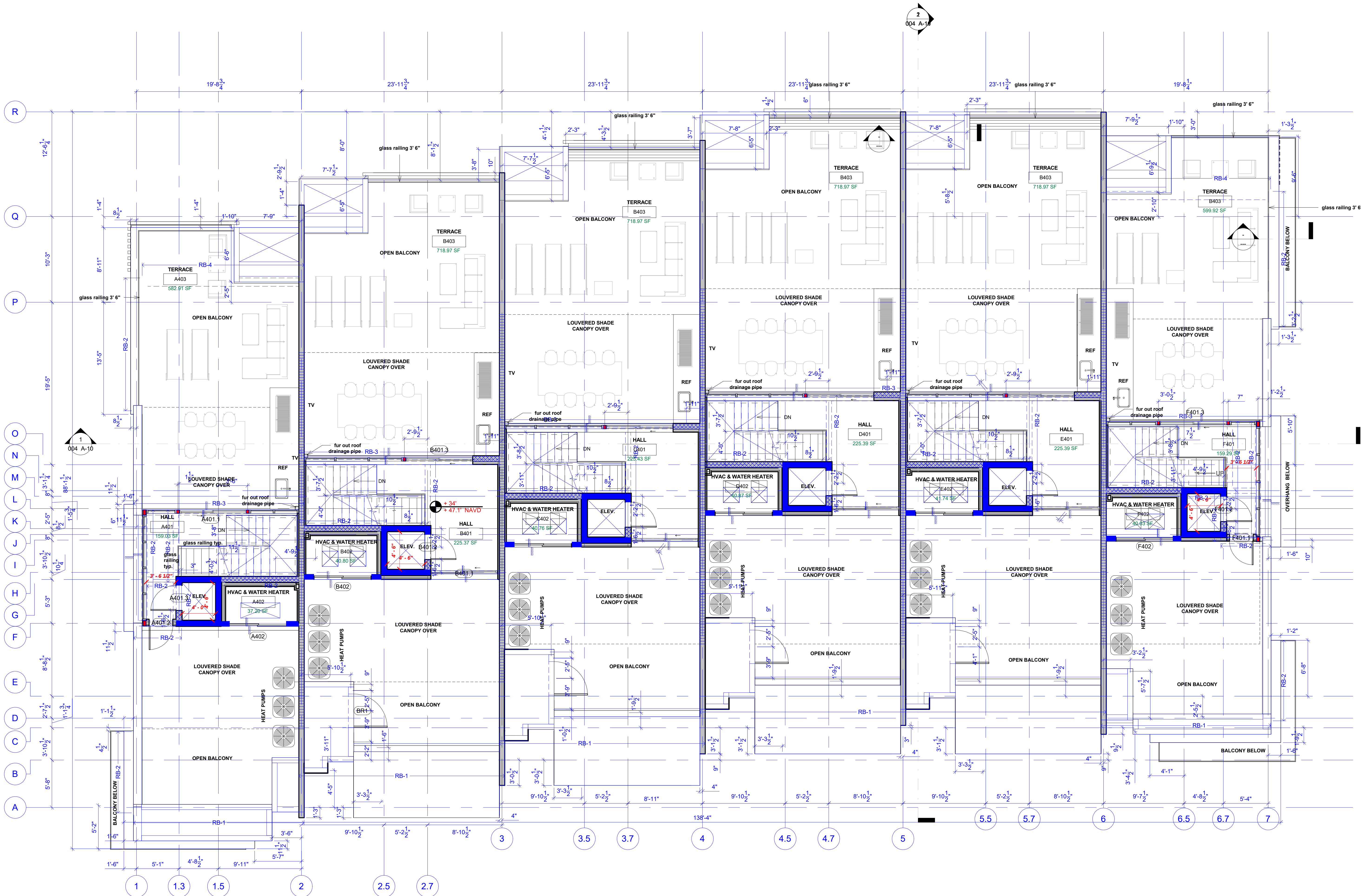
① 2nd floor
3/16" = 1'-0"



GENERAL NOTES

- Ceiling height for the third floor is 9'-6" except where noted and shaded in red

① 3rd floor
3/16" = 1'-0"



1 Roof deck
3/16" = 1'-0"

GENERAL NOTES

- Ceiling height for the roof deck level is 8'-0"

APPLIANCE NOTES

- Gas Grill shall be used with exhaust hood over

RNA

REX NICHOLS ARCHITECTS
1600 SOUTH FEDERAL HWY, STE 870
POMPANO BEACH, FL 33062-1800
WWW.REXNICHOLSARCHITECTS.COM
INFO@REXNICHOLSARCHITECTS.COM
T:954.951.6101

REX NICHOLS AIA
AR007415

PROPOSED TOWNHOUSES ADDRESS 700 BRINY
AV, POMPANO BEACH, 33062

OWNER: CARLO TREE LP
GREENPARK GROUP
5600 N Federal Highway
Fort Lauderdale - FL - 33308

PROJECT NUMBER 4/2018

ROOF DECK PLAN

DESIGNED BY:
Alex Penria & Rex Nichols

DATE:
NOVEMBER 20TH 2019

ISSUED FOR

- ☐ REVIEW & COMMENTS
- ☐ BIDDING
- ☐ NOT FOR CONSTRUCTION
- ☒ PERMIT
- ☐ CONSTRUCTION

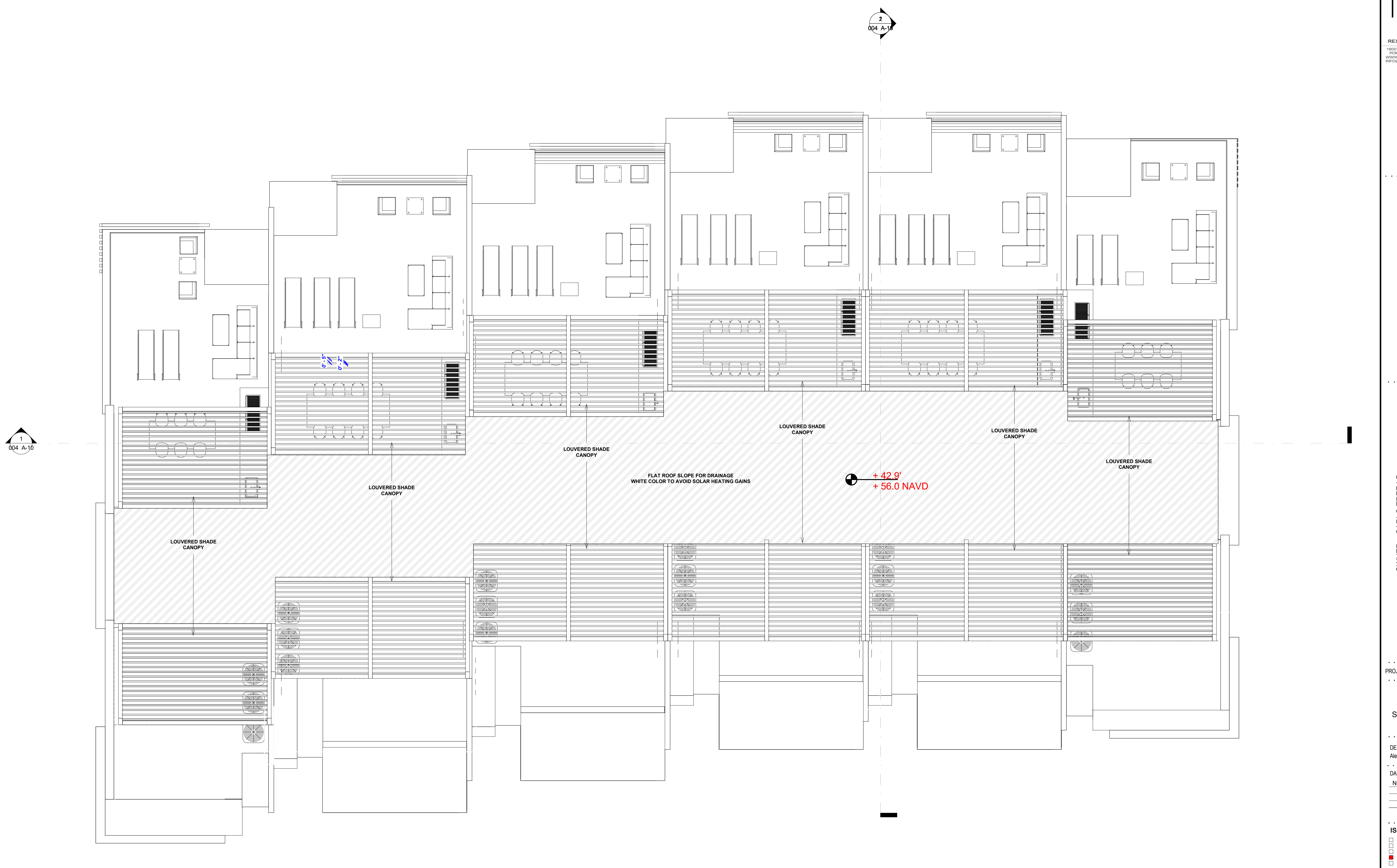
004 A-5

This drawing is the property of REX NICHOLS
Architects, P.A., and is an instrument of service not
to be reproduced in whole or in part without the
express written permission of same.

COPYRIGHT 2019 ©

4/15/2020 3:03:14 PM

PERMIT APPLICATION



GENERAL NOTES

1. Submit shop drawings for canopy to architect for review prior to fabrication

1 T.O.R.
3/16" = 1'-0"

RNA

REX NICHOLS ARCHITECTS
1600 SOUTH FEDERAL HWY, STE. 870
POMPANO BEACH, FL 330621800
WWW.REXNICHOLSARCHITECTS.COM
INFO@REXNICHOLSARCHITECTS.COM
T:954.951.6101

REX NICHOLS AIA
AR007415

PROPOSED TOWNHOUSES ADDRESS 700 BRINY
AV, POMPANO BEACH, 33062

OWNER: CARLO TREE LP
GREENPARK GROUP
5600 N Federal Highway
Fort Lauderdale - FL - 33308

PROJECT NUMBER 4/2018

ROOF /
SUSTAINABILITY
PLAN

DESIGNED BY:
Alex Penna & Rex Nichols

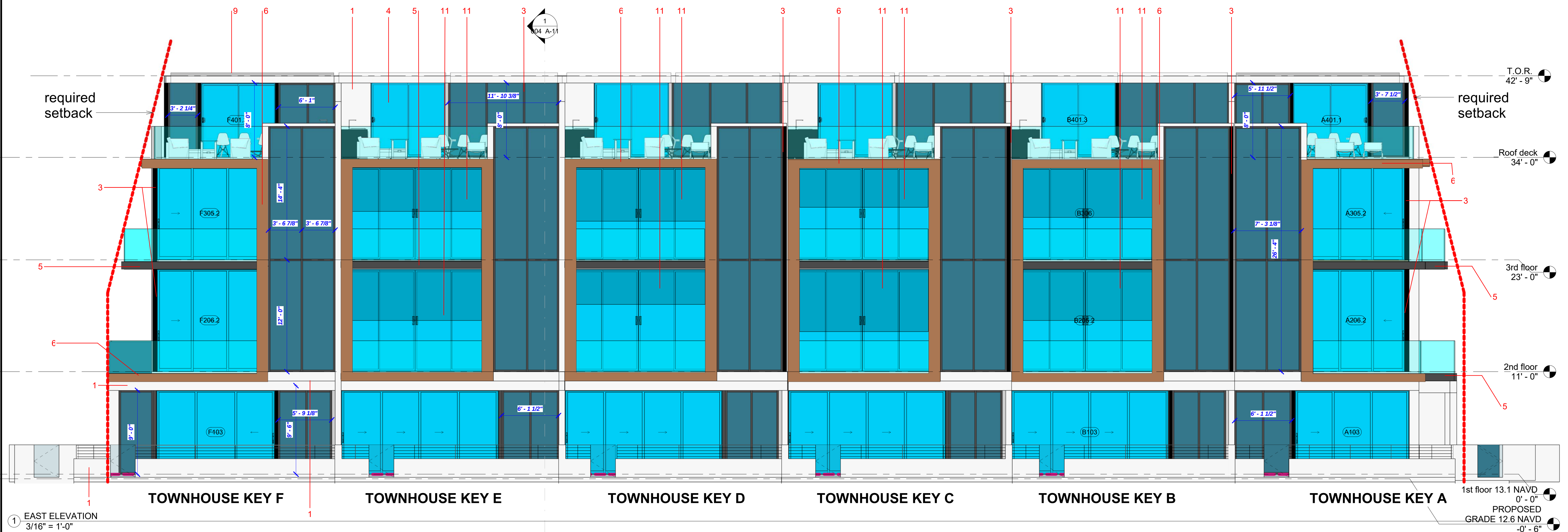
DATE:
NOVEMBER 20TH 2019

ISSUED FOR
☐ REVIEW & COMMENTS
☐ BIDDING
☐ NOT FOR CONSTRUCTION
☒ PERMIT
☐ CONSTRUCTION

004 A-6

This drawing is the property of **Rex Nichols Architects, P.A.**, and is an instrument of service not to be reproduced in whole or in part without the express written permission of same.
COPYRIGHT 2019 ©

4/15/2020 3:03:19 PM
PERMIT APPLICATION



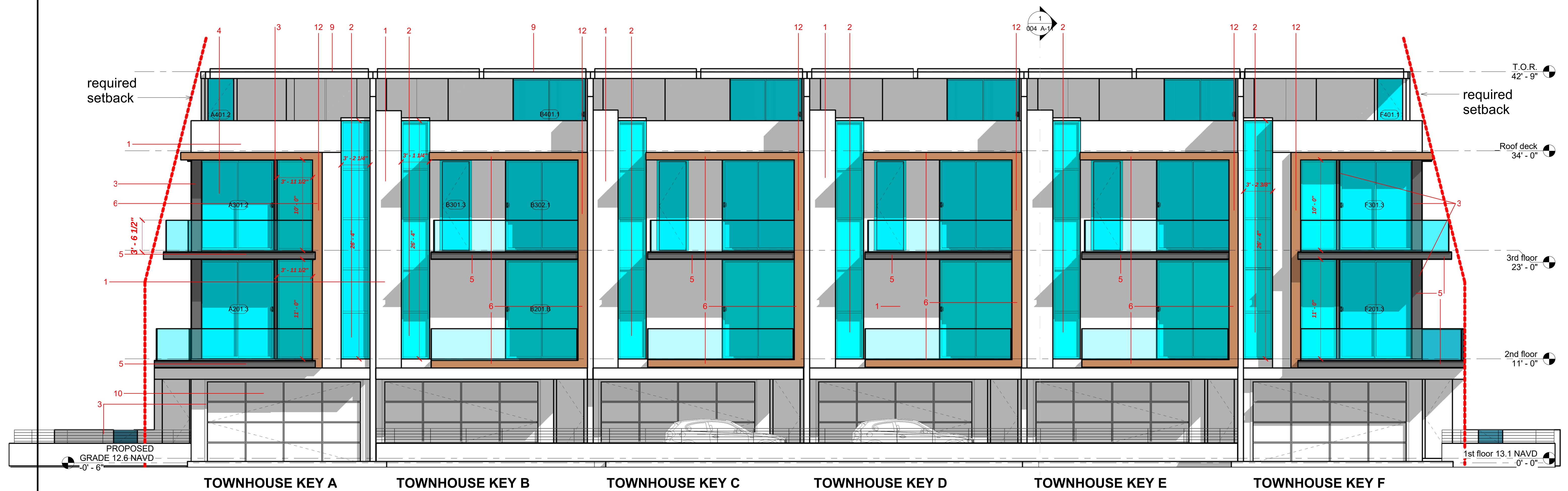
MATERIAL LEGEND; submit samples of all materials for architect approval

1. Painted stucco, color white (Benjamin Moore Brilliant White OC-150)
2. One way transparent film, white looking opaque outside. Entire vertical curtain wall at the selected location.
3. Door and window frames, 1st floor railing, and exterior steel columns (black anodized aluminum)
4. Glass curtain wall and glass exterior sliding doors (lighted tinted gray)
5. "C" channel trim on some balconies (black anodized aluminum)
6. Composite wood or wood look aluminum look accent feature
7. Drive way concrete traffic pavers (in random gray)
8. Pool pavers (non- slip textured gray porcelain)
9. Louvered canopy - anodized aluminum black
10. Frosted glass garage doors Frosted glass garage doors
11. Semi-translucent black solar shade phantom screen automated wind sensitivity
12. Wood textured ceramic panels

Please note:

The wood accent feature on the **East facade shall be composite wood or wood look aluminum**
and on the **West facade wood textured ceramic panels**

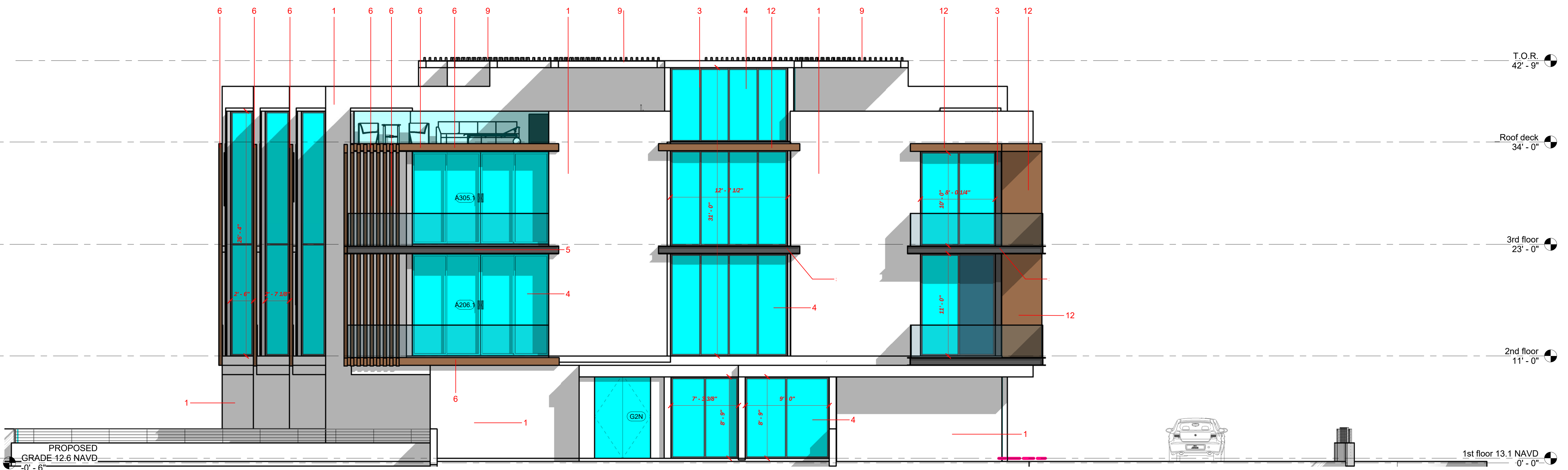
The attached outdoor ceilings at the balconies shall match the wood accent material

① WEST ELEVATION
3/16" = 1'-0"**MATERIAL LEGEND;** submit samples of all materials for architect approval

1. Painted stucco, color white (Benjamin Moore Brilliant White OC-150)
2. One way transparent film, white looking opaque outside. Entire vertical curtain wall at the selected location.
3. Door and window frames, 1st floor railing, and exterior steel columns (black anodized aluminum)
4. Glass curtain wall and glass exterior sliding doors (lighted tinted gray)
5. "C" channel trim on some balconies (black anodized aluminum)
6. Composite wood or wood look aluminum look accent feature
7. Drive way concrete traffic pavers (in random gray)
8. Pool pavers (non- slip textured gray porcelain)
9. Louvered canopy - anodized aluminum black
10. Frosted glass garage doors Frosted glass garage doors
11. Semi-translucent black solar shade phantom screen automated wind sensitivity
12. Wood textured ceramic panels

Please note:

The wood accent feature on the **East facade shall be composite wood or wood look aluminum**
and on the **West facade wood textured ceramic panels****The attached outdoor ceilings at the balconies shall match the wood accent material**

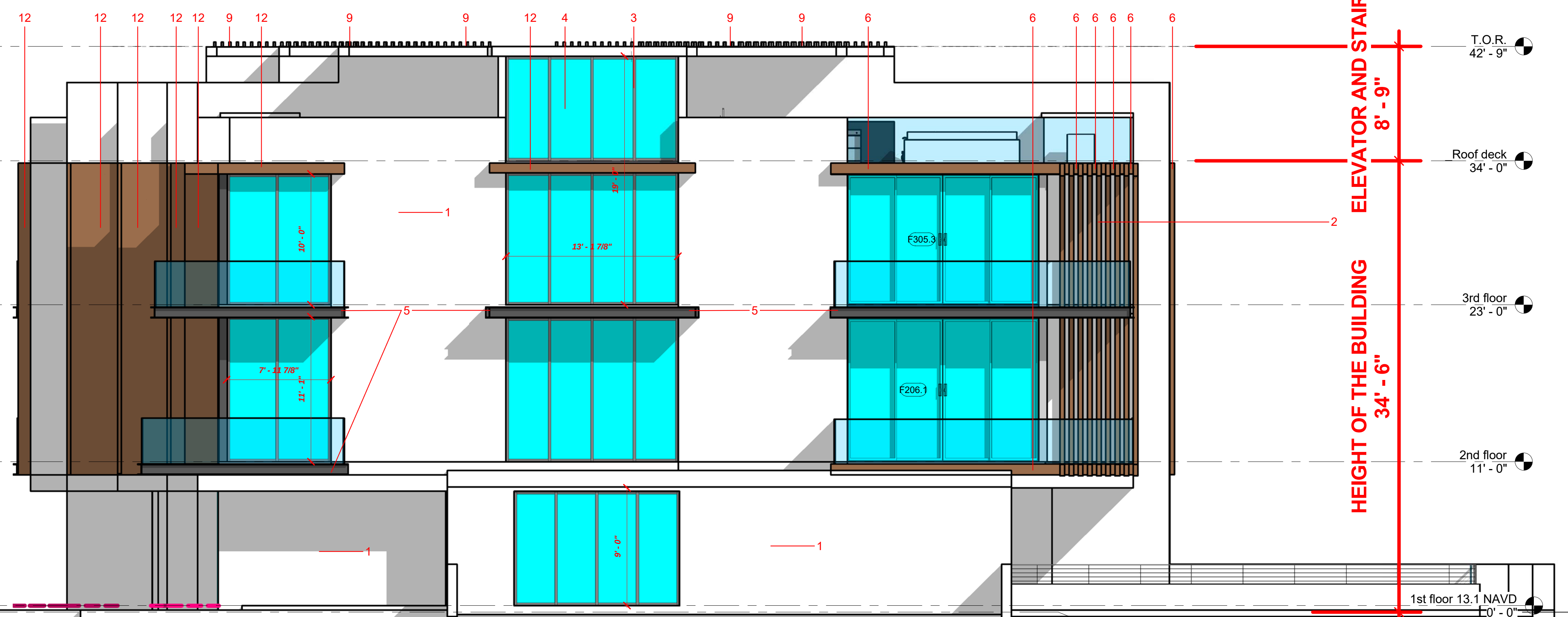


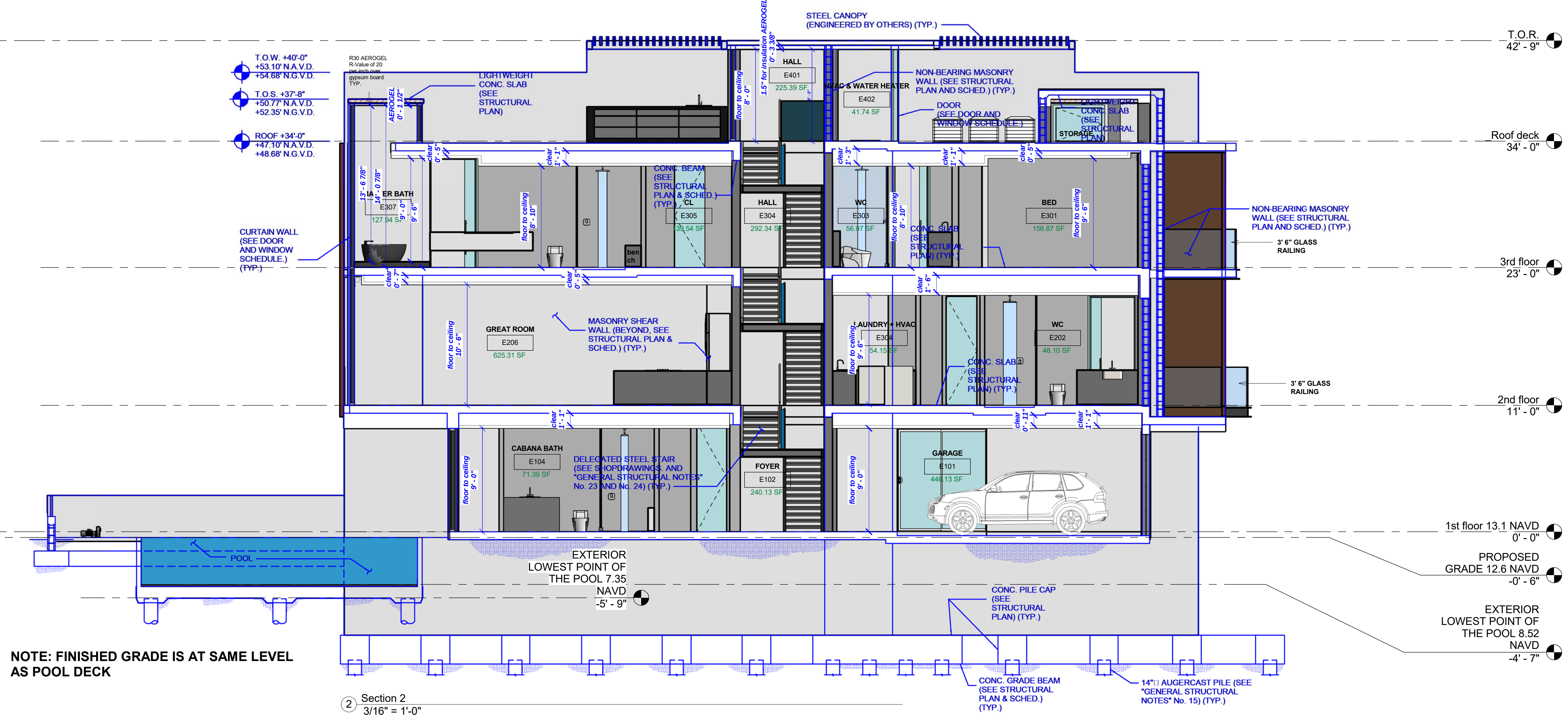
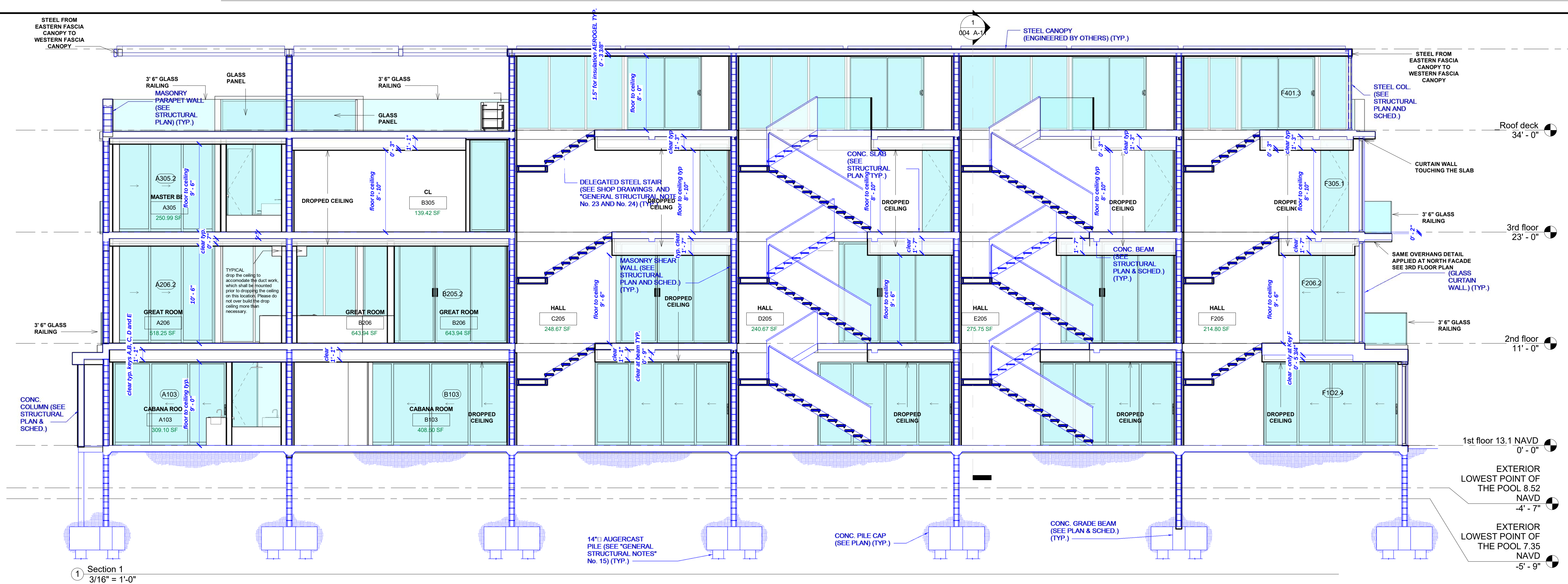
MATERIAL LEGEND; submit samples of all materials for architect approval

1. Painted stucco, color white (Benjamin Moore Brilliant White OC-150)
2. One way transparent film, white looking opaque outside. Entire vertical curtain wall at the selected location.
3. Door and window frames, 1st floor railing, and exterior steel columns (black anodized aluminum)
4. Glass curtain wall and glass exterior sliding doors (lighted tinted gray)
5. "C" channel trim on some balconies (black anodized aluminum)
6. Composite wood or wood look aluminum look accent feature
7. Drive way concrete traffic pavers (in random gray)
8. Pool pavers (non-slip textured gray porcelain)
9. Louvered canopy - anodized aluminum black
10. Frosted glass garage doors
11. Semi-translucent black solar shade phantom screen automated wind sensitivity
12. Wood textured ceramic panels

Please note:

The wood accent feature on the **East facade shall be composite wood or wood look aluminum**
and on the **West facade wood textured ceramic panels**
The attached outdoor ceilings at the balconies shall match the wood accent material

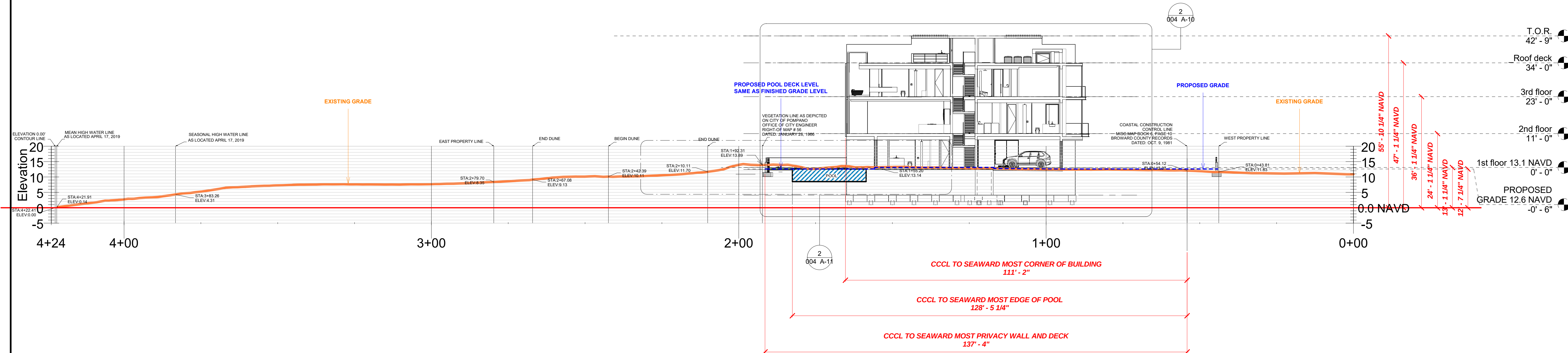




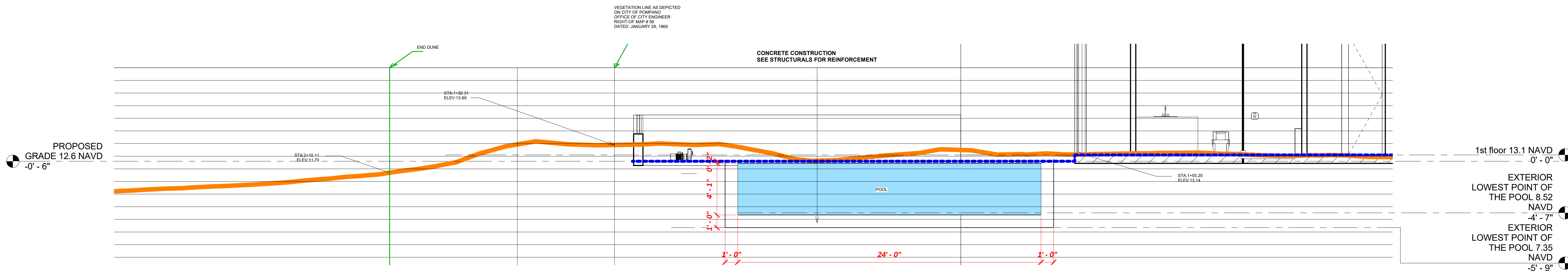
LEGEND

EXISTING GRADE
PROPOSED GRADE
0.0 NAVD

NOTE: FINISHED GRADE IS AT SAME LEVEL AS
POOL DECK



① Section 2 Copy 1
1/16" = 1'-0"



② POOL CALLOUT
1/4" = 1'-0"

GENERAL NOTES FOR DOOR AND WINDOWS

1. FOR ALL GLASS STOREFRONT SEE FLOOR PLAN FOR LENGHT, AND VERIFY ON SITE DIMENSIONS. FRAME COLOR WHITE NON CORROSIVE FINISH EXCEPT FRAME COLOR BLACK NON CORROSIVE FINISH AT THE MASTER AREA, INCLUDING BEDROOM, BATHROOM, AND CLOSET.
2. PROVIDE DARKER TINTED GLASS AT THE MASTER BEDROOM AREAS WHERE THE FRAMES ARE BLACK. VERIFY TINTED GLASS AND SOLAR SHADE COEFICIENT. SEND SAMPLE FOR ARCHITECT'S APPROVAL
2. SAME NOTE ABOVE APPLIES TO DOORS
3. ALL INTERIOR DOORS THAT ARE NOT POCKET SHALL BE PIVOT STYLE

CONSTRUCTION DETAIL NOTES

1. ALL WALLS TO BE FROM FLOOR TO UNDERSIDE OF SLAB; PROVIDE CUT-OUTS FOR RETURN AIR AND DUCTS AS NEEDED
2. ALL DIMENSIONS ARE FINISH TO FINISH, UNLESS OTHERWISE NOTED.
3. IF FIELD CONDITIONS DIFFER FROM PLANS, G.C. WILL NOTIFY ARCHITECT.
4. ALL GYPSUM BOARD PARTITIONS SHALL BE PROPERLY BRACED ACCORDING TO APPLICABLE CODE.
5. ALL GYPSUM BOARD SHALL BE INSTALLED VERTICALLY IN FULL LENGTH SECTIONS. GYPSUM BOARD AT TOILETS AND AROUND LAVS TO BE WATER-RESISTANT TYPE.
6. ALL GYPSUM BOARD IS TO BE 5/8".
8. FINAL PARTITION LAYOUT SHALL BE APPROVED BY ARCHITECT IN-FIELD PRIOR TO COMMENCING WORK.
9. THE CONTRACTOR SHALL SUBMIT ALL SHOP DRAWINGS FOR APPROVAL TO ARCHITECT PRIOR TO COMMENCEMENT OF WORK.
10. CONTRACTOR SHALL FURNISH AND INSTALL FIREPROOF BLOCKING IN CEILINGS OR PARTITIONS AS REQUIRED, OR WHERE WALL-MOUNTED EQUIPMENT OR CABINETRY IS INDICATED, FOR A COMPLETE INSTALLATION.

SHOP DRAWING REVIEW

1. PRIOR TO PROCEEDING WITH FINISH PAINT WORK SAMPLES SHALL BE PROVIDED FOR ALL COLORS, WHETHER MANUFACTURER'S STANDARD COLOR OR CUSTOM COLOR IS SPECIFIED. COLORS SHALL BE FIELD ADJUSTED AS NECESSARY TO MATCH ARCHITECTS SAMPLES OF SPECIFIED ITEMS.
2. SAMPLES OF ALL FINISHES SPECIFIED SHALL BE SUBMITTED TO ARCHITECT IN TRIPPLICATE PRIOR TO COMMENCEMENT OF THE WORK. CARPET, WALLCOVERING, WOOD FINISH, FLOORING, METALWORK, GLASS AND WALL FINISH SAMPLES TO BE A MIN. 12" x 12" (305mm x 305mm). PAINT SAMPLES FOR GYPSUM BOARD SAMPLES TO BE PROVIDED ON 12"x12" (305mm x 305mm) PIECES OF GYPSUM BOARD.
3. CONTRACTOR TO REVIEW AND COMMENT ON ALL SHOP DRAWINGS PROVIDED BY MILLWORKER PRIOR TO SUBMITTING TWO (2) COMPLETE SETS OF SHOP DRAWINGS OF ALL MILLWORK TO ARCHITECT FOR REVIEW AND APPROVAL, PRIOR TO FABRICATION OF ANY WORK.
4. CONTRACTOR TO PROVIDE CUT SHEETS OF ALL SPECIFIED HARDWARE TO ARCHITECT FOR APPROVAL PRIOR TO PURCHASING.
5. CONTRACTOR TO PROVIDE MOCK-UP SAMPLES OF ALL DOOR STYLES, WOOD SPECIES AND FINISHES USED IN THE PROJECT.
6. CONTRACTOR TO SUPPLY SAMPLES AND [PERFORMANCE SPECIFICATIONS] OF ALL FINISHES TO ARCHITECT FOR FINAL APPROVAL BEFORE COMMENCEMENT OF ANY WORK.

GENERAL NOTES SHALL APPLY TO ALL DRAWINGS.

1. HE", "HIS", HIM" IN THESE CONTRACT DOCUMENTS SHALL BE CONSTRUED TO REFER EQUALLY TO ALL GENDERS : "CONTRACTOR" AND "G.C" SHALL BE CONSTRUED TO APPLY TO THE DULY APPOINTED GENERAL CONTRACTOR.
2. GENERAL CONTRACTOR SHALL NOT MAKE ANY ONSITE REVISIONS TO THE ARCHITECTURAL DRAWINGS WITHOUT NOTIFYING AND SEEKING APPROVAL FROM THE ARCHITECT OF RECORD PRIOR TO CONSTRUCTION.
3. CONTRACTOR SHALL BRING TO THE ATTENTION OF THE ARCHITECT ANY ERROR, OMISSION OR DISCREPANCIES WHICH WOULD INTERFERE WITH THE PROPER EXECUTION AND COMPLETION OF CONSTRUCTION IN A TIMELY MANNER. ALL DIMENSIONS ARE TO BE VERIFIED PRIOR TO COMMENCEMENT OF WORK BY THE RESPECTIVE CONTRACTORS OR SUBCONTRACTORS AND TO BE RESPONSIBLE FOR SAME.
4. UNDER NO CIRCUMSTANCE IS THE CONTRACTOR TO "SCALE" DRAWINGS TO OBTAIN DIMENSIONS. IF THERE IS ANY QUESTION REGARDING (OR LACK OF) DIMENSIONS IT SHALL BE CALLED TO THE ATTENTION OF THE ARCHITECT AND THE INFORMATION WILL BE PROVIDED.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL WORK UNDER CONTRACT FROM DAMAGE AND THEFT BY OTHERS AND LEAVE ALL WORK IN PERFECT CONDITION (FREE OF DIRT, STAINS, PAINT OR DEFACEMENT OF ANY KIND) PRIOR TO FINAL INSPECTION AND ACCEPTANCE BY THE OWNER.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND PAY ALL TAXES, FEES AND OTHER COSTS IN CONNECTION WITH HIS WORK. HE SHALL FILE FOR ALL NECESSARY APPROVALS OF THE AUTHORITIES AND ALL GOVERNMENTAL DEPARTMENTS HAVING JURISDICTION FOR HIS WORK AND DELIVER SAME TO THE ARCHITECT
7. ALL WORK SHALL COMPLY WITH APPLICABLE LOCAL AND MUNICIPAL BUILDING CODES, AS WELL AS ANY AND ALL REGULATORY AGENCIES HAVING JURISDICTION. THE RULES AND REGULATIONS OF OSHA SHALL BE ADOPTED FOR THIS PROJECT. ADA COMPLIANCE IN ACCORDANCE WITH THE AMERICAN DISABLITITES ACT FOR BARRIER-FREE DESIGN.
8. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK, USING HIS BEST SKILL AND ATTENTION. HE SHALL SOLELY BE RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, AND THE COORDINATION OF ALL PORTIONS OF WORK.
9. ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES OR OMISSIONS WHICH WOULD INTERFERE WITH THE SATISFACTORY COMPLETION OF THE WORK, PRIOR TO THE START OF ANY AND ALL WORK.
10. GENERAL CONTRACTOR SHALL REVIEW AND FAMILIARIZE HIMSELF WITH THE GENERAL NOTES & SPECIFICATIONS DRAWING. AND DETERMINE WHICH NOTES APPLY DIRECTLY TO HIS RESPONSIBILITY. EACH SUBTRADE WILL BE RESPONSIBLE FOR REVIEWING THE ENTIRE SET OF DRAWINGS AND NOTING THEIR WORK AS APPLICABLE. ALL WORK INDICATED OR INFERRED ON THE DRAWINGS WILL BE DEEMED INCLUDED IN ALL CONTRACTORS' COSTS.
11. THE DRAWINGS AND SPECIFICATIONS ARE COMPLEMENTARY AND THEIR INTENT IS TO INCLUDE ALL ITEMS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF WORK.
12. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT REQUIRED FOR THE CONSTRUCTION OF THE PROJECT.
13. THE ORGANIZATION OF THE SPECIFICATION AND DRAWINGS SHALL NOT CONTROL THE CONTRACTOR IN DIVIDING THE WORK AMONG THE SUBCONTRACTORS OR IN ESTABLISHING THE EXTENT OF THE WORK PERFORMED BY ANY TRADE.
14. IF CONTRACT DRAWINGS AND SPECIFICATIONS ARE AT VARIANCE WITH ONE ANOTHER ON A PARTICULAR ITEM OR ITEMS, CONTRACTOR SHALL BASE HIS PROPOSAL ON THE BETTER QUALITY OF THE CONDITIONS INDICATED OR NOTED. THE CONTRACTOR WILL ALERT THE ARCHITECT OF THE DISCREPANCY.
15. G.C. SHALL BE RESPONSIBLE TO PICK UP THE BUILDING PERMIT AT THE BUILDING DEPARTMENT OFFICES AND PAY ALL OUTSTANDING FEES.
16. SHALL PROVIDE ALL THE DRAWINGS, COMPLETED PAPERWORK AND CERTIFICATES OF INSPECTION AND SHALL PERFORM ALL THE CONTROLLED INSPECTIONS AS REQUIRED FOR BUILDING DEPARTMENT APPROVAL.
17. THE CONTRACTOR SHALL FURNISH TO THE ARCHITECT A COMPLETE PUNCHLIST THAT REPRESENTS ALL ITEMS OF WORK LEFT TO BE COMPLETED AT THE TIME OF SUBSTANTIAL COMPLETION. THE ARCHITECT HAS THE RIGHT TO ADD ITEMS INCLUDED IN THE CONSTRUCTION DOCUMENTS BUT OVERLOOKED BY THE G.C..
18. THE CONTRACTOR SHALL NOT PROCEED WITH ANY WORK WHICH HE EXPECTS ADDITIONAL COMPENSATION BEYOND THE CONTRACT AMOUNT WITHOUT WRITTEN AUTHORIZATION FROM THE ARCHITECT. FAILURE TO OBTAIN SUCH AUTHORIZATION SHALL INVALIDATE ANY CLAIM FOR EXTRA COMPENSATION.
19. ALL WORK IS TO CONFORM TO ARCHITECT'S DRAWINGS AND SPECIFICATION AND SHALL BE NEW AND BEST QUALITY OF THE KINDS SPECIFIED.
20. ALL MATERIALS AND EQUIPMENT SHALL BE SUPPLIED, INSTALLED, CONNECTED, ERECTED, CLEANED AND CONDITIONED AS DIRECTED BY THE SUPPLIER OR MANUFACTURER, IN ACCORDANCE WITH ACCEPTED INDUSTRY STANDARD PRACTICE..
21. THE CONTRACTOR SHALL MAINTAIN CONSTRUCTION PREMISES IN A NEAT AND ORDERLY CONDITION AT THE END OF EACH WORKING DAY.
22. THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS, MAINTAIN AND PAY ALL COSTS FOR TEMPORARY WATER AND PLUMBING, POWER AND LIGHTING OR VENTILATION AS HE MAY REQUIRE TO PROPERLY CONDUCT THE WORK OF HIS CONTRACT.
23. GENERAL CONTRACTOR IS RESPONSIBLE TO CLEAN UP AND REMOVE FROM THE PREMISES ALL WASTE MATERIALS, RUBBISH, WRAPPINGS AND SALVAGES AS GENERATED BY THE CONSTRUCTION, DEMOLITION AND/OR THE DELIVERY AND INSTALLATION OF ANY PRODUCTS, MATERIALS, OR EQUIPMENT WHICH IS PART OF HIS CONTRACT.
24. THE SITE SHALL BE PROTECTED FROM RAIN AND WEATHER AT ALL TIMES. ANY PERMEABLE OR ABSORPTIVE MATERIALS (INCLUDING NON-MARINE GRADE PLYWD) OR SURFACES SUBJECTED TO RAIN OR MOISTURE DURING CONSTRUCTION, OR IN STORAGE ON OR OFF SITE, MUST BE REPLACED WITH NEW MATERIAL.

DOOR SCHEDULE							
Door Number	Dimension		Keynote	Material		Finish	Comments
	Width	Height		Door	Frame		
A101	17'-0"	9'-0"		glass	aluminum	paint	overhead door frosted glass
A102.1	3'-0"	9'-0"	Flush	glass	aluminum		out swing door
A102.2	3'-0"	9'-0"	Flush	wood	wood		1-hour fire rated
A102.3	3'-0"	9'-0"	Flush	wood	wood		
A102.4	10'-1"	9'-0"		glass	aluminum		3 panels glass sliding doors
A103	12'-3"	9'-0"		glass	aluminum		3 panels glass sliding doors
A104	2'-8"	9'-0"	Flush	wood	wood		
A105	2'-8"	9'-0"	Flush	wood	wood		
A201.1	3'-0"	10'-0"	Flush	wood	wood		
A201.2	8'-0"	11'-0"		wood	wood		2 panels wood sliding doors
A201.3	8'-0"	10'-6"		glass	aluminum		2 panels glass sliding doors
A202	4'-0"	10'-6"		wood	wood		pocket door
A203	3'-0"	10'-0"	Flush	wood	wood		pocket door
A204	2'-6"	10'-0"	Flush	wood	wood		
A205	3'-0"	10'-6"	Flush	wood	wood		
A206.1	14' - 7 1/2"	11'-0"		glass	aluminum		4 panels glass sliding doors
A206.2	10' - 6 1/8"	11'-0"		glass	aluminum		3 panels glass sliding doors
A301	3'-0"	9"- 6"	Flush	wood	wood		
A301.1	9'-6"	9"- 6"		wood	wood		4 panels wood sliding doors
A301.2	8'-0"	9'-0"		glass	aluminum		2 panels glass sliding doors
A302.1	2'-8"	9'-0"	Flush	wood	wood		
A302.2	3'-0"	9'-0"	Flush	wood	wood		
A303.1	3'-0"	9'-0"	Flush	wood	wood		
A303.2	3'-0"	9'-0"	Flush	wood	wood		
A304	2'-8"	9'-0"	Flush	wood	wood		
A305.1	14' - 7 1/2"	9"- 6"		glass	aluminum		4 panels glass sliding doors
A305.2	10' - 6 1/8"	9"- 6"		glass	aluminum		3 panels glass sliding doors
A306	4'-0"	9"- 6"		wood	wood		pocket door
A401.1	8'-0"	8'-0"		glass	aluminum		2 panels glass sliding doors
A401.2	2'-10"	8'-0"	Flush	wood	wood		
A401.3	3'-0"	8'-0"	Flush	wood	wood		
A402	6'-10"	8'-0"		wood	wood		2 panels wood sliding doors
AP00L	2'-8"	4'-0"	Flush	wood	wood		
B101	17'-0"	9'-0"		glass	aluminum	paint	overhead door frosted glass
B102.1	3'-0"	9'-0"	Flush	glass	aluminum		out swing door
B102.2	7'-10"	9'-0"		glass	aluminum		2 panels glass sliding doors 1-hour fire rated
B102.3	3'-0"	9'-0"	Flush	wood	wood		
B102.4	14'-6"	9'-0"		glass	aluminum		4 panels sliding doors
B103	16'-11"	9'-0"		glass	aluminum		4 panels sliding doors
B104	2'-8"	9'-0"	Flush	wood	wood		
B105	2'-8"	9'-0"	Flush	wood	wood		
B201.1	3'-0"	10'-0"	Flush	wood	wood		
B201.B	8'-0"	11'-0"		glass	aluminum		2 panels glass sliding doors
B202	4'-0"	10'-0"		wood	wood		pocket door
B203	2'-8"	10'-0"	Flush	wood	wood		
B204	2'-8"	10'-0"	Flush	wood	wood		
B205.1	3'-0"	10'-0"	Flush	wood	wood		
B205.2	15'-6"	11'-0"		glass	aluminum		4 panels glass sliding doors

NOTE: FOR TOWNHOUSES KEY C,D,E SHALL BE THE SAME DOOR SCHEDULE AS PER TOWNHOUSE KEY B

DOOR SCHEDULE							
Door Number	Dimension		Keynote	Material		Finish	Comments
	Width	Height		Door	Frame		
B207	2'-8"	10'-0"	Flush	wood	wood		
B301.1	3'-0"	9'-0"	Flush	wood	wood		
B301.2	7'-0"	9'-0"		wood	wood		2 panels wood sliding doors
B301.3	3'-0"	9'-0"	Flush	glass	aluminum		glass swing door
B302.1	8'-0"	10'-0"		glass	aluminum		2 panels glass sliding doors
B302.2	7'-0"	9'-0"		wood	wood		2 panels wood sliding doors
B302.3	3'-0"	9'-0"	Flush	wood	wood		
B303	3'-0"	9'-0"		wood	wood		pocket door
B304.1	3'-0"	9'-0"	Flush	wood	wood		
B304.2	3'-0"	9'-0"	Flush	wood	wood		
B305	2'-8"	9'-0"	Flush	wood	wood		
B306	15'-6"	10'-0"		glass	aluminum		4 panels glass sliding doors
B307	4'-0"	9"- 6"		wood	wood		pocket door
B401.1	8'-0"	8'-0"		glass	aluminum		2 panels glass sliding doors
B401.2	3'-0"	8'-0"	Flush	wood	wood		
B401.3	8'-0"	8'-0"		glass	aluminum		2 panels glass sliding doors
B402	6'-10"	8'-0"		wood	wood		2 panels wood sliding doors
BPOOL	2'-8"	4'-0"	Flush	wood	wood		
BR1	4'-0"	3'-0"		wood	wood		swing
F102.4	14'-6"	9'-0"		glass	aluminum		4 panels glass sliding doors
F101	17'-0"	9'-0"		mansonite	aluminum	paint	overhead door
F102.1	3'-0"	9'-0"	Flush	wood	wood		
F102.2	3'-0"	9'-0"	Flush	wood	wood		1-hour fire rated
F102.3	3'-0"	9'-0"	Flush	wood	wood		
F103	12' - 9"	9'-0"		glass	aluminum		3 panels glass sliding doors
F104	2'-8"	9'-0"	Flush	wood	wood		
F105	2'-8"	9'-0"	Flush	wood	wood		
F201.1	2'-8"	10'-0"	Flush	wood	wood		
F201.2	8'-6"	10'-0"		wood	wood		2 panels wood sliding doors
F201.3	8'-0"	11'-0"		glass	aluminum		2 panels glass sliding doors
F202	4'-0"	10'-0"		wood	wood		pocket door
F203	3'-0"	10'-0"	Flush	wood	wood		pocket door
F204	2'-6"	10'-0"	Flush	wood	wood		
F205.1	3'-0"	10'-6"	Flush	wood	wood		
F206.1	14' - 7 3/4"	11'-0"		glass	aluminum		4 panels glass sliding doors
F206.2	11' - 4 1/4"	11'-0"		glass	aluminum		3 panels glass sliding doors
F301.1	3'-0"	9'-0"	Flush	wood	wood		
F301.2	9'-0"	10'-0"		wood	wood		2 panels wood sliding doors
F301.3	8'-0"	10'-0"		glass	aluminum		2 panels glass sliding doors
F302.1	3'-0"	9'-0"	Flush	wood	wood		
F302.2	2'-8"	9'-0"	Flush	wood	wood		
F303	3'-0"	9'-0"	Flush	wood	wood		
F304	2'-8"	9'-0"	Flush	wood	wood		
F305.1	3'-0"	10'-0"	Flush	wood	wood		
F305.2	11' - 4 1/4"	10'-0"		glass	aluminum		3 panels glass sliding doors
F305.3	14' - 7 3/4"	10'-0"		glass	aluminum		4 panels sliding doors
F306	4'-0"	9"- 6"		wood	wood		pocket door
F401.1	2'-10"	8'-0"	Flush	wood	wood		
F401.2	3'-0"	8'-0"	Flush	wood	wood		
F401.3	8'-0"	8'-0"		glass	aluminum		2 panels glass sliding doors
F402	6'-10"	8'-0"		wood	wood		2 panels wood sliding doors
G1E	2'-8"	9'-0"	Flush	aluminum	aluminum		gate vertical railing
G1N	2'-8"	9'-0"	Flush	aluminum	aluminum		gate vertical railing
G2E	2'-8"	9'-0"	Flush	aluminum	aluminum		gate vertical railing
G2N	3'-0"	10'-0"	Flush	wood	wood		swing
G3N	2'-8"	9'-0"	Flush	aluminum	aluminum		gate vertical railing
L100L	2'-8"	4'-0"	Flush	aluminum	aluminum		gate vertical railing

RNA

REX NICHOLS ARCHITECTS
1600 SOUTH FEDERAL HWY. STE. 670
POMPANO BEACH, FL 330621800
WWW.REXNICHOLSARCHITECTS.COM
INFO@REXNICHOLSARCHITECTS.COM
T-954.951.6101

REX NICHOLS AIA
AR007415

PROPOSED TOWNHOUSES ADDRESS 700 BRINY
AV. POMPANO BEACH, 33062

OWNER : CARLO TREE LP
GREENPARK GROUP
5600 N Federal Highway
Fort Lauderdale - FL - 33308

PROJECT NUMBER 4/2018

DOOR SCHEDULE

DESIGNED BY:
Alex Penna & Rex Nichols

DATE:
NOVEMBER 20TH 2019
REV 1 : 04/07/2020

ISSUED FOR

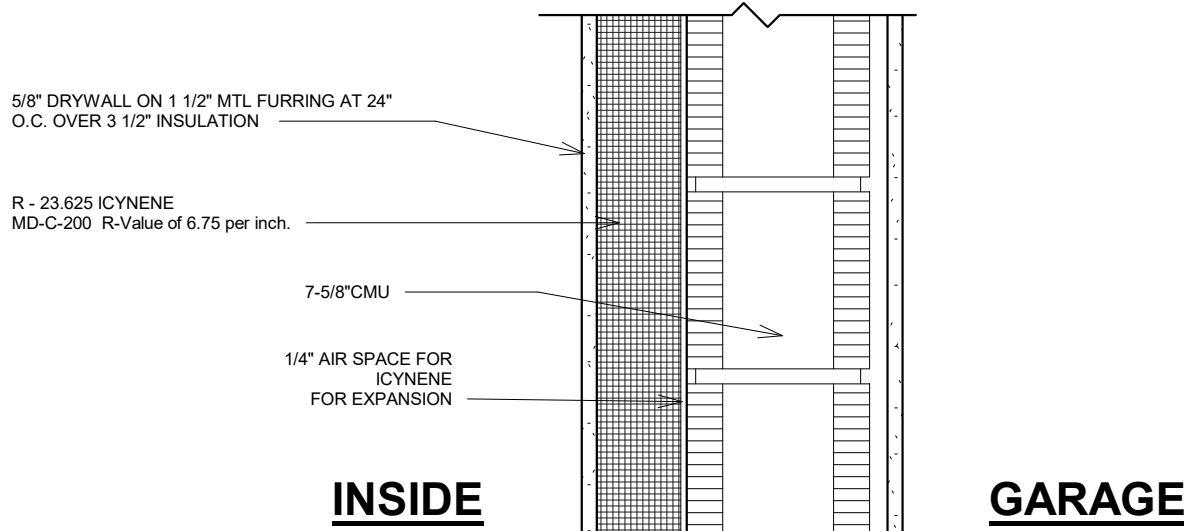
☐ REVIEW & COMMENTS
☐ BIDDING
☐ NOT FOR CONSTRUCTION
☒ PERMIT
☐ CONSTRUCTION

004 A-12

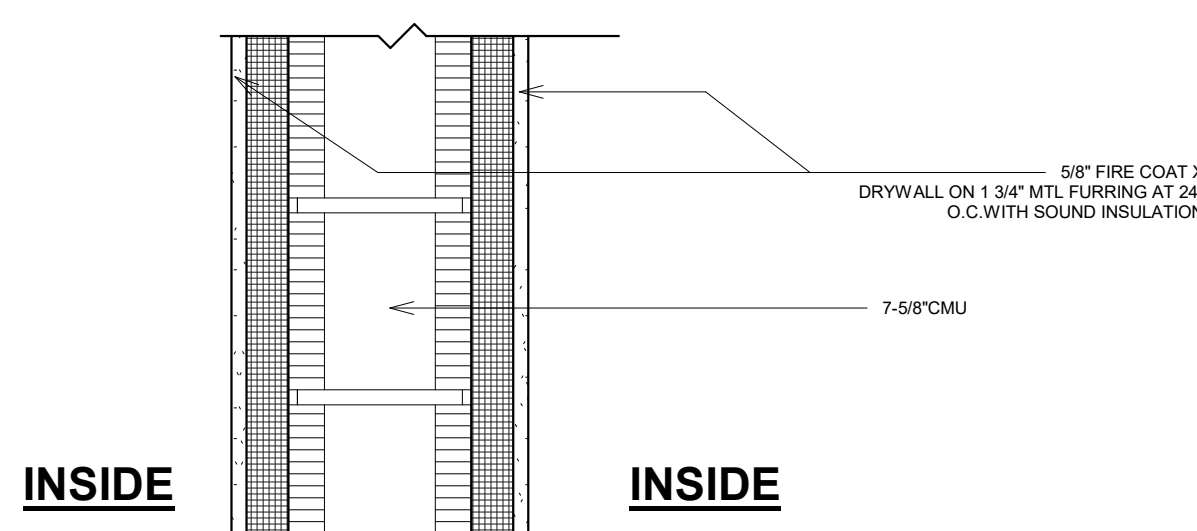
This drawing is the property of Rex Nichols Architects, P.A., and is an instrument of service not to be reproduced in whole or in part without the express written permission of name.

COPYRIGHT 2019 ©

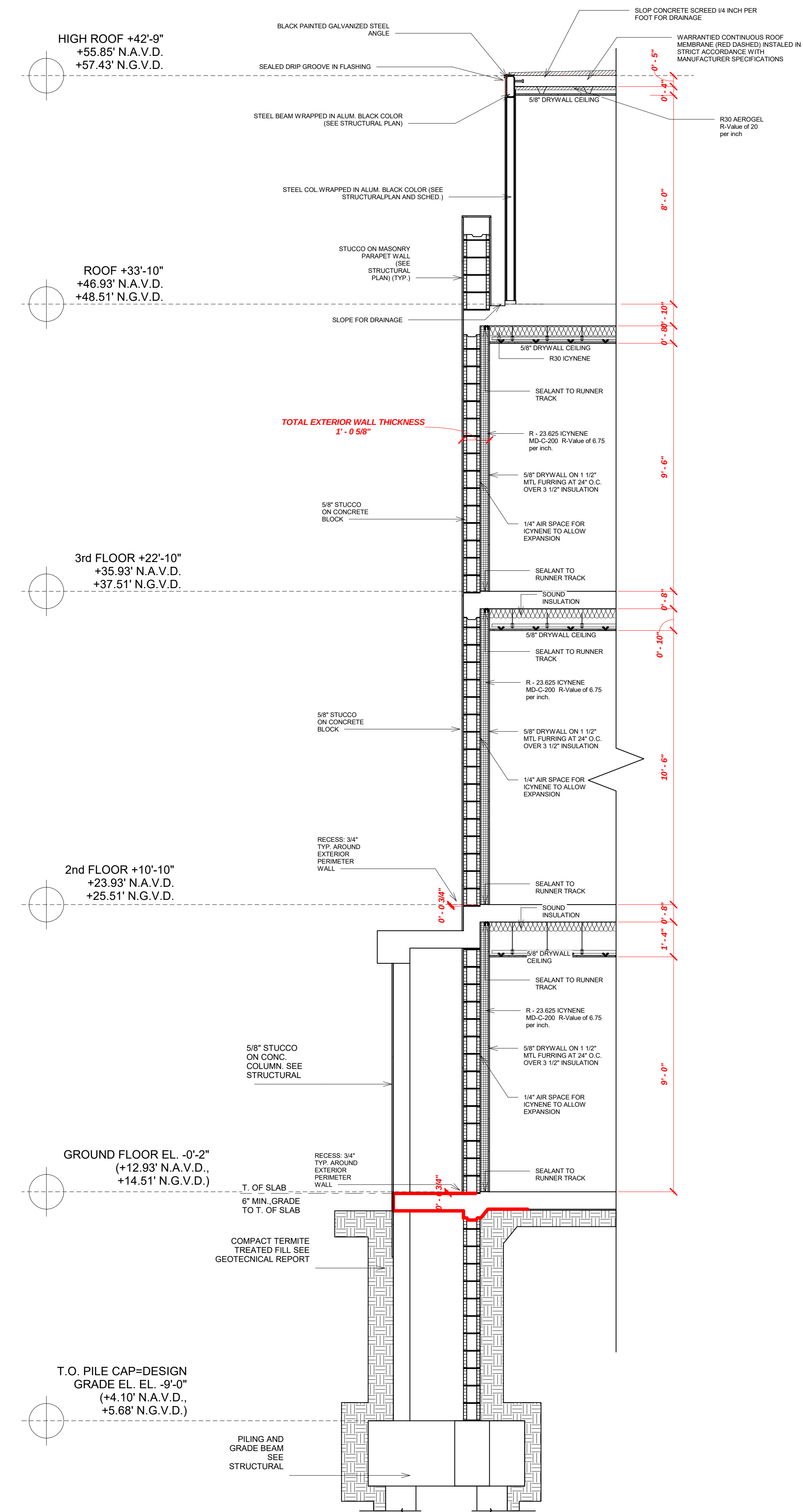
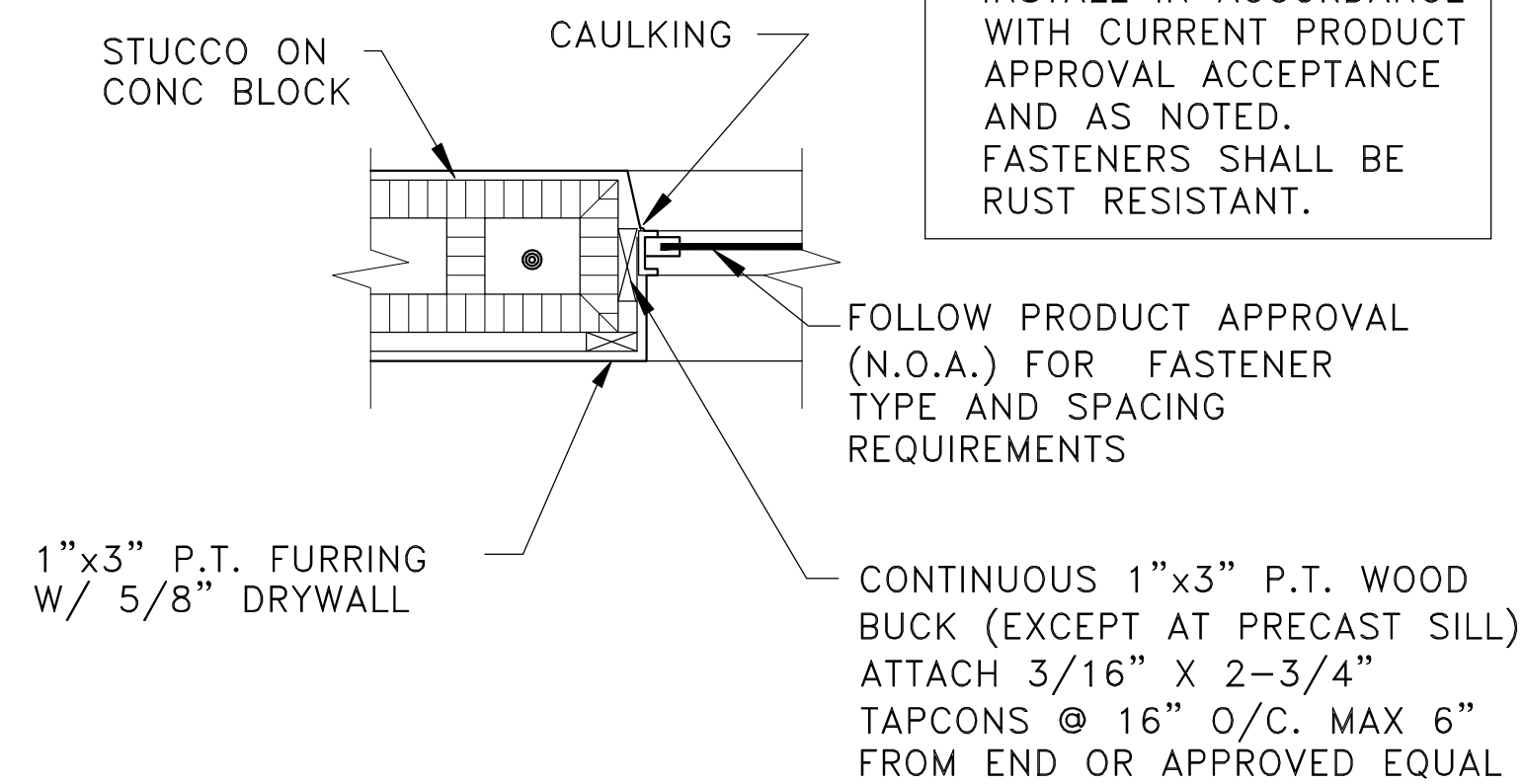
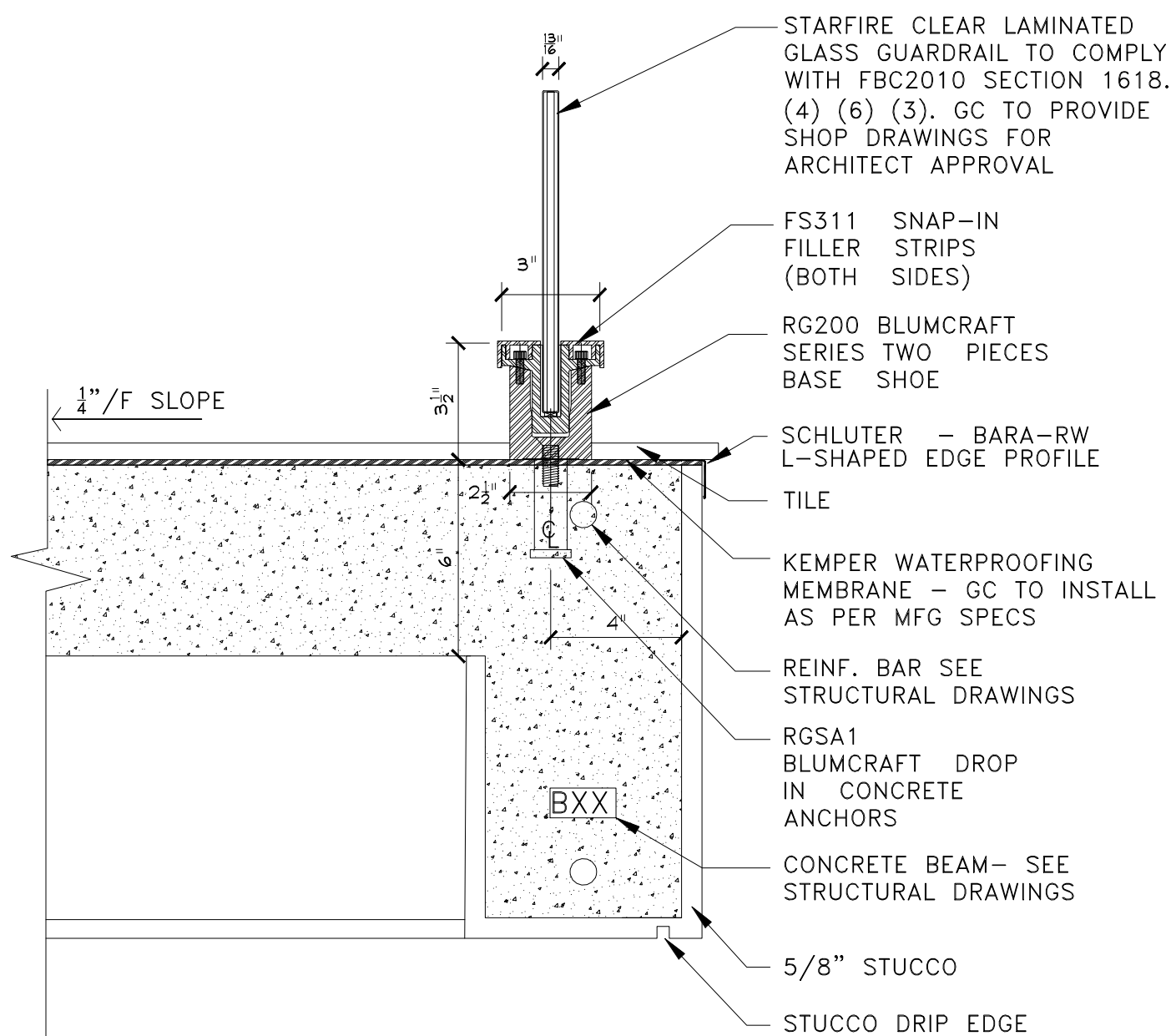
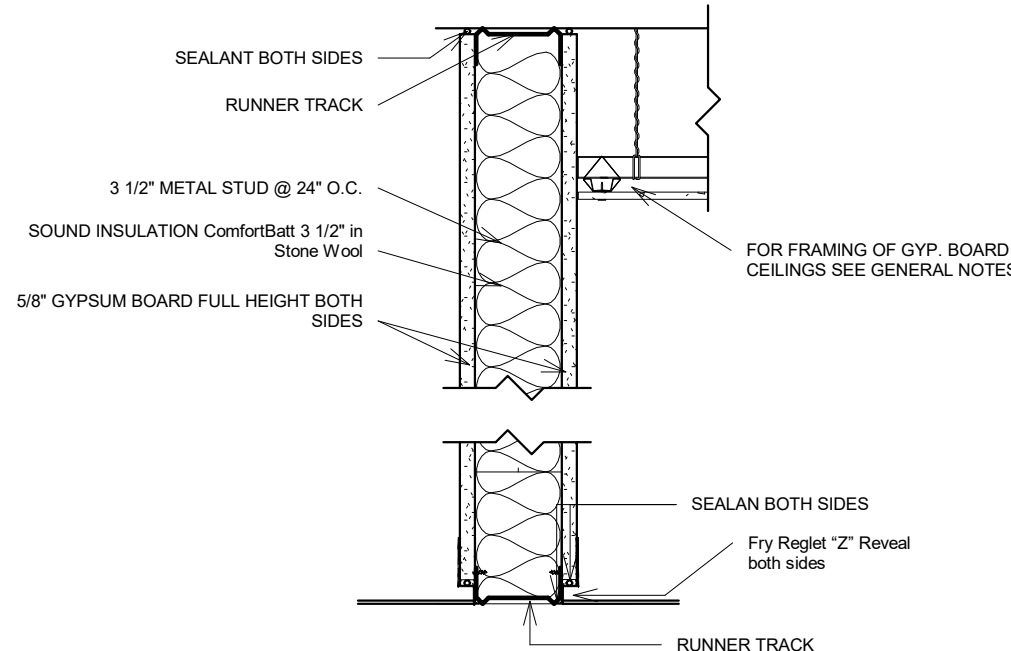
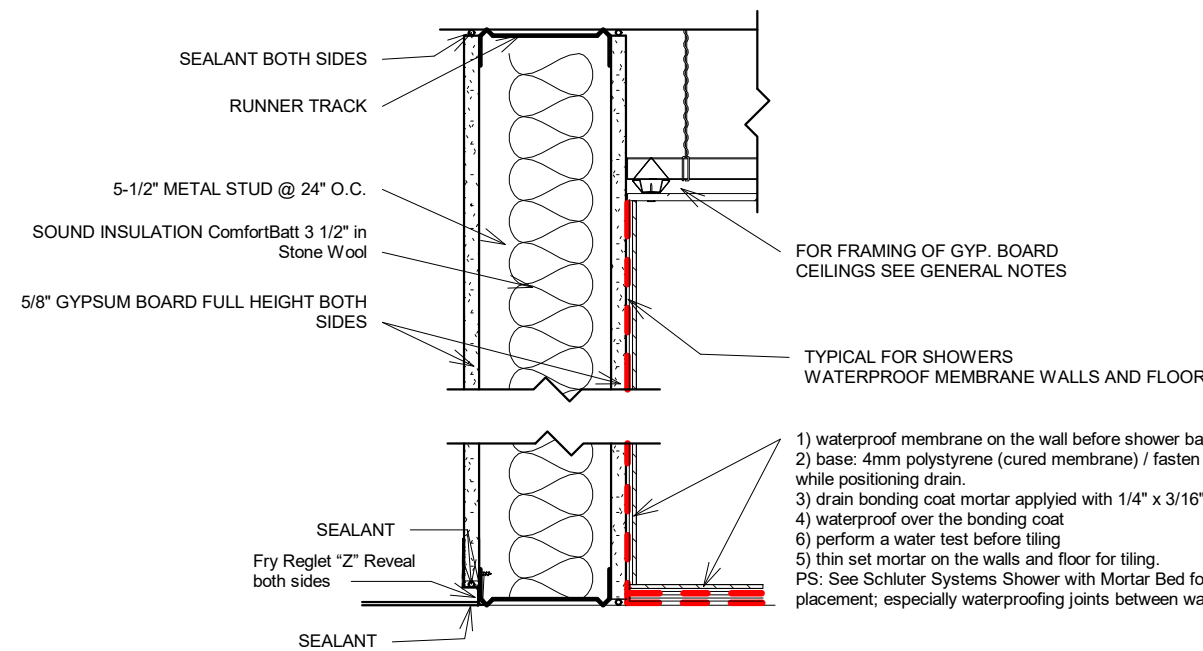
4/15/2020 3:05:05 PM PERMIT APPLICATION



**TYPICAL 1' - 2 5/8" INTERIOR GARAGE WALL
1 h FIRE RATED**



**TYPICAL 1' - 0 3/8" INTERIOR PARTY
WALL - 2 h FIRE
RATED**



RNA

REX NICHOLS ARCHITECTS
1600 SOUTH FEDERAL HWY., STE. 970
POMPANO BEACH, FL 330621800
WWW.REXNICHOLSARCHITECTS.COM
INFO@REXNICHOLSARCHITECTS.COM
T:954.951.6101

REX NICHOLS AIA
AR007415

PROPOSED TOWNHOUSES ADDRESS 700 BRINY
AV, POMPANO BEACH, 33062

OWNER: CARLO TREE LP
GREENPARK GROUP
5600 N Federal Highway
Fort Lauderdale - FL - 33308

PROJECT NUMBER 4/2018

**WALL TYPE &
SECTIONS**

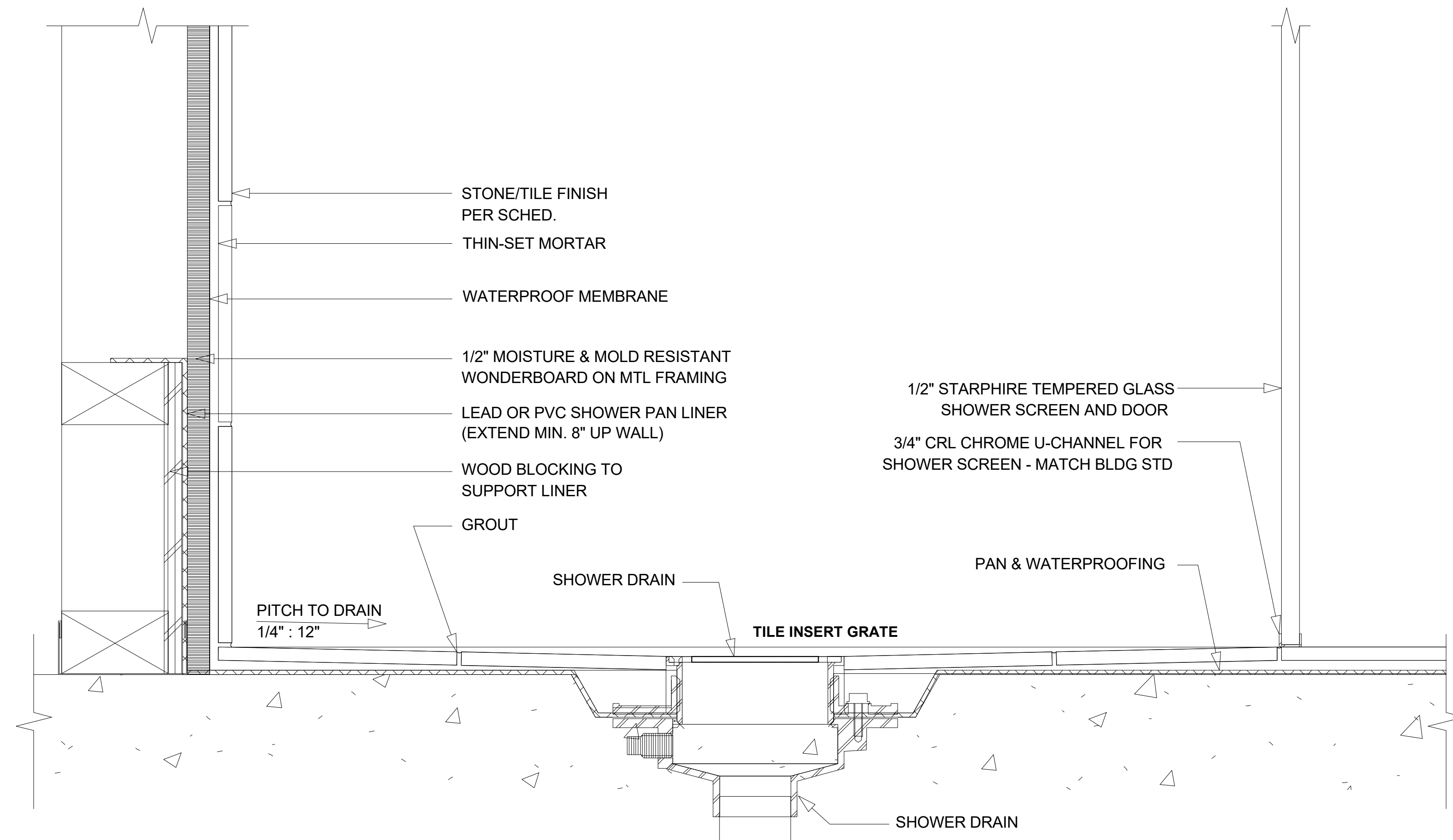
DESIGNED BY:
Alex Penna & Rex Nichols
DATE:
NOVEMBER 20TH 2019

ISSUED FOR
☐ REVIEW & COMMENTS
☐ BIDDING
☐ NOT FOR CONSTRUCTION
☒ PERMIT
☐ CONSTRUCTION

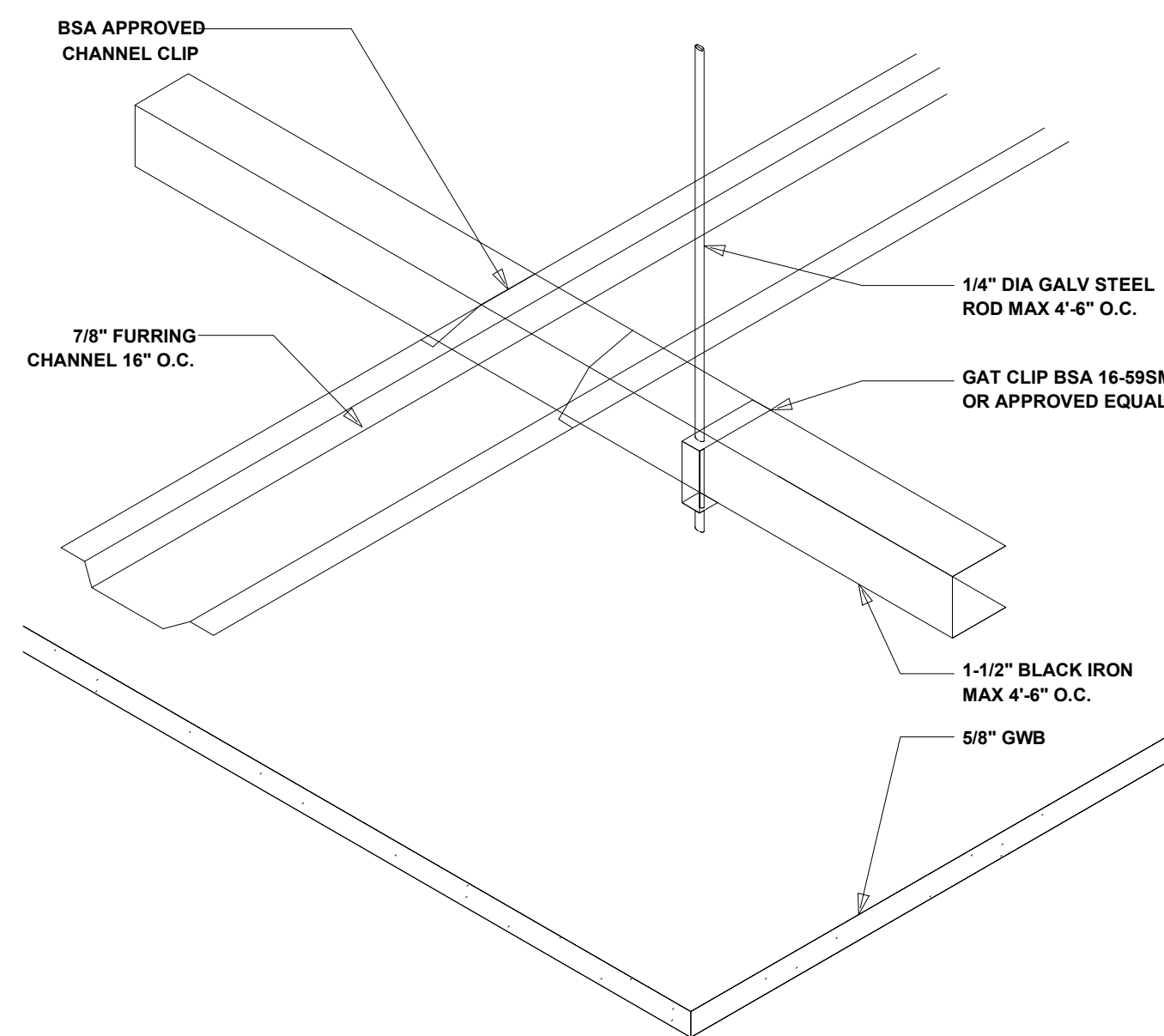
004 A-13

This drawing is the property of **Rex Nichols Architects, P.A.**, and is an instrument of service not to be reproduced in whole or in part without the express written permission of same.
COPYRIGHT 2019 ©

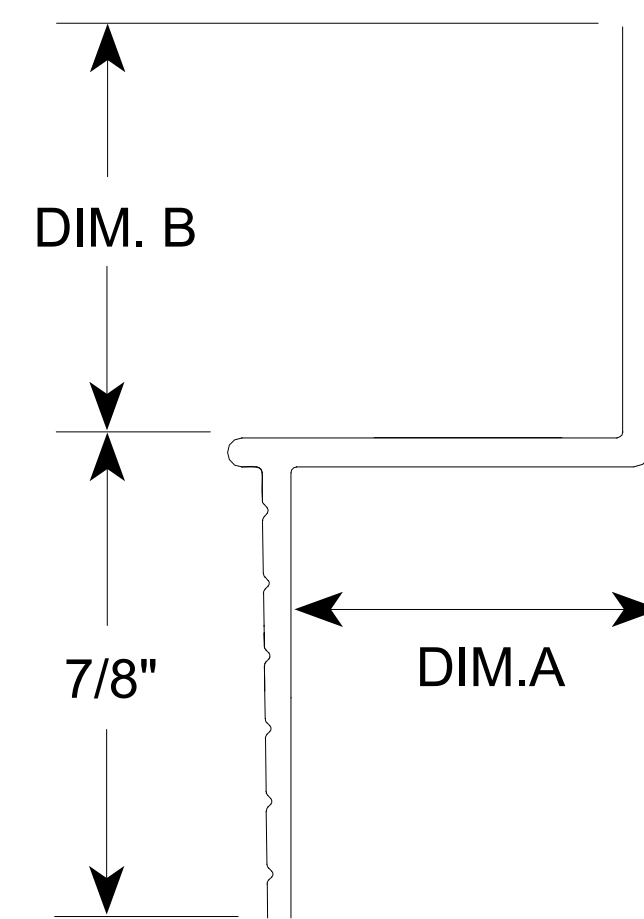
PERMIT APPLICATION
4/15/2020 3:05:47 PM



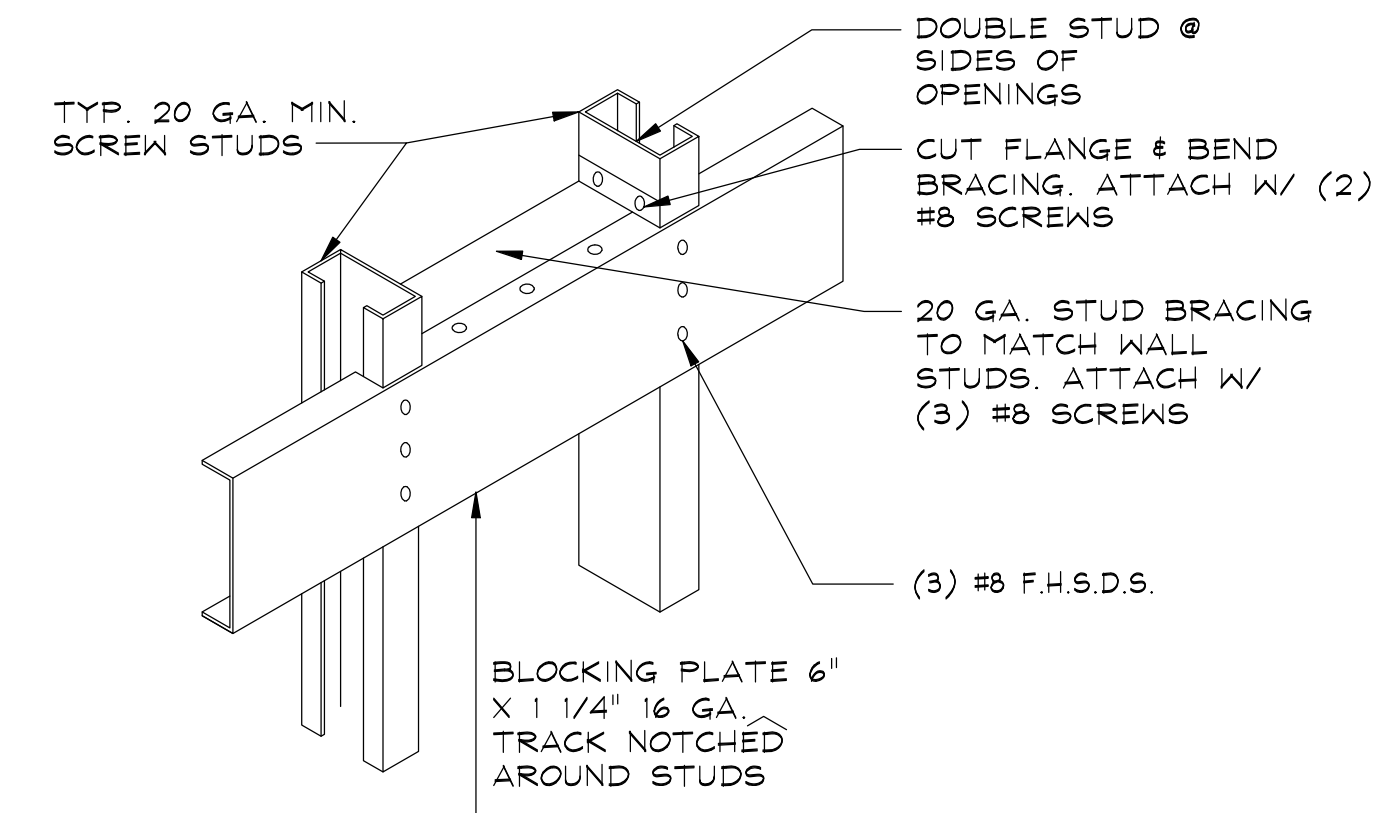
THRESHOLD AND RECESS SHOWER WITH TILE INSERT GRATE



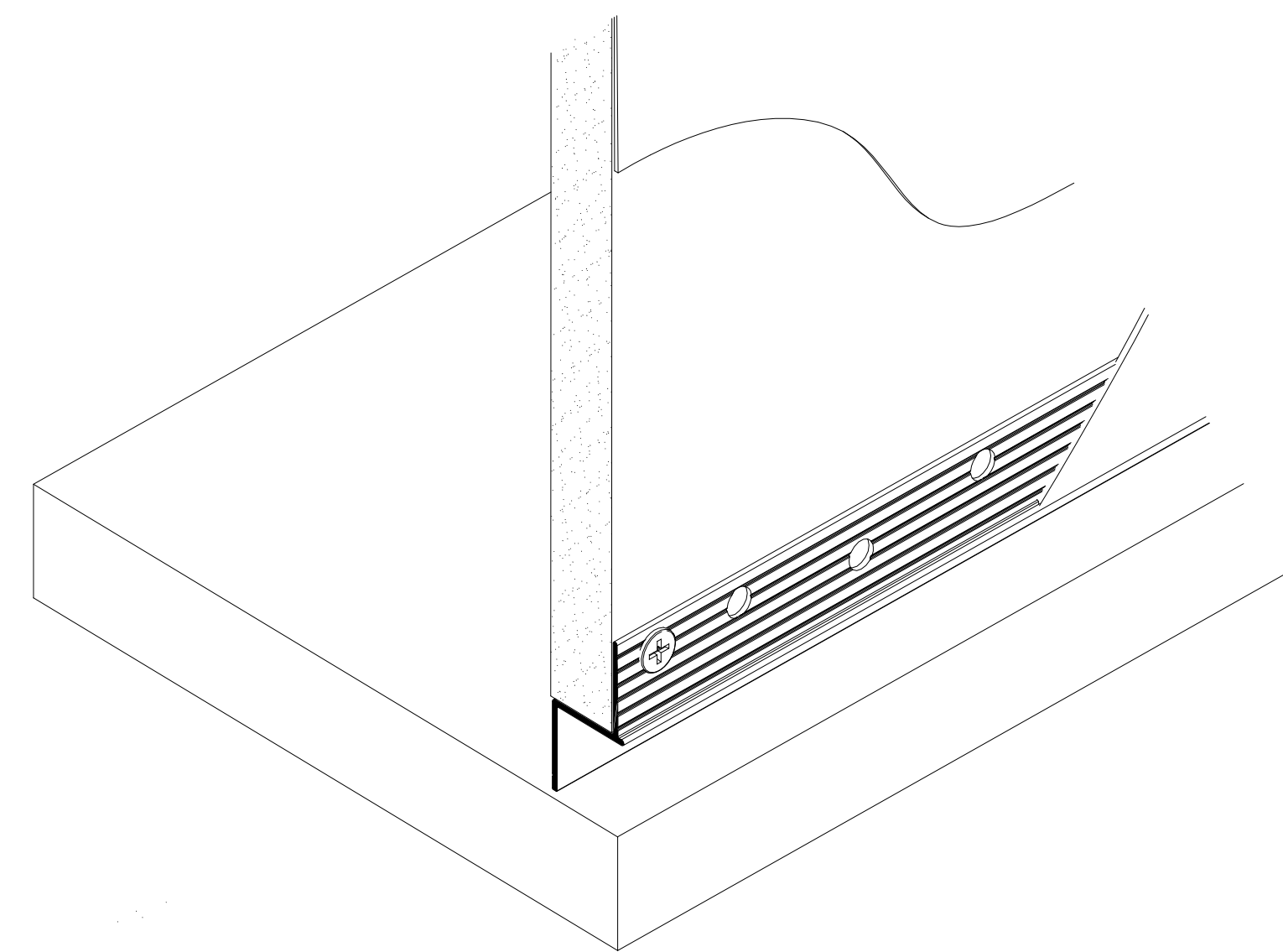
TYPICAL HUNG GWB CEILING DETAIL



FRY REGLET "Z" REVEAL SECTION DETAIL



WALL AND BLOCKING DETAIL



FRY REGLET "Z" REVEAL FOR BASEBOARDS TYPICAL

RNA

REX NICHOLS ARCHITECTS
1600 SOUTH FEDERAL HWY, STE. 870
POMPANO BEACH, FL 33062-1800
WWW.REXNICHOLSARCHITECTS.COM
INFO@REXNICHOLSARCHITECTS.COM
T:954.951.6101

REX NICHOLS AIA
AR007415

PROPOSED TOWNHOUSES ADDRESS 700 BRINY
AV, POMPANO BEACH, 33062

OWNER: CARLO TREE LP
GREENPARK GROUP
5600 N Federal Highway
Fort Lauderdale - FL - 33308

PROJECT NUMBER 4/2018

DETAILS

DESIGNED BY:
Alex Penna & Rex Nichols

DATE:
NOVEMBER 20TH 2019

ISSUED FOR

☐ REVIEW & COMMENTS
☐ BIDDING
☐ NOT FOR CONSTRUCTION
☒ PERMIT
☐ CONSTRUCTION

004 A-14

This drawing is the property of **Rex Nichols Architects, P.A.**, and is an instrument of service not to be reproduced in whole or in part without the express written permission of same.
COPYRIGHT 2019 ©

4/15/2020 3:05:53 PM PERMIT APPLICATION



RNA

REX NICHOLS ARCHITECTS
1600 SOUTH FEDERAL HWY, STE 870
POMPANO BEACH, FL 330621800
WWW.REXNICHOLSARCHITECTS.COM
INFO@REXNICHOLSARCHITECTS.COM
T:954.951.6101

REX NICHOLS AIA
AR007415

PROPOSED TOWNHOUSES ADDRESS 700 BRINY
AV, POMPANO BEACH, 33062

OWNER: CARLO TREE LP
GREENPARK GROUP
5600 N Federal Highway
Fort Lauderdale - FL - 33308

PROJECT NUMBER 4/2018

RENDERING
REAR FACADE

DESIGNED BY:
Alex Penria & Rex Nichols

DATE:
NOVEMBER 20TH 2019

ISSUED FOR

☐ REVIEW & COMMENTS
☐ BIDDING
☐ NOT FOR CONSTRUCTION
☒ PERMIT
☐ CONSTRUCTION

004 A-15

This drawing is the property of Rex Nichols
Architects, P.A., and is an instrument of service not
to be reproduced in whole or in part without the
express written permission of same.
COPYRIGHT 2019 ©

PERMIT APPLICATION
4/15/2020 3:05:59 PM