

CONSTRUCTION SUMMARY			RECEIVED	
Legacy Hill - Trinigroup Development Inc.			FEB 28 2025	
PURCHASER: Tengda GAO			TEL:	
LOT / PHASE	REG. PLAN #	HOUSE TYPE		
78 / 1	65M-4818	Villa 7 Elev 3		

CERAMIC TILE

1 - DELETE ALL CERAMIC BATHROOM ACCESSORIES - DELETE TOWEL BAR, PAPER HOLDER & SOAP DISH THROUGHOUT 27Feb25 Note:	
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CONSTRUCTION

1 - LOWER LEVEL - BASEMENT 8 FOOT 6 INCH CONCRETE POUR - MEASURED FROM TOP OF FOOTING TO TOP OF FOUNDATION WALL 17Oct23 Note:	
1 - FIRST FLOOR INCREASE CEILING HEIGHT FROM 9 FEET TO 10 FEET 17Oct23 Note:	
3 - ENLARGED BASEMENT WINDOWS (MAY REQUIRE WINDOW WELLS) - WINDOW IS 30 INCHES X 24 INCHES 17Oct23 Note:	

ELECTRICAL

1 - RELOCATE STANDARD KITCHEN LIGHT TO BE CENTERED OVER ISLAND 16May24 Note:	
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HARDWOOD FLOORING

1 - HARDWOOD - GROUP C SERIES 7 3/4 INCH - IN LIEU OF 3 1/4 INCH NATURAL RED OAK - FIRST FLOOR HARDWOOD AREAS INCLUDING STAIR LANDINGS 27Feb25 Note:	
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PROMOTIONAL

1 - LESS CREDIT FROM PURCHASER EXTRA SHEET IN OFFER 17Oct23 Note:	
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STAIRS AND RAILINGS

1 - STAINED STAIRS - STANDARD STAIRCASE - INCLUDES EXTRA STEPS 27Feb25 Note:	
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EXTRAS AS PER OFFER

The Vendor agrees that notwithstanding any other term or provision in this Agreement included in the Purchase Price and in addition to those items detailed in Schedule GP to the Agreement of Purchase and Sale, the Purchaser is entitled to a credit of Ten Worksheet Note:	
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This Document is Extremely Time Sensitive - Printed 28 Feb 25 at 10:56

Purchaser:

Tengda GAO

Telephone Res. / Bus:

/

Decor Advisor:

Ida Viola

Lock Date:

27-Feb-25

Property: 78

Project: Trinigroup Development Inc.

Model and Elevation: Villa 7 Elev 3

Plan #: 65M-4818

1. Cabinetry

	Style and Colour	Hardware
Kitchen / Breakfast	DORAL W500 WHITE	465SA
Laundry Room	ELISSE	Standard
Powder Room	DORAL W500 WHITE	465SA
Master Ensuite Bathroom	DORAL W500 WHITE	465SA
Ensuite Bath - Bedroom 2/3	DORAL W500 WHITE	465SA
Ensuite Bath - Bedroom 4	DORAL W500 WHITE	465SA

Stove Opening

STANDARD

NOTE: If not specified, opening will be set to builder's standard opening of approximately 30" width

Fridge Opening

STANDARD

NOTE: If not specified, opening will be set to builder's standard opening of approximately 37" width x 74" height

** Refer to Construction Summary

2. Counters

	Counter	Edge	Niche
Kitchen / Breakfast	GRANIT - NERO IMPALA	#370 EDGE	
Laundry Room	N/A		
Powder Room	LAMINATE-WHITE CARRARA 4924-38		
Master Ensuite Bathroom	LAMINATE-WHITE CARRARA 4924-38		
Ensuite Bath - Bedroom 2/3	LAMINATE-WHITE CARRARA 4924-38		
Ensuite Bath - Bedroom 4	LAMINATE-WHITE CARRARA 4924-38		
Kitchen Backsplash	N/A		

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27-Feb-25

3. Ceramic Flooring

Entrance Vestibule	TILE-KALMA BLANCO GLOSSY 12.5 X 12.5	At a 45
Main Hall	HARDWOOD	
Kitchen / Breakfast	TILE-KALMA BLANCO GLOSSY 12.5 X 12.5	
Laundry Room	TILE-KALMA BLANCO GLOSSY 12.5 X 12.5	
Powder Room	TILE-KALMA BLANCO GLOSSY 12.5 X 12.5	
Master Ensuite Bathroom	TILE-KALMA BLANCO GLOSSY 12.5 X 12.5	
Ensuite Bath - Bedroom 2/3	TILE-KALMA BLANCO GLOSSY 12.5 X 12.5	
Ensuite Bath - Bedroom 4	TILE-KALMA BLANCO GLOSSY 12.5 X 12.5	
Mud Room	TILE-KALMA BLANCO GLOSSY 12.5 X 12.5	

** Refer to Construction Summary ** METAL STRIP THRESHOLD WHERE APPLICABLE UNLESS SPECIFIED **

4. Ceramic Wall Tile

Master Ensuite Bathroom	Selection	Describe
Tub Deck Wall	N/A	
Shower Stall	TILE-SILVIA WHITE 8X16	
Bathtub Enclosure Walls	N/A	
Ensuite Bath - Bedroom 2/3	TILE-SILVIA WHITE 8X16	
Ensuite Bath - Bedroom 4	TILE-SILVIA WHITE 8X16	
Mud Room	N/A	
Kitchen Backsplash	N/A	

** Refer to Construction Summary - STANDARD GROUT THROUGHOUT UNLESS SPECIFIED

5. Trim Carpentry


Interior Doors	CARRARA-SMOOTH
Interior Trim	As Per Construction Specifications

** Refer to Construction Summary

6. Plaster Mouldings and Medallions

Entrance Vestibule	N/A		Kitchen/Breakfast	N/A	
Main Hall	N/A		Den/Library	N/A	
Living Room	N/A		Lower Landing	N/A	
Dining Room	N/A				
Family Room	N/A				

** Refer to Construction Summary

Initial: 

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7. Other Flooring

Main Hall	HARDWOOD - MIRAGE CAROUSEL WHITE OAK CHARACTER BRUSHED 7 3/4" DURAMAT
Living Room	N/A
Dining Room	HARDWOOD - MIRAGE CAROUSEL WHITE OAK CHARACTER BRUSHED 7 3/4" DURAMAT
Family Room	HARDWOOD - MIRAGE CAROUSEL WHITE OAK CHARACTER BRUSHED 7 3/4" DURAMAT
Den / Library / Study	N/A
Basement Landing(If Applies)	N/A
Lower Landing (If Applies)	HARDWOOD - MIRAGE CAROUSEL WHITE OAK CHARACTER BRUSHED 7 3/4" DURAMAT
Upper Landing	HARDWOOD - MIRAGE CAROUSEL WHITE OAK CHARACTER BRUSHED 7 3/4" DURAMAT
Upper Hall	LAMINATE-KORTEMARK OAK TL LW 1312 PEFC
Master Bedroom	LAMINATE-KORTEMARK OAK TL LW 1312 PEFC
Bedroom #2	LAMINATE-KORTEMARK OAK TL LW 1312 PEFC
Bedroom #3	LAMINATE-KORTEMARK OAK TL LW 1312 PEFC
Bedroom #4	LAMINATE-KORTEMARK OAK TL LW 1312 PEFC
Bedroom #5	N/A

Underpad

Standard ☐

Upgrade

** Refer to Construction Summary

8. Railings and Pickets

Railing Type

AS PER CONSTRUCTION SPECIFICATIONS

Picket Type

AS PER CONSTRUCTION SPECIFICATIONS

Stringer / Riser

AS PER CONSTRUCTION SPECIFICATIONS

Treads

AS PER CONSTRUCTION SPECIFICATIONS

Colour

MIRAGE CAROUSEL WHITE OAK

Colour

MIRAGE CAROUSEL WHITE OAK

Colour

MIRAGE CAROUSEL WHITE OAK

Colour

MIRAGE CAROUSEL WHITE OAK

Red Oak Stairs as Per Vendor's Standard

** Refer to Construction Summary THE STAIN COLOURS OR FINISH AVAILABLE ON RISERS, TREADS, PICKETS AND RAILS (STAIRCASES), WILL NOT BE AN EXACT MATCH TO PREFINISHED HARDWOOD OR LAMINATE FLOORS.

9. Wall Paint Flat Finish

Main & Upper Hall	22 WARM GREY	Master Bedroom	22 WARM GREY
Living Room	N/A	Bedroom #2	22 WARM GREY
Dining Room	22 WARM GREY	Bedroom #3	22 WARM GREY
Kitchen / Breakfast	22 WARM GREY	Bedroom #4	22 WARM GREY
Family Room	22 WARM GREY	Bedroom #5	N/A
Powder Room	22 WARM GREY	Master Ensuite	22 WARM GREY
Laundry Room	22 WARM GREY	Ensuite Bath - Bedroom 2/3	22 WARM GREY
Den/Library	22 WARM GREY	Ensuite Bath - Bedroom 4	22 WARM GREY
Trim & Door Paint-Semi Gloss	BIRCH WHITE	Mud Room	22 WARM GREY

** Refer to Construction Summary

Purchaser:	Tengda GAO	Property:	78
Telephone Res. / Bus:	/	Project:	Trinigroup Development Inc.
Decor Advisor:	Ida Viola	Model and Elevation:	Villa 7 Elev 3
Lock Date:	27-Feb-25	27-Feb-25	Plan #: 65M-4818

10. Fireplace

	Living Room			Family Room			Other Room - Specify <input type="text"/>		
	Purchased	As Per Plan	N/A	Purchased	As Per Plan	N/A	Purchased	As Per Plan	N/A
Fireplace Type	<input type="radio"/>	<input type="radio"/>	<input checked="" type="radio"/>	<input type="radio"/>	<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input checked="" type="radio"/>
Mantle Type	<input type="text"/>			As Per Construction Specifications			<input type="text"/>		
Colour / Stain	<input type="text"/>			MANTLE M2-STANDARD			<input type="text"/>		
Surround	<input type="text"/>			AS PER CONSTRUCTION SPECIFICATIONS			<input type="text"/>		
Hearth	<input type="text"/>			BIANCO			<input type="text"/>		
	<input type="text"/>			NO			<input type="text"/>		
** Refer to Construction Summary									

11. Air Conditioning

Air Conditioning	<input type="text" value="NO"/>
Comment	<input type="text"/>
** Refer to Construction Summary	

12. General Comments

** Refer to Construction Summary

Disclaimers and Notes

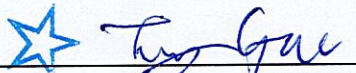
1) Colours of all materials are as close as possible to builder's selection, but not necessarily identical due to variances in manufacturing.

2) Any extras listed above are null and void unless accompanied by a separate invoice/amendment. Said invoice must be paid in full.

3) The Purchaser agrees that this colour selection is final and that no changes will be permitted, unless required by the Vendor.

4) The Purchaser acknowledges reading and accepting document which contains other miscellaneous disclaimers.

5) In the event of a conflict between the Standard Features schedule of the Agreement of Purchase and Sale and the Interior Colour Scheme, the Interior Colour Scheme shall prevail.

Signature: 

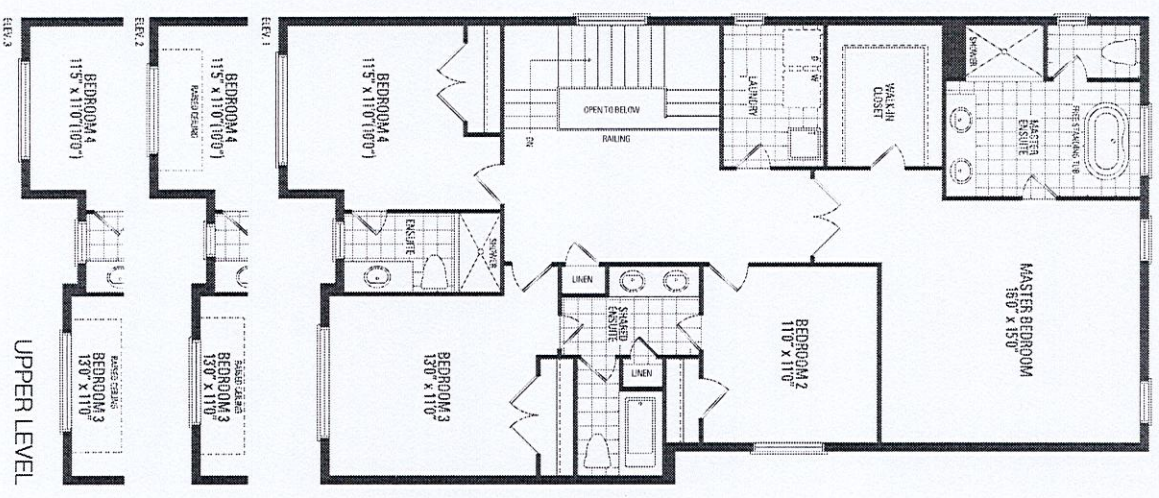
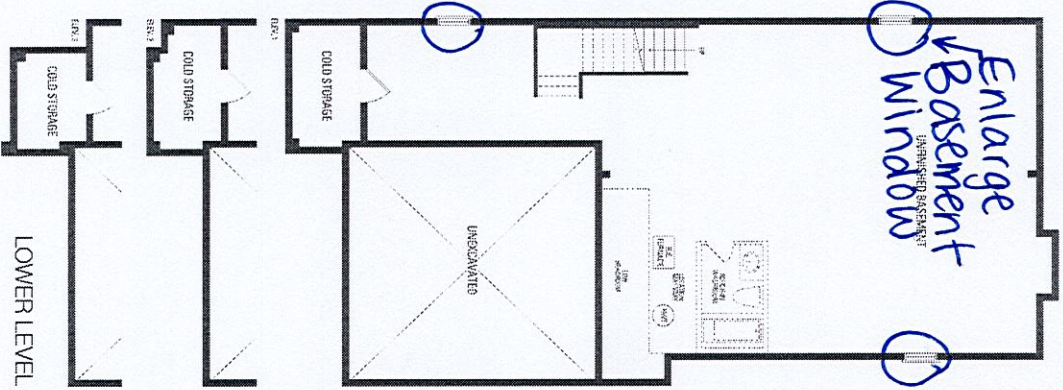
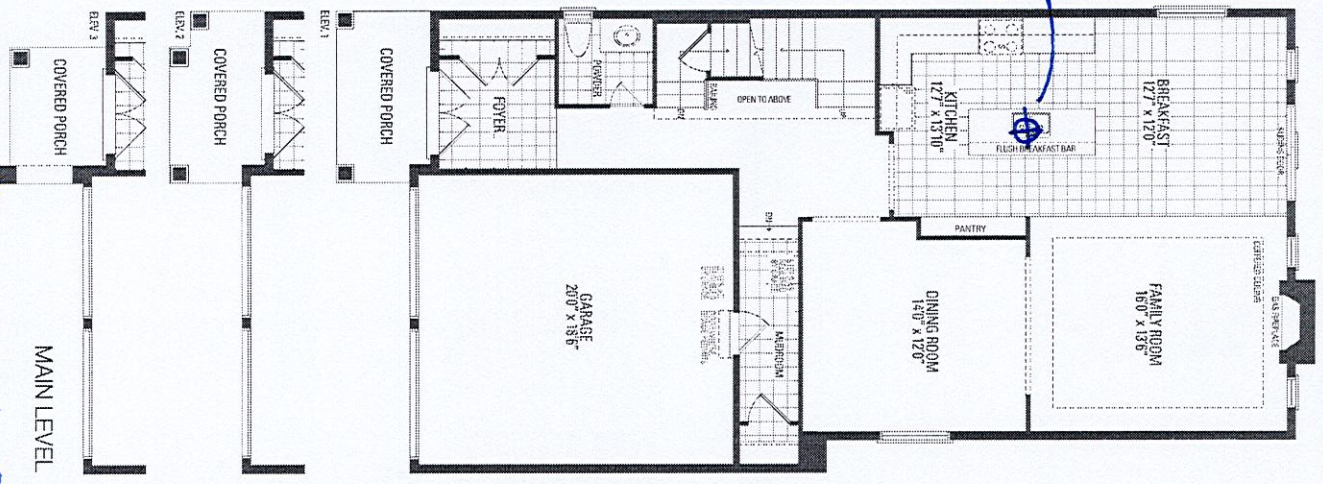
Date: Feb. 27, 2025

Villa 7 36' Lot

Elev. 1: 2,783 sq.ft. Elev. 2: 2,783 sq.ft. Elev. 3: 2,783 sq.ft.
Includes 20 sq.ft. of Open Area

LOT #78

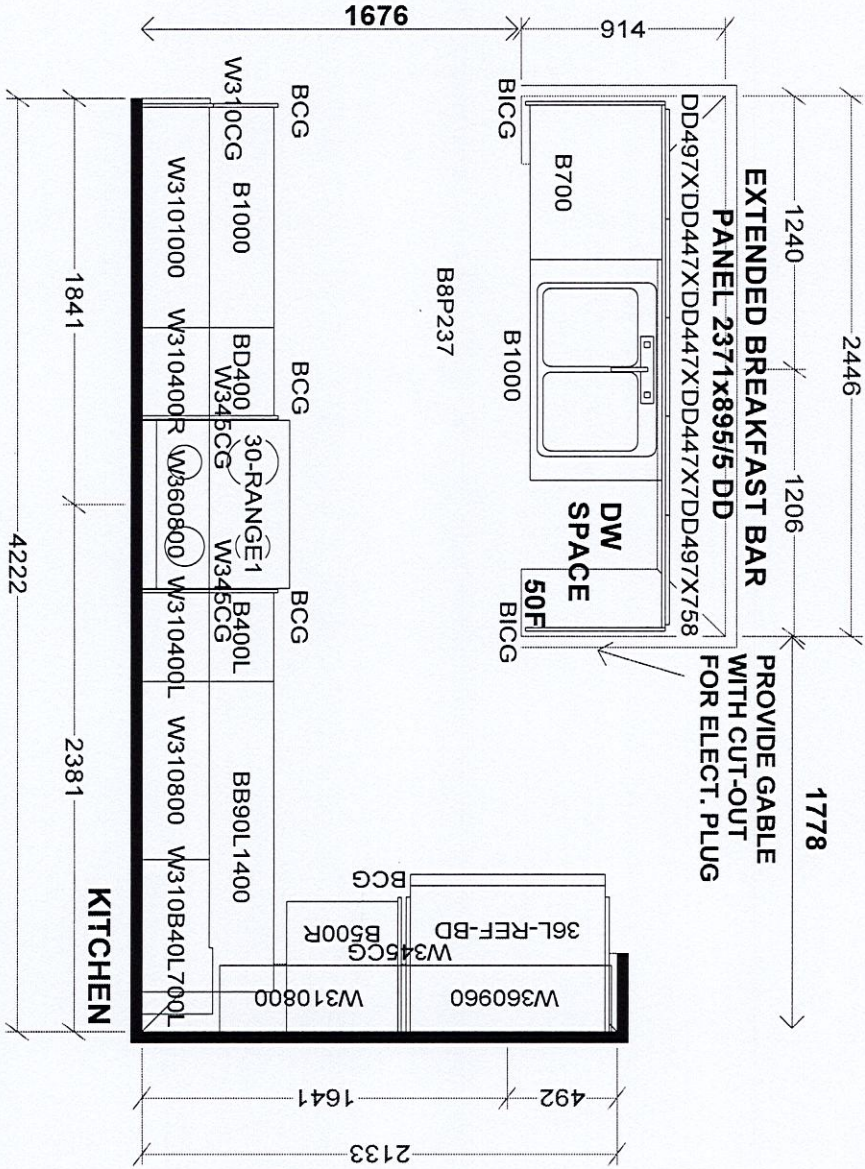
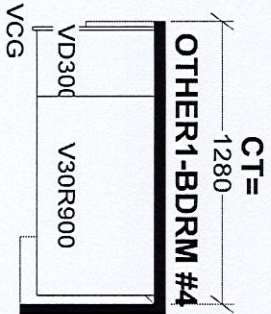
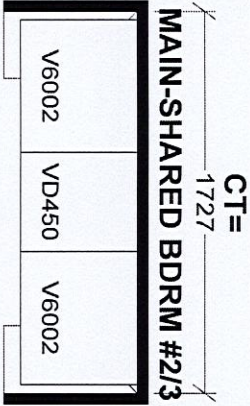
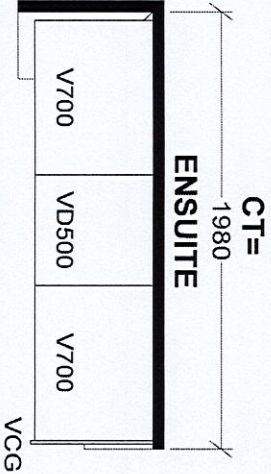
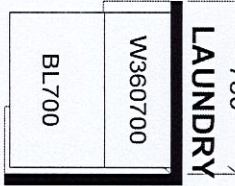
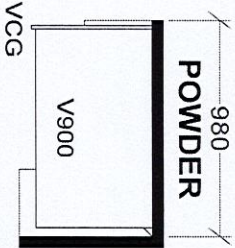
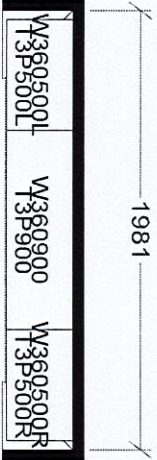
Pelicate std.
light above island



*10'-ceiling height - 1st floor

*8'-6" concrete pour

Lot 78 Legacy



Selba Industries				J #	
W WIDTH	W HGT	W CNT	This drawing is the intellectual property of SELBA INDUSTRIES INC. and is an original design which must not be released or copied unless applicable fee has been paid or job order placed.		
FLOOR HGT	DOOR HGT		DESIGNER: KS		
ST CENT	2X4	VENT BOX COVER	DATE: OCT 19 23		
			JOB NUMBER: BUILDER: GREENPARK HOMES		
			SITE: TRINI GROUP, Richmond Hill		
			MODEL: VILLA 7X EL 1,2,3		
			LOT #:		