

CONSTRUCTION SUMMARY

Legacy Hill - Trinigroup Development Inc.

PURCHASER: Hoi Bun Steven NG

TEL:

|                        |                         |                               |  |  |
|------------------------|-------------------------|-------------------------------|--|--|
| LOT / PHASE<br>114 / 1 | REG. PLAN #<br>65M-4818 | HOUSE TYPE<br>Villa 12 Elev 3 |  |  |
|------------------------|-------------------------|-------------------------------|--|--|

CABINETRY ACCESSORIES

|                                                                                                                       |  |
|-----------------------------------------------------------------------------------------------------------------------|--|
| 1 - KITCHEN CABINETRY UPPER - FULL DEPTH ABOVE FRIDGE UPPER WITH GABLES - 650MM DEEP - PRICE IS EACH<br>17Jan25 Note: |  |
|-----------------------------------------------------------------------------------------------------------------------|--|

CERAMIC TILE

|                                                                                                                                       |  |
|---------------------------------------------------------------------------------------------------------------------------------------|--|
| 1 - PRICE IS FOR LABOUR ONLY - INSTALL TILE AT A 45 DEGREE ANGLE & IN A CHECKERED PATTERN - GARAGE ENTRANCE/MUD ROOM<br>17Jan25 Note: |  |
| 1 - TILE - UPGRADE 6 FLOOR TILE - GARAGE ENTRANCE/MUD ROOM<br>17Jan25 Note:                                                           |  |
| 1 - TILE - UPGRADE 4 FLOOR TILE - POWDER ROOM<br>17Jan25 Note:                                                                        |  |
| 1 - TILE - UPGRADE 4 WALL TILE - BEDROOM 4 ENSUITE WALL - SHOWER<br>17Jan25 Note:                                                     |  |
| 1 - TILE - UPGRADE 4 FLOOR TILE - BEDROOM 4 ENSUITE FLOOR<br>17Jan25 Note:                                                            |  |
| 1 - TILE - UPGRADE 4 WALL TILE - BEDROOM 2/3 SHARED ENSUITE WALL - TUB<br>17Jan25 Note:                                               |  |
| 1 - TILE - UPGRADE 4 FLOOR TILE - BEDROOM 2/3 SHARED ENSUITE FLOOR<br>17Jan25 Note:                                                   |  |
| 1 - DELETE ALL CERAMIC BATHROOM ACCESSORIES - DELETE TOWEL BAR, PAPER HOLDER & SOAP DISH THROUGHOUT<br>17Jan25 Note:                  |  |

CONSTRUCTION

|                                                                                                                                                                                                            |  |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|
| 1 - IINSULATE GARAGE CEILING TO AN R31 FACTOR USING 2LB POLYURETHANE SPRAY FOAM INSULATION INCLUDES BLOCK WALL 2LB; R12, WALL HEAT RUN 2LB; R24 AND CEILING HEAT RUN 2LB; R12<br>20Aug24 Note:             |  |
| 1 - SOUND BATT INSULATION FOR SHARED WALL OF THE POWDER ROOM AND HOME OFFICE - SEE SKETCH<br><br>SOUND BATT INSULATION FOR MASTER BEDROOM AND BEDROOM 4 - SEE SKETCH<br>20Aug24 Note:                      |  |
| 1 - RELOCATE LAUNDRY TO BASEMENT AND MAKE OLD LAUNDRY ROOM PART OF MASTER CLOSET<br>WIDEN AREA FOR DOUBLE DOORS AND PUSH LAUNDRY WALL OUT IN LINE TO GET STRAIGHT WALLS<br><br>SEE SKETCH<br>02Nov23 Note: |  |
| 3 - ENLARGED BASEMENT WINDOWS (MAY REQUIRE WINDOW WELLS) - WINDOW IS 30 INCHES X 24 INCHES<br>26Oct23 Note: As per purchasers request Upgrade 3 basement windows only - 1 window to remain standard        |  |
| 1 - LOWER LEVEL - BASEMENT 8 FOOT 6 INCH CONCRETE POUR - MEASURED FROM TOP OF FOOTING TO TOP OF FOUNDATION WALL<br>26Oct23 Note:                                                                           |  |
| 1 - FIRST FLOOR INCREASE CEILING HEIGHT FROM 9 FEET TO 10 FEET<br>26Oct23 Note:                                                                                                                            |  |

DOORS AND TRIM

RECEIVED

JAN 23 2025

| CONSTRUCTION SUMMARY                                                             |                         |                               |  |      |
|----------------------------------------------------------------------------------|-------------------------|-------------------------------|--|------|
| PURCHASER: Hoi Bun Steven NG                                                     |                         |                               |  | TEL: |
| LOT / PHASE<br>114 / 1                                                           | REG. PLAN #<br>65M-4818 | HOUSE TYPE<br>Villa 12 Elev 3 |  |      |
| 1 - TRIM - 7 1/4 INCH BASEBOARD AND 3 1/4 INCH BB CASING - STEP<br>17Jan25 Note: |                         |                               |  |      |

ELECTRICAL

|                                                                                                                                                                                               |  |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|
| 1 - MASTER BEDROOM - SWITCH - ADD ADDITIONAL THREE-WAY SWITCH<br>NEXT TO BED FOR POTLIGHTS<br>20Aug24 Note:                                                                                   |  |
| 3 - MASTER BEDROOM - ELECTRICAL PLUG - SEE SKETCH<br>20Aug24 Note:                                                                                                                            |  |
| 10 - POT LIGHT - LED - FIRST FLOOR INSTALLATION - SEE SKETCH<br>20Aug24 Note:                                                                                                                 |  |
| 2 - GARAGE - ELECTRICAL PLUG - SEE SKETCH<br>20Aug24 Note:                                                                                                                                    |  |
| 1 - DINING ROOM - ELECTRICAL PLUG - SEE SKETCH<br>20Aug24 Note:                                                                                                                               |  |
| 1 - MASTER BEDROOM - POT LIGHT - LED - SECOND FLOOR INSTALLATION - ABOVE FREE STANDING TUB<br>20Aug24 Note:                                                                                   |  |
| 1 - MUD ROOM - PLUG - ELECTRICAL PLUG WITH GFI AND SWITCH - SEE SKETCH<br>20Aug24 Note:                                                                                                       |  |
| 1 - BEDROOM 4 - SWITCH - DIMMER SWITCH IN LIEU OF EXISTING SWITCH - PRICE IS EACH<br>20Aug24 Note:                                                                                            |  |
| 1 - MASTER BEDROOM WALK IN CLOSET - ADD ELECTRICAL PLUG - SEE SKETCH<br>20Aug24 Note:                                                                                                         |  |
| 1 - PLUG - ELECTRICAL PLUG WITH GFI - EXTERIOR @ REAR - SEE SKETCH<br>20Aug24 Note:                                                                                                           |  |
| 1 - FAMILY ROOM - PLUG - ELECTRICAL PLUG - IN-FLOOR PLUG - INCLUDES PLASTIC BLACK PLATE<br>TO BE 5FT FROM WALL AND ARCHWAY FROM DINING ROOM -SEE SKETCH FOR EXACT LOCATION -<br>20Aug24 Note: |  |
| 1 - MASTER ENSUITE - FAN - BATHROOM EXHAUST FAN - ENERGY STAR 80 CFM - IN LIEU OF STANDARD FAN<br>20Aug24 Note:                                                                               |  |
| 1 - ENSUITE 2/3 - POT LIGHT - TUB/SHOWER POT LIGHT, FLAT PANEL LED<br>20Aug24 Note:                                                                                                           |  |
| 1 - MASTER BEDROOM - SWITCH - DIMMER SWITCH IN LIEU OF EXISTING SWITCH - PRICE IS EACH<br>20Aug24 Note:                                                                                       |  |
| 1 - MASTER BEDROOM - WALK IN CLOSET POT LIGHT - LED - SECOND FLOOR INSTALLATION - SEE SKETCH<br>1 POT ON DIMMER SWITCH<br>20Aug24 Note:                                                       |  |



| CONSTRUCTION SUMMARY         |  |  |  |      |
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|                        |                         |                               |  |  |
|------------------------|-------------------------|-------------------------------|--|--|
| LOT / PHASE<br>114 / 1 | REG. PLAN #<br>65M-4818 | HOUSE TYPE<br>Villa 12 Elev 3 |  |  |
|------------------------|-------------------------|-------------------------------|--|--|

|                                                                                                                                          |  |
|------------------------------------------------------------------------------------------------------------------------------------------|--|
| 1 - MASTER BEDROOM - POT LIGHT - LED - SECOND FLOOR INSTALLATION<br><br>1 POT ON SEPERATE DIMMER SWITCH - SEE SKETCH<br>20Aug24    Note: |  |
| <del>1 - MASTER BEDROOM - SWITCH - DIMMER SWITCH IN LIEU OF EXISTING SWITCH - PRICE IS EACH</del><br>20Aug24    Note:                    |  |

|                                                                                                                                                                                                |  |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|
| 1 - DINING ROOM POT LIGHT - LED - FIRST FLOOR INSTALLATION<br><br>1 POT ON SEPERATE DIMMER SWITCH<br>20Aug24    Note:                                                                          |  |
| 1 - DINING ROOM - SWITCH - DIMMER SWITCH IN LIEU OF EXISTING SWITCH - PRICE IS EACH<br>20Aug24    Note:                                                                                        |  |
| 1 - FAMILY ROOM - POT LIGHT - LED - FIRST FLOOR INSTALLATION<br><br>1 POT ON SEPERATE DIMMER SWITCH<br>20Aug24    Note:                                                                        |  |
| 1 - FAMILY ROOM - SWITCH - DIMMER SWITCH IN LIEU OF EXISTING SWITCH - PRICE IS EACH<br>20Aug24    Note:                                                                                        |  |
| 2 - FAMILY ROOM - PLUG - ELECTRICAL PLUG - TO BE INSTALLED OVER FIREPLACE - SEE SKETCH<br>20Aug24    Note:                                                                                     |  |
| 1 - ABOVE KITCHEN ISLAND - ADD LIGHT AND SWITCH - NO FIXTURE INCLUDED<br>20Aug24    Note:                                                                                                      |  |
| 8 - POT LIGHT - EXTERIOR - SOFFIT MOUNT - REGULAR VOLTAGE - SEE SKETCH<br>20Aug24    Note:                                                                                                     |  |
| 1 - PLUG - ELECTRICAL PLUG WITH GFI AND SWITCH - FOR FESTIVE LIGHTING - SEE SKETCH<br>20Aug24    Note:                                                                                         |  |
| 1 - ELECTRIC VEHICLE ROUGH-IN PROVISION ONLY FOR FUTURE ELECTRIC CAR (CONDUIT FROM BASEMENT INTO JUNCTION BOX IN GARAGE WITH PULL STRING, NO WIRE) SEE SKETCH FOR LOCATION<br>20Aug24    Note: |  |
| 1 - RELOCATE LAUNDRY TO BASEMENT - SEE SKETCH<br>02Nov23    Note:                                                                                                                              |  |

**FIREPLACE AND ACCESSORIES**

|                                                                                                     |  |
|-----------------------------------------------------------------------------------------------------|--|
| 1 - GAS LINE ROUGH-IN FOR BARBECUE - FIRST FLOOR<br><br>SEE SKETCH FOR LOCATION<br>20Aug24    Note: |  |
|-----------------------------------------------------------------------------------------------------|--|

**HARDWOOD FLOORING**

|                                                                                                |  |
|------------------------------------------------------------------------------------------------|--|
| 1 - LAMINATE – UPGRADE TO AVENUE SERIES IN LIEU OF STANDARD LAMINATE<br>17Jan25    Note:       |  |
| 1 - HARDWOOD - GROUP C SERIES 6 1/2 INCH - FOYER IN LIEU OF STANDARD TILES<br>17Jan25    Note: |  |
| 1 - HARDWOOD - GROUP C SERIES 6 1/2 INCH - UPPER HALL<br>17Jan25    Note:                      |  |

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| LOT / PHASE | REG. PLAN # | HOUSE TYPE      |  |  |
|-------------|-------------|-----------------|--|--|
| 114 / 1     | 65M-4818    | Villa 12 Elev 3 |  |  |

- 1 - HARDWOOD - GROUP C SERIES 6 1/2 INCH - KITCHEN/BREAKFAST AREA

17Jan25    Note:
- 1 - HARDWOOD - GROUP C SERIES 6 1/2 INCH - IN LIEU OF 3 1/4 INCH NATURAL RED OAK - FIRST FLOOR HARDWOOD AREAS INCLUDING STAIR LANDINGS

17Jan25    Note:

MISCELLANEOUS

- 1 - VENDOR CREDIT FOR DUPLICATE MASTER BEDROOM DIMMER SWITCH CHARGE REF TO PE#29879

17Jan25    Note:

PLUMBING

- 1 - ENSUITE 2/3 - DELTA - TUB/SHOWER KIT - ROUND SHOWER KIT #DF-TKIT1-PBR/R2200-WS CHROME

20Aug24    Note:
- 2 - MASTER ENSUITE & ENSUITE 4 - DELTA - SHOWER KIT - ROUND SHOWER KIT #DF-TKIT1-PBR/R2200-WS CHROME

20Aug24    Note:
- 2 - HOSE BIB - EXTERIOR FROST FREE - BACKYARD & GARAGE

IF CONSTRUCTION PERMITS - PURCHASER REQUESTS SPECIFIC LOCATON FOR BOTH GARAGE & REAR HOSE BIBS

20Aug24    Note:
- 1 - RELOCATE LAUNDRY TO BASMENT - SEE SKETCH

02Nov23    Note:

PROMOTIONAL

- 1 - LESS CREDIT FROM PURCHASER EXTRA SHEET IN OFFER

26Oct23    Note:

STAIRS AND RAILINGS

- 1 - HANDRAIL - V-GROOVE HANDRAIL

17Jan25    Note:
- 1 - STAINED STAIRS - STANDARD STAIRCASE - INCLUDES EXTRA STEP

17Jan25    Note:
- 1 - PICKETS - EUROLINE 0 - BLACK PICKETS

17Jan25    Note:

EXTRAS AS PER OFFER

- The Vendor agrees that notwithstanding any other term or provision in this Agreement included in the Purchase Price and in addition to those items detailed in Schedule GP to the Agreement of Purchase and Sale, the Purchaser is entitled to a credit of Ten Worksheet    Note:
- Complete Central Air Conditioning

Worksheet    Note:

Purchaser:

Telephone Res. / Bus:

Decor Advisor:

Lock Date:

Hoi Bun Steven NG

/

Ida Viola

17-Jan-25

Property: 114

Project: Trinigroup Development Inc.

Model and Elevation: Villa 12 Elev 3

17-Jan-25

Plan #: 65M-4818

1. Cabinetry

|                            | Style and Colour           | Hardware |
|----------------------------|----------------------------|----------|
| Kitchen / Breakfast        | DORAL W500                 | 464SA    |
| Laundry Room               | N/A                        | N/A      |
| Powder Room                | MONACO 352 WILD MUSHROOM   | 464SA    |
| Master Ensuite Bathroom    | MONACO 350 PLATINUM SILVER | 464SA    |
| Ensuite Bath - Bedroom 2/3 | MONACO 352 WILD MUSHROOM   | 464SA    |
| Ensuite Bath - Bedroom 4   | MONACO 352 WILD MUSHROOM   | 464SA    |
|                            |                            |          |
|                            |                            |          |
|                            |                            |          |

Stove Opening

STANDARD

NOTE: If not specified, opening will be set to builder's standard opening of approximately 30" width

Fridge Opening

STANDARD

NOTE: If not specified, opening will be set to builder's standard opening of approximately 37" width x 74" height

\*\* Refer to Construction Summary

2. Counters

|                            | Counter                           | Edge      | Niche |
|----------------------------|-----------------------------------|-----------|-------|
| Kitchen / Breakfast        | GRANITE-NERO IMPALA               | #370 EDGE |       |
| Laundry Room               | N/A                               |           |       |
| Powder Room                | LAMINATE-PEARL SOAPSTONE 4886-38  |           |       |
| Master Ensuite Bathroom    | LAMINATE-CALCUTTA MARBLE 4925K-07 |           |       |
| Ensuite Bath - Bedroom 2/3 | LAMINATE-WHITE CARRARA 4924-38    |           |       |
| Ensuite Bath - Bedroom 4   | LAMINATE-WHITE CARRARA 4924-38    |           |       |
|                            |                                   |           |       |
|                            |                                   |           |       |
|                            |                                   |           |       |
| Kitchen Backsplash         | N/A                               |           |       |

\*\* Refer to Construction Summary

Purchaser:

Hoi Bun Steven NG

Telephone Res. / Bus:

/

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Plan #: 65M-4818

3. Ceramic Flooring

|                            |                                     |         |
|----------------------------|-------------------------------------|---------|
| Entrance Vestibule         | HARDWOOD                            | At a 45 |
| Main Hall                  | HARDWOOD                            |         |
| Kitchen / Breakfast        | HARDWOOD                            |         |
| Laundry Room               | N/A                                 |         |
| Powder Room                | TILE-VARENNA CARRARA POLISHED 24X24 |         |
| Master Ensuite Bathroom    | TILE- FRIGIA WHITE 13X13            |         |
| Ensuite Bath - Bedroom 2/3 | TILE-SMOT WHITE 24X24               |         |
| Ensuite Bath - Bedroom 4   | TILE-SMOT GREY 24X24                |         |
| Mud Room                   | SEE BELOW                           | ✓       |
|                            |                                     |         |
|                            |                                     |         |

\*\* Refer to Construction Summary \*\* METAL STRIP THRESHOLD WHERE APPLICABLE UNLESS SPECIFIED \*\*  
MUD ROOM - PURITY STATUARIO LUX 24X24 / SUPREME DARK LUX 24X24 - TILES INSTALLED ON A 45 DEGREE IN A CHECKERED PATTERN

4. Ceramic Wall Tile

| Master Ensuite Bathroom    | Selection                  | Describe |
|----------------------------|----------------------------|----------|
| Tub Deck Wall              |                            |          |
| Shower Stall               | TILE-EXTRA LIGHT GREY 8X16 |          |
| Bathtub Enclosure Walls    |                            |          |
| Ensuite Bath - Bedroom 2/3 | TILE-SMOT WHITE LAPP 24X24 |          |
| Ensuite Bath - Bedroom 4   | TILE-SMOT GREY LAPP 24X24  |          |
| Mud Room                   | N/A                        |          |
|                            |                            |          |
|                            |                            |          |
| Kitchen Backsplash         | N/A                        |          |

\*\* Refer to Construction Summary - STANDARD GROUT THROUGHOUT UNLESS SPECIFIED

5. Trim Carpentry

|                |                                            |
|----------------|--------------------------------------------|
| Interior Doors | CARRARA-SMOOTH                             |
| Interior Trim  | BB CASING WITH 7 1/4" BASEBOARD - ONE STEP |

\*\* Refer to Construction Summary

6. Plaster Mouldings and Medallions

|                    |     |  |                   |     |  |
|--------------------|-----|--|-------------------|-----|--|
| Entrance Vestibule | N/A |  | Kitchen/Breakfast | N/A |  |
| Main Hall          | N/A |  | Den/Library       | N/A |  |
| Living Room        | N/A |  | Lower Landing     | N/A |  |
| Dining Room        | N/A |  |                   |     |  |
| Family Room        | N/A |  |                   |     |  |

\*\* Refer to Construction Summary

Purchaser:

Hoi Bun Steven NG

Telephone Res. / Bus:

/

Decor Advisor:

Ida Viola

Lock Date:

17-Jan-25

Property: 114

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Model and Elevation: Villa 12 Elev 3

17-Jan-25

Plan #: 65M-4818

7. Other Flooring

|                              |                                                                                       |
|------------------------------|---------------------------------------------------------------------------------------|
| Main Hall                    | HARDWOOD-VINTAGE NORTHERN SOLID SAWN WIRE BRUSHED WHITE OAK CHARACTER 6 1/2" NAUTILUS |
| Living Room                  | N/A                                                                                   |
| Dining Room                  | HARDWOOD-VINTAGE NORTHERN SOLID SAWN WIRE BRUSHED WHITE OAK CHARACTER 6 1/2" NAUTILUS |
| Family Room                  | HARDWOOD-VINTAGE NORTHERN SOLID SAWN WIRE BRUSHED WHITE OAK CHARACTER 6 1/2" NAUTILUS |
| Den / Library / Study        | HARDWOOD-VINTAGE NORTHERN SOLID SAWN WIRE BRUSHED WHITE OAK CHARACTER 6 1/2" NAUTILUS |
| Basement Landing(If Applies) | N/A                                                                                   |
| Lower Landing (If Applies)   | N/A                                                                                   |
| Upper Landing                | HARDWOOD-VINTAGE NORTHERN SOLID SAWN WIRE BRUSHED WHITE OAK CHARACTER 6 1/2" NAUTILUS |
| Upper Hall                   | HARDWOOD-VINTAGE NORTHERN SOLID SAWN WIRE BRUSHED WHITE OAK CHARACTER 6 1/2" NAUTILUS |
| Master Bedroom               | LAMINATE-AVENUE MELROSE OAK TL AV232 PEFC                                             |
| Bedroom #2                   | LAMINATE-AVENUE MELROSE OAK TL AV232 PEFC                                             |
| Bedroom #3                   | LAMINATE-AVENUE MELROSE OAK TL AV232 PEFC                                             |
| Bedroom #4                   | LAMINATE-AVENUE MELROSE OAK TL AV232 PEFC                                             |
| Bedroom #5                   | N/A                                                                                   |
| FOYER                        | HARDWOOD-VINTAGE NORTHERN SOLID SAWN WIRE BRUSHED WHITE OAK CHARACTER 6 1/2" NAUTILUS |
| KITCHEN/BREAKFAST            | HARDWOOD-VINTAGE NORTHERN SOLID SAWN WIRE BRUSHED WHITE OAK CHARACTER 6 1/2" NAUTILUS |
|                              |                                                                                       |
| Underpad                     | Standard <input type="checkbox"/> Upgrade <input type="text"/>                        |

\*\* Refer to Construction Summary

8. Railings and Pickets

|                                         |                                    |        |                            |
|-----------------------------------------|------------------------------------|--------|----------------------------|
| Railing Type                            | V-GROOVE                           | Colour | VINTAGE NAUTILUS WHITE OAK |
| Picket Type                             | EUROLINE 0                         | Colour | BLACK                      |
| Stringer / Riser                        | AS PER CONSTRUCTION SPECIFICATIONS | Colour | VINTAGE NAUTILUS WHITE OAK |
| Treads                                  | AS PER CONSTRUCTION SPECIFICATIONS | Colour | VINTAGE NAUTILUS WHITE OAK |
| Red Oak Stairs as Per Vendor's Standard |                                    |        |                            |

\*\* Refer to Construction Summary THE STAIN COLOURS OR FINISH AVAILABLE ON RISERS, TREADS, PICKETS AND RAILS (STAIRCASES), WILL NOT BE AN EXACT MATCH TO PREFINISHED HARDWOOD OR LAMINATE FLOORS.

9. Wall Paint Flat Finish

|                              |                |                            |                |
|------------------------------|----------------|----------------------------|----------------|
| Main & Upper Hall            | 43 BIRCH WHITE | Master Bedroom             | 43 BIRCH WHITE |
| Living Room                  | N/A            | Bedroom #2                 | 43 BIRCH WHITE |
| Dining Room                  | 43 BIRCH WHITE | Bedroom #3                 | 43 BIRCH WHITE |
| Kitchen / Breakfast          | 43 BIRCH WHITE | Bedroom #4                 | 43 BIRCH WHITE |
| Family Room                  | 43 BIRCH WHITE | Bedroom #5                 | 43 BIRCH WHITE |
| Powder Room                  | 43 BIRCH WHITE | Master Ensuite             | 43 BIRCH WHITE |
| Laundry Room                 | 43 BIRCH WHITE | Ensuite Bath - Bedroom 2/3 | 43 BIRCH WHITE |
| Den/Library                  | 43 BIRCH WHITE | Ensuite Bath - Bedroom 4   | 43 BIRCH WHITE |
| Trim & Door Paint-Semi Gloss | BIRCH WHITE    | Mud Room                   | 43 BIRCH WHITE |
|                              |                |                            |                |
|                              |                |                            |                |

\*\* Refer to Construction Summary

10. Fireplace

|                | Living Room           |                       |                       | Family Room                        |                                  |                       | Other Room - Specify  |                       |                       |
|----------------|-----------------------|-----------------------|-----------------------|------------------------------------|----------------------------------|-----------------------|-----------------------|-----------------------|-----------------------|
|                | Purchased             | As Per Plan           | N/A                   | Purchased                          | As Per Plan                      | N/A                   | Purchased             | As Per Plan           | N/A                   |
| Fireplace Type | <input type="radio"/> | <input type="radio"/> | <input type="radio"/> | <input type="radio"/>              | <input checked="" type="radio"/> | <input type="radio"/> | <input type="radio"/> | <input type="radio"/> | <input type="radio"/> |
| Mantle Type    |                       |                       |                       | As Per Construction Specifications |                                  |                       |                       |                       |                       |
| Colour / Stain |                       |                       |                       | MANTLE M2-STANDARD                 |                                  |                       |                       |                       |                       |
| Surround       |                       |                       |                       | AS PER CONSTRUCTION SPECIFICATIONS |                                  |                       |                       |                       |                       |
| Hearth         |                       |                       |                       | BIANCO                             |                                  |                       |                       |                       |                       |
|                |                       |                       |                       | NO                                 |                                  |                       |                       |                       |                       |

\*\* Refer to Construction Summary

11. Air Conditioning

Air Conditioning

Comment

\*\* Refer to Construction Summary

12. General Comments

\*\* Refer to Construction Summary

Disclaimers and Notes

- 1) Colours of all materials are as close as possible to builder's selection, but not necessarily identical due to variances in manufacturing.

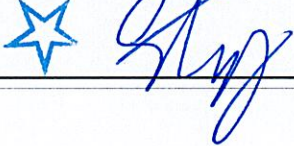
2) Any extras listed above are null and void unless accompanied by a separate invoice/amendment. Said invoice must be paid in full.

3) The Purchaser agrees that this colour selection is final and that no changes will be permitted, unless required by the Vendor.

4) The Purchaser acknowledges reading and accepting document which contains other miscellaneous disclaimers.

5) In the event of a conflict between the Standard Features schedule of the Agreement of Purchase and Sale and the Interior Colour Scheme, the Interior Colour Scheme shall prevail.

Signature:



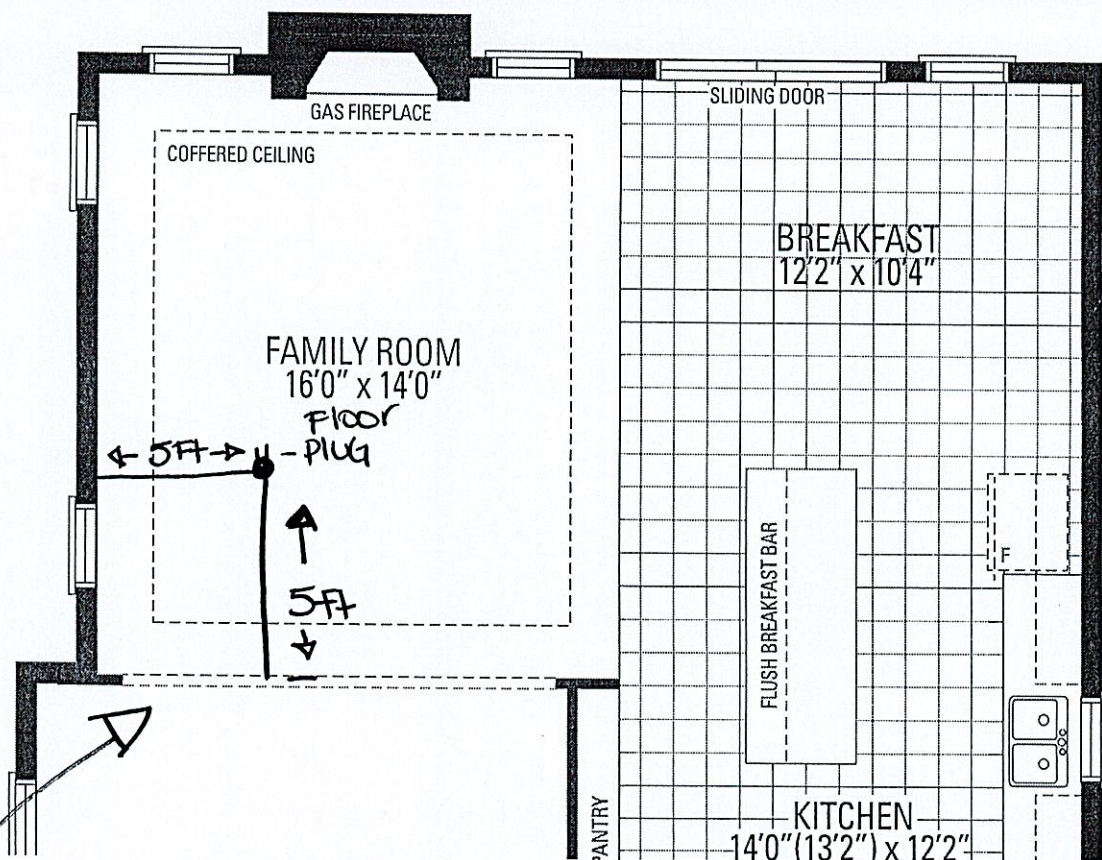
Date:

1/17/25

[illegible]

|                                                                                                                                                                                                        |           |                |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------|----------------|
| Selba Industries                                                                                                                                                                                       |           | J #            |
| This drawing is the intellectual property of<br>SELBA INDUSTRIES INC. and is an<br>original design which must not be released<br>or copied unless applicable fee has been<br>paid or job order placed. |           |                |
| W WDTH                                                                                                                                                                                                 | W HGHT    | W CNT          |
| FLOOR HGHT                                                                                                                                                                                             | DOOR HGHT |                |
| ST CNT                                                                                                                                                                                                 | 2X4       | VENT BOX COVER |
| JOB NUMBER:<br>BUILDER: GREENPARK HOMES<br>SITE: TRINI GROUP, Richmond Hill<br>MODEL: VILLA 12X EL 3<br>LOT #:                                                                                         |           |                |
| DESIGNER: BM<br>DATE: AUG 4 23                                                                                                                                                                         |           |                |

Lot 114

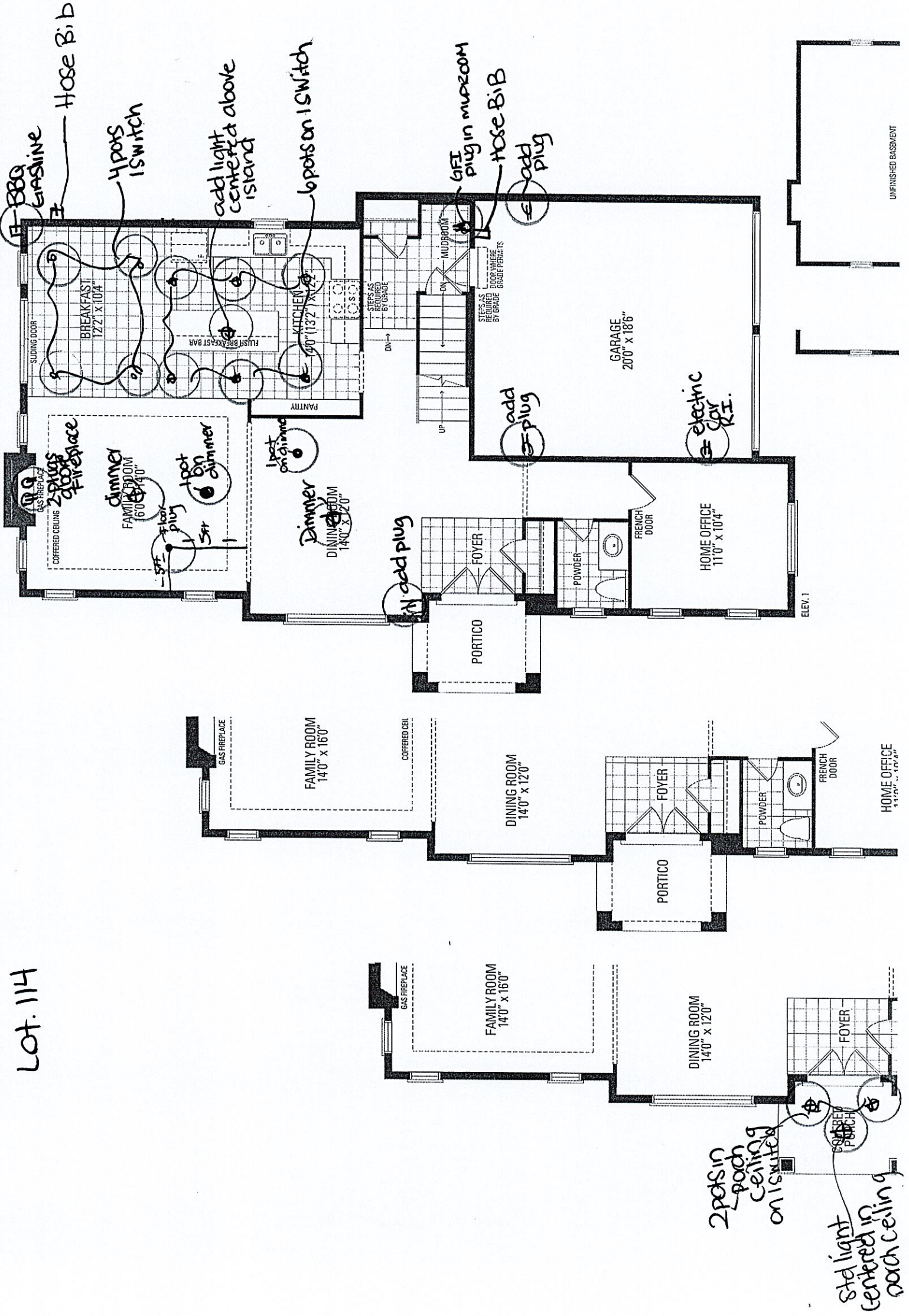


Floor Plug  
in Family  
Room - Location Specific

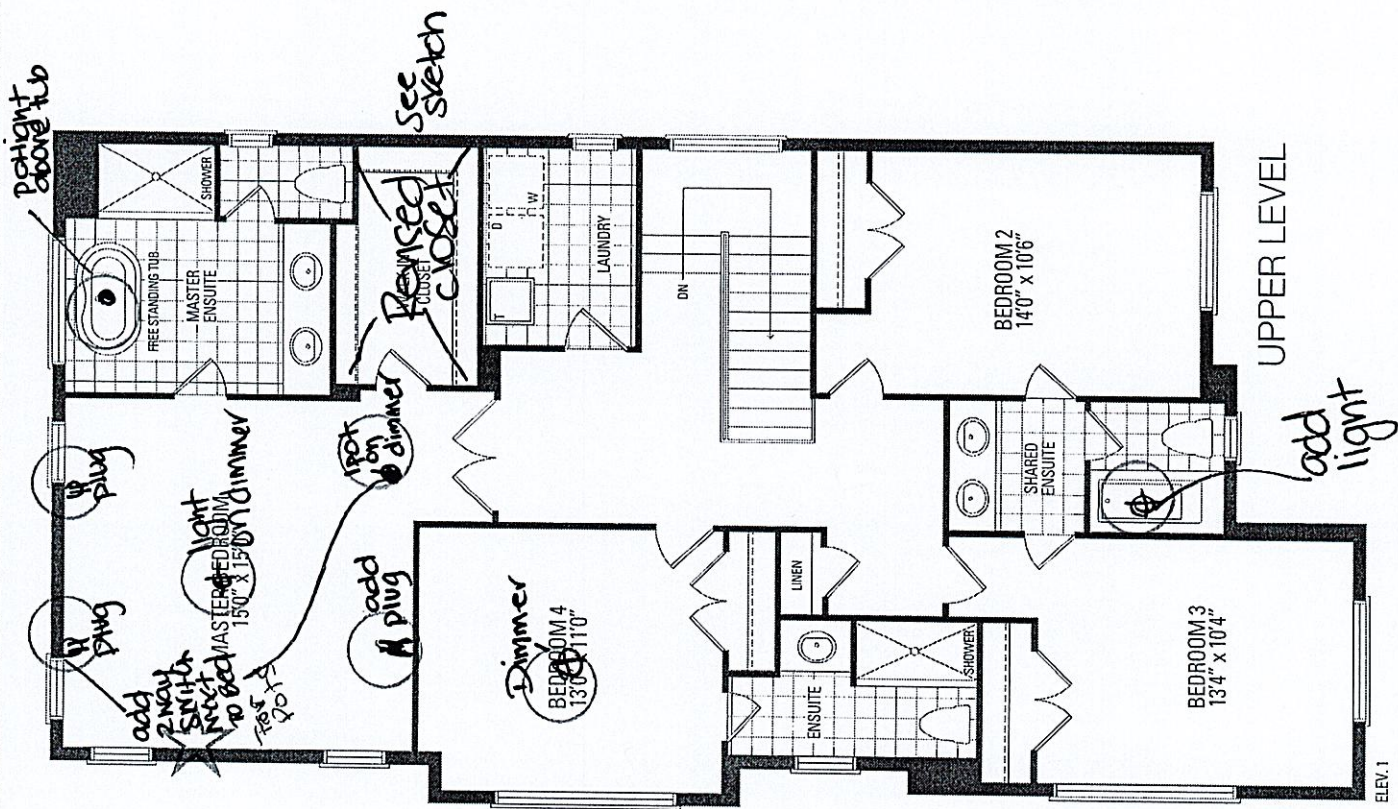
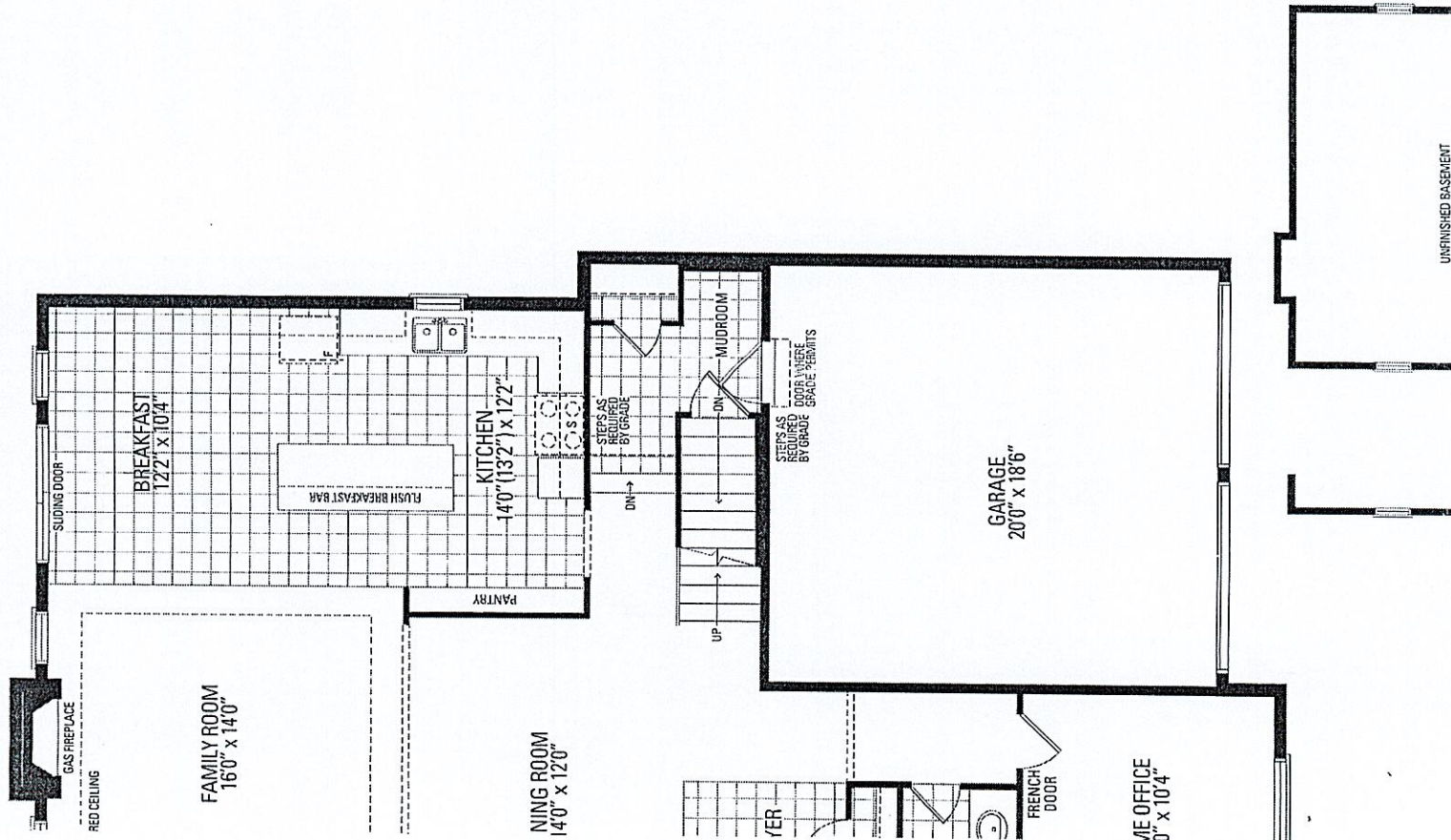
5ft From Window Wall  
5ft From archway to dining

Hand-drawn floor plan of a room. The plan includes the following labels and measurements:

- Top Left:** A circle containing the number "9".
- Top Center:** A dashed line labeled "COFFERED CEILING".
- Top Right:** A label "EAST REFRAC." with an arrow pointing towards the top right corner.
- Right Side:** A label "SLIDING DOOR" with an arrow pointing to a door on the right wall.
- Bottom Left:** A label "E-180 GASLINE" with an arrow pointing to a line on the bottom left wall.
- Bottom Center:** A label "E-180" with an arrow pointing to a line on the bottom wall.
- Bottom Right:** A label "Hose Bib" with an arrow pointing to a line on the bottom right wall.
- Measurements:**
  - "2' 10\"/>



Lot 114



**LOT 114**  
**TRINIGROUP**  
**LEGACY HILL**  
CITY OF RICHMOND HILL

**VILLA 12**  
**ELEVATION 3**

REVISIONS:

- RELOCATE LAUNDRY TO BASEMENT.
- MAKE OLD LAUNDRY ROOM PART OF MASTER CLOSET.
- WIDEN AREA FOR DOUBLE DOORS AND PUSH LAUNDRY WALL OUT IN LINE TO GET STRAIGHT WALLS.

NOTE: DIMENSIONS ARE APPROXIMATE.

November 1, 2023 2:58:33 PM M:\PROJECTS\TRINIGROUP\PAF SKETCHES\LOT 114 VILLA 12 -PAF.DWG

**UPPER LEVEL**

60"X36" glass shower

Free standing tub

Master Ensuite

Walk-in closet

11'-10"

9'-10"

11'-0"

5'-8"

6'-2"

1 Pot Light ON DIMMER SWITCH

Add Plug

**LOT 114**  
**TRINIGROUP**  
**LEGACY HILL**  
CITY OF RICHMOND HILL

**VILLA 12**  
**ELEVATION 3**

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SCALE: N.T.S.  
DESIGN BY: INC.  
PAGE NO. 2 OF 2

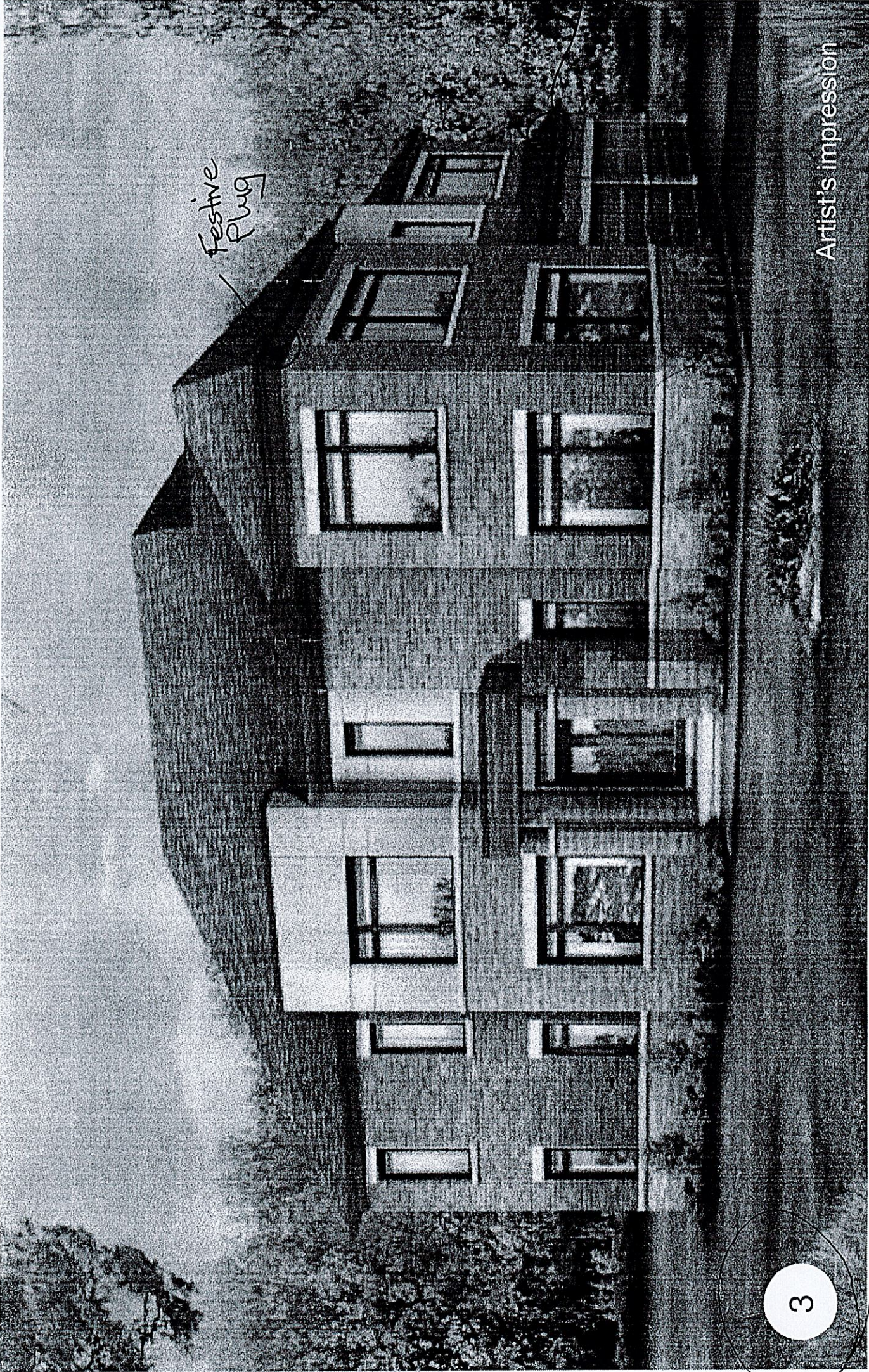
**Disclaimers:** SKETCH NOT TO SCALE. DIMENSIONS, SPECIFICATIONS AND ARCHITECTURAL DETAILS SUBJECT TO MODIFICATION BY THE VENDOR. SKETCH IS ONLY FOR THE PURPOSE OF ILLUSTRATING REVISIONS REQUESTED BY THE PURCHASER AND ALL REVISIONS ARE SUBJECT TO VENDOR'S FINAL APPROVAL. ONLY REVISIONS ACCEPTED IN WRITING BY THE PURCHASER AND VENDOR ON A PURCHASER'S EXTRA SHEET WILL BE INCORPORATED INTO THE PLANS FILED WITH THE MUNICIPALITY. E & O.E.



Lot  
114

2 pots  
1 Switch  
(1 above ea.  
garage door)

Festive  
Plug



Artist's impression

Artist's impression

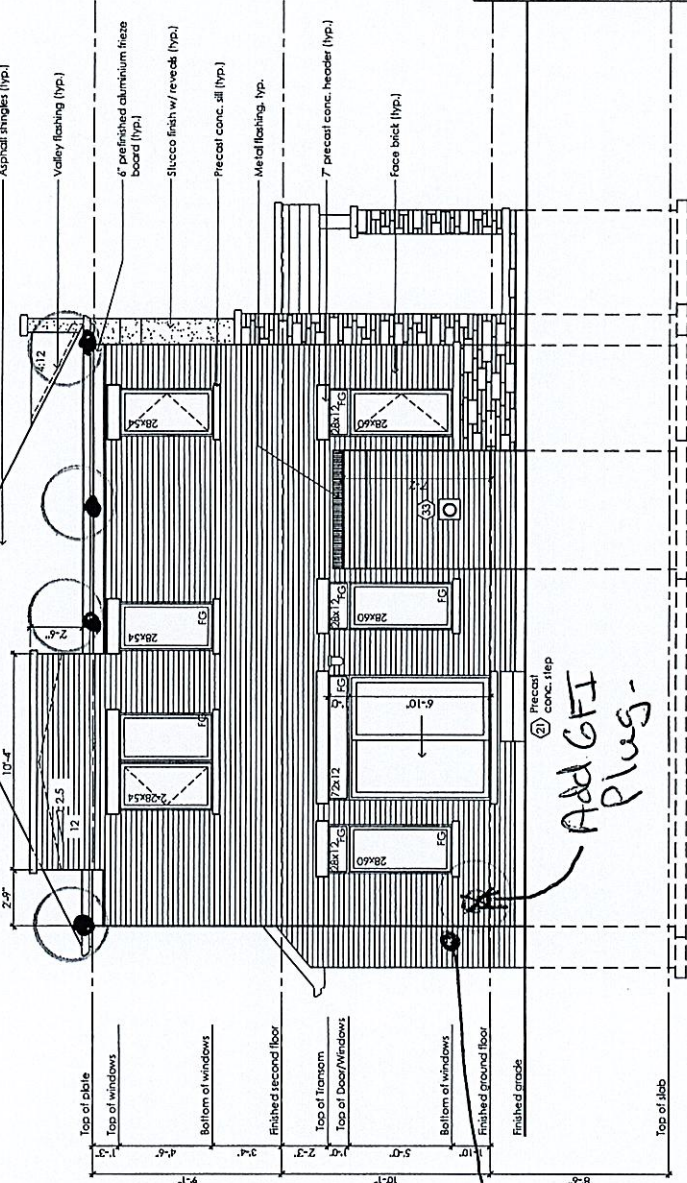
Artist's impression

of 114 legacy

Rear  
electrical  
sketch

H exterior  
pot@rear  
on I switch

Frost free  
Hose Bib  
(Side wall)  
See other sketch  
for exact  
location



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with all applicable codes and all applicable regulations and requirements, including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or engineering drawings or reports or for planning or building a house on a lot or for ensuring that a house can be properly built or located on its lot. This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Richmond Hill.

# Villa 12

Compliance Package A1

**Greenpark**  
www.greenparkgroup.ca

**Trinigroup Developments Inc.**

| Rear Elevation<br>Elevation 3 |               |             |            |
|-------------------------------|---------------|-------------|------------|
| Scale                         | 3/16" = 1'-0" | BY          | JM         |
| Date                          | 2023-09-28    | Year        | 36' Single |
| Area                          | 2784 sq ft    | Project No. | 22-016     |
| Sheet No.                     | 7-3           |             |            |

**Mackitecture**  
www.mackitecture.ca  
175A Dign Street West, Suite 353  
Tel: 416-235-8190 Email: info@mackitecture.ca

| Qualification Information |            |
|---------------------------|------------|
| Name                      | Jamie Mack |
| ECN                       | 38923      |
| Signature                 |            |
| Registration Information  |            |
| Mackitecture              | 103332     |

The undersigned has reviewed and taken responsibility for this design. The undersigned is a duly licensed professional engineer or architect under the Ontario Building Code (O.B.C.) to be a Designer.

Contractor shall check all dimensions and elevations before commencing work and report any discrepancies to the Designer. Firms are not to be liable.