



**GENERAL NOTES (PART 9 - RESIDENTIAL)**

PERMIT NO. **RM#24-00027**

All construction must comply with the Ontario Building Code (OBC) 2012 as amended, including but not limited to the following. As a minimum, the following requirements **shall** be incorporated in the final construction:

1. All footings shall rest on natural undisturbed soil or compacted granular fill with a minimum bearing capacity of 75 KPa (1570 psf) unless known capacity is less and provided for in the foundation design.
2. Step footings shall have a maximum rise of 600 mm (23 5/8") for firm soils, 400 mm (15 3/4") for sand or gravel and a minimum horizontal run of 600 mm (23 5/8").
3. Concrete for exterior steps, garage and carport floors and all exterior flat work shall have a minimum compressive strength of 32 MPa (4650 psi) at 28 days, with air entrainment of 5 to 8%. Concrete floors with no damp proofing shall have a minimum compressive strength of 25 MPa (3000 psi). All other concrete to be 15MPa (2200 psi).
4. Foundations and the soil beneath them shall be protected against freezing during winter construction. Where foundation walls require permanent lateral support, the wall shall be braced or laterally supported before backfilling.
5. When the unsupported height of a foundation wall exceeds 3.0 m (9'-10"), the wall shall be designed by an engineer in accordance with OBC Part 4.
6. Exterior concrete stairs with more than 2 steps shall be supported on unit masonry, concrete walls or piers not less than 150x150 (6"x6") with footings at 1.2 m (4') below grade.
7. Where the top of a foundation wall is reduced in thickness to permit the installation of masonry exterior facing, the reduced section shall be not less than 90 mm (3 1/2") thick and tied to the facing material with metal ties conforming to Sentence 9.20.9.4. (3), spaced not more than 200 mm (7 7/8") o.c. vertically and 900 mm (2'-11") o.c. horizontally. The space between the wall and masonry veneer shall be filled with mortar.
8. Provide continuous lateral support to top flange of all steel beams. Steel beams shall have minimum 90 mm (3 1/2") bearing length. Connections to other steel beams shall have a minimum of 2-M20 (3/4" dia.) A325 steel bolts or a full welded connection (with full shear capacity of beam). Steel beams supported on wood shall be designed by an Engineer.
9. Provide solid blocking support under all point loads and continue down to the foundation. Built-up columns shall comply with OBC 9.23.10.7. For engineered systems, follow manufacturer's specifications for correct blocking and bearing requirements.
10. Refer to the approved engineered layout drawings for engineered floor joist and roof truss systems, including beams and supports. Follow manufacturers specifications for bridging, bracing, bearing and connection requirements for built up beams or joists.
11. Tie the lower ends of roof rafters with continuous horizontal ties to the opposing rafters unless lateral thrust is otherwise specifically designed for.
12. Guards shall be constructed in accordance with Supplementary Standard 7 of the OBC or in conformance with OBC Part 4 (including design loads on guards). Min. guard height to comply with OBC 9.8.8. All guards to be non-climbable.
13. All masonry veneer ties shall be corrosion-resistant, minimum of 0.76 mm (0.03") thick, 22 mm (7/8") wide and be spaced in accordance with Table 9.20.9.5 of the OBC
14. Ceramic floor tile and its supporting floor shall be constructed in accordance to OBC 9.30.6.
15. For insulation values, window and door U-values and efficiency of appliances refer to SB-12 requirements: Prescriptive or Performance design or values specified by Energy Star requirements.
16. Foundation walls enclosing heated spaces shall be insulated to not more than 8" above the basement slab and an approved drainage layer is required on the exterior.
17. Exterior Insulated Finished System (EIFS) over wood framed wall and other moisture sensitive substrates shall consist of dual barrier with drained joints (DB/DJ). They shall be constructed in accordance to OBC 9.27.13 and shall conform to CAN/ULC-S716.1. All other exterior applied stucco finishes shall be constructed in accordance with OBC 9.28.
18. Stairs serving a house or dwelling unit shall have min. headroom of 1950 mm (6'-5"), min. width of 860 mm (2'-10"), max. rise of 200 mm (7 7/8") & min. 125 mm (4 7/8") and a min. run of 255 mm (10"). Tapered stairs shall have a min. average run of 255 mm (10") at the point of 300mm measured from the center of the handrail. The tolerance of stair dimensions shall conform to OBC 9.8.4.4. Secure stair stringers at top and bottom.
19. Basement ceiling height shall be min. 2.1 m. (6'-11") over at least 75% of the area and 1.95 m. (6'-5") under beams and ducts.
20. Every floor level containing a bedroom shall be provided with at least 1 outside window with an operable unobstructed opening having a minimum area of 0.35 sq. m. (3.8 sq. ft.), with no dimension less than 380 mm (15"). Every floor level, requiring travel of more than 1 storey to an exit door, shall be provided with an unobstructed escape window opening of not less than 1 m. (3'-3") in height and 0.55 m (21 5/8") in width with the sill not more than 1 m (3'-3") above the floor and 7 m. (23') above adjacent ground level or that floor shall be provided with a balcony. Except for basement locations, all windows shall have a maximum sill height of 1 m. (3'-3") above the floor.
21. Provide window protection to minimize the hazard to children in accordance with OBC 9.7.1.6.
22. Exterior walls, which are less than 1.2 m (4'-0") from the lot line, shall have no unprotected opening and be constructed with a 3/4 hr. fire resistance rating. These walls shall be rated from the interior. Exterior walls, which are less than 0.6 m (2'-0") from the lot line, shall in addition have non-combustible cladding.
23. All entrance doors, doors between the dwelling unit and the attached garage, patio doors and windows within 2m (6'-7") of adjacent ground level shall conform to OBC Subsections 9.6.8 & 9.7.6 'Resistance to Forced Entry'.
24. Roof vents shall be provided on the basis of 1 sq. ft./300 sq. ft. of insulated ceiling area. Where the roof slope is less than 1 in 6 or in cathedral ceilings, roof vents shall be provided on the basis of 1 sq. ft./150 sq. ft. of insulated ceiling area. Roof vents shall be uniformly distributed to ventilate each roof space with a minimum of 25% of the required vent space to be located at the top and the bottom of the roof.
25. Eave protection is required, beneath the start strip, from the edge of the roof to a minimum distance of 900 mm (3'-0") up the roof slope to not less than 300 mm (12") inside the inner face of the exterior wall on shingled, shake or tile roofs except as provided by 9.26.5.1.(2).
26. Foamed plastic insulation shall be protected with interior finishes according to OBC 9.10.17.10.
27. The wall and ceiling between an attached garage and the dwelling unit shall be constructed and sealed so as to provide an effective barrier to exhaust fumes. Door between the garage and the dwelling unit shall be tight fitting, weather-stripped and equipped with a self closing device.
28. Smoke alarms shall be provided on each floor level and be located within each bedroom. Smoke alarms shall be interconnected and hard wired with no disconnect switch. Smoke alarms are required to have a visual signaling component conforming to NFPA 72.
29. A carbon monoxide detector conforming to CAN/CGA-6.19 or UL 2034 shall be installed on every building containing a fuel burning appliance or an attached garage in conformance with the OBC 9.33.4.
30. In addition to the above carbon monoxide detectors, Town of Richmond Hill By-law No. 245-99 requires that a carbon monoxide detector, equipped with an alarm that is audible within bedrooms when the intervening doors are closed and conforming to CAN/CGA-6.19 or UL 2034, be installed in accordance with the manufacturer's instructions in every dwelling unit. Where the carbon monoxide detector is electrically powered, it must be approved by the Canadian Standards Association and be equipped with a visual indicator indicating that it is in operating condition and have NO switch between the carbon monoxide alarm and the power distribution panel.
31. A mechanical ventilation system is required in every dwelling. An exhaust only' ventilation system is permitted only where forced air heating is used, there is no electric heating or fireplace (other than a direct vent gas fireplace), and where a mechanically vented induced draft or direct vented furnace and hot water tank are used. A ventilation system with a heat recovery ventilator or Part 6 design is required in all other cases.
32. All exterior doors greater than 600mm above grade which do not exit onto a deck shall be permanently adjusted to prevent opening as per 9.6.4.1(2) of the OBC or be guarded as per 9.8.8 of the OBC
33. The main bathroom shall have stud reinforcement to accommodate future installation of grab bars adjacent to water closets and shower or bathtub as per OBC 9.5.2.3.
34. Slopes on roof surfaces shall comply with OBC 9.26.3.1.
35. Windows shall comply with OBC 9.7
36. Exhaust ducts connected to laundry drying equipment shall comply with OBC 6.2.3.8. (7)

## Strip Footings

### For Singles and Semi-Detached Houses up to 2 storeys

#### For 8" or 10" foundation walls with 2x8 / 2x10 floor joists

20" wide x 6" thick concrete strip footings below foundation walls.  
24" wide x 8" thick concrete strip footings below party walls.

#### Foundation walls with engineered joists over 16' spans

24" wide x 8" thick concrete strip footings below party walls.

#### Footings on engineered fill

24" wide x 8" thick concrete strip footings with reinforcing below exterior walls.  
30" wide x 8" thick concrete strip footings with reinforcing below party walls.  
(refer to the footings details on engineered fill)

#### Assume the larger footing size when two conditions apply.

Assumed 120 kPa (18 psi) soil bearing capacity or 90 kPa engineered soil fill. Bearing capacity to be verified on site, **by soil engineer report**

## Concrete Pad Footing Sizes

#### 120 kPa Native Soil

F1 = 42" x 42" x **23"**

F2 = 36" x 36" x **18"**

F3 = 30" x 30" x **13"**

F4 = 24" x 24" x 12"

F5 = 16" x 16" x 8"

#### 90 kPa Engineered Fill

F1 = 48" x 48" x **24"**

F2 = 40" x 40" x **20"**

F3 = 34" x 34" x **17"**

F4 = 28" x 28" x **12"**

F5 = 18" x 18" x 8"

Refer to the floor plans for non-standard footing sizes.

## Brick Veneer Cuts

When the brick veneer cut is greater than 26" a 10" thick poured concrete foundation wall is required.

## Exterior Concrete Slabs

All garage slabs, porch slabs, poured concrete stairs and exposed concrete flat work to be 32 MPa with 5-8% air entrainment.

## Ceramic Tile over Joists

Space conventional floor joists @ 12" o/c below all ceramic tile areas. Provide 1 row of bridging for spans of 5'-7" and 2 rows for spans greater than 7'-0".

## Engineered Roof Trusses

Refer to the roof truss shop drawings for all roof framing information.

## Engineered Floor Joists

Refer to the floor framing shop drawings for engineered framing layouts, hardware and details.

## Steel Column Notes

**C1** = 4" x 4" x  $\frac{1}{4}$ " HSS w/ 10" x 8" x  $\frac{1}{2}$ " base plate and 2 -  $\frac{3}{4}$ " dia. anchor bolts.  
**C2** = 5" x 5" x  $\frac{1}{4}$ " HSS w/ 12" x 12" x  $\frac{1}{2}$ " base plate and 4 -  $\frac{3}{4}$ " dia. anchor bolts.

Use 4 bolts for moment connection.

"M" = Moment connection at beam and column = 35 kN-m

## Grading

Plans and elevations are not drawn to accurate grade elevations. Refer to final grading plan.

## Door Schedule

| No. | Width        | Ceiling Heights<br>8' to 9' | 10' or more | Type                    |
|-----|--------------|-----------------------------|-------------|-------------------------|
| 1   | 2'-10" (34") | 6'-8"                       | 8'-0"       | Insulated entrance door |
| 1A  | 2'-8" (32")  | 6'-8"                       | 8'-0"       | Insulated entrance door |
| 2   | 2'-8" (32")  | 6'-8"                       | 8'-0"       | Wood and glass door     |
| 3   | 2'-8" (32")  | 6'-8"                       | 8'-0"       | Exterior slab door      |
| 4   | 2'-8" (32")  | 6'-8"                       | 8'-0"       | Interior slab door      |
| 5   | 2'-6" (30")  | 6'-8"                       | 8'-0"       | Interior slab door      |
| 6   | 2'-2" (26")  | 6'-8"                       | 8'-0"       | Interior slab door      |
| 7   | 1'-6" (18")  | 6'-8"                       | 8'-0"       | Interior slab door      |

## Garage Wall - 2x4 Stud Design

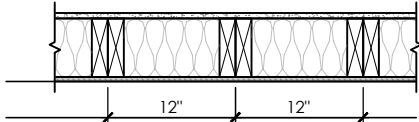
| Studs | Spacing | Maximum Height |
|-------|---------|----------------|
| 2x4   | 16" o/c | 8'-0" (2.44m)  |
| 2x4   | 12" o/c | 8'-10" (2.69m) |
| 2-2x4 | 16" o/c | 10'-1" (3.07m) |
| 2-2x4 | 12" o/c | 10'-9" (3.28m) |
| 3-2x4 | 16" o/c | 11'-2" (3.40m) |
| 3-2x4 | 12" o/c | 12'-4" (3.76m) |

#### Notes

- For roof design snow loads of 2.6kPa
- Supported roof truss length of 6.0m
- Supported floor joist length of 2.5m
- Studs exceeding 3.0m in height shall be installed per OBC 9.23.10.1.(2)

## Two Storey Height Wall Details - max. 18'-0" tall

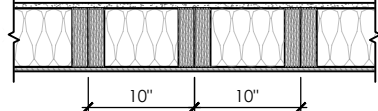
2 - 2 x 6 stud wall nailed together and spaced at 12" o/c full height c/w solid blocking @ 48" o/c vertical and  $\frac{3}{4}$ " OSB exterior wall sheathing.



Note: maximum height of wall for this detail is 18'-0" and maximum length is 40'-0".

## Two Storey Height Wall Detail - max. 20'-2" tall

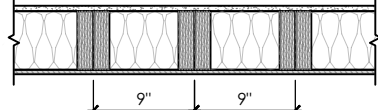
2 - 1  $\frac{1}{2}$ " x 5  $\frac{1}{2}$ " Laminated strand lumber (LSL) 1.5E stud wall glued and nailed together and spaced at 10" o/c full height c/w solid blocking @ 8'-0" o/c vertical and  $\frac{1}{2}$ " OSB exterior wall sheathing.



Note: maximum height of wall for this detail is 20'-2" and maximum length is 40'-0".

## Two Storey Height Wall Detail - max. 21'-5" tall

2 - 1  $\frac{1}{2}$ " x 5  $\frac{1}{2}$ " Laminated strand lumber (LSL) 1.5E stud wall glued and nailed together and spaced at 9" o/c full height c/w solid blocking @ 8'-0" o/c vertical and  $\frac{1}{4}$ " OSB exterior wall sheathing.



Note: maximum height of wall for this detail is 21'-5" and maximum length is 40'-0".

## Steel Angles and Wood Beam Schedules

### Brick Veneer Steel Lintels + Wood Lintels and Beams

| Label | Steel Angle Size (v x h x t)                                                  | Wood Size (members + w + h)             |
|-------|-------------------------------------------------------------------------------|-----------------------------------------|
| WL1   | = 3 $\frac{1}{2}$ " x 3 $\frac{1}{2}$ " x $\frac{1}{4}$ " (89 x 89 x 6.4) [2] | + 2 - 2 x 8 (2 - 38 x 184) S.P.F. No. 2 |
| WL2   | = 4" x 3 $\frac{1}{2}$ " x $\frac{3}{8}$ " (102 x 89 x 7.9) [?] +             | 2 - 2 x 8 (2 - 38 x 184) S.P.F. No. 2   |
| WL3   | = 5" x 3 $\frac{1}{2}$ " x $\frac{3}{8}$ " (127 x 89 x 7.9) [4] +             | 2 - 2 x 10 (2 - 38 x 235) S.P.F. No. 2  |
| WL4   | = 6" x 3 $\frac{1}{2}$ " x $\frac{3}{8}$ " (152 x 89 x 9.5) [?] +             | 2 - 2 x 12 (2 - 38 x 286) S.P.F. No. 2  |
| WL5   | = 6" x 4" x $\frac{3}{8}$ " (152 x 102 x 9.5) [?] +                           | 2 - 2 x 12 (2 - 38 x 286) S.P.F. No. 2  |
| WL6   | = 5" x 3 $\frac{1}{2}$ " x $\frac{3}{8}$ " (127 x 89 x 7.9) [4] +             | 2 - 2 x 12 (2 - 38 x 286) S.P.F. No. 2  |
| WL7   | = 5" x 3 $\frac{1}{2}$ " x $\frac{3}{8}$ " (127 x 89 x 7.9) [4] +             | 3 - 2 x 10 (3 - 38 x 235) S.P.F. No. 2  |
| WL8   | = 5" x 3 $\frac{1}{2}$ " x $\frac{3}{8}$ " (127 x 89 x 7.9) [4] +             | 3 - 2 x 12 (3 - 38 x 286) S.P.F. No. 2  |
| WL9   | = 6" x 4" x $\frac{3}{8}$ " (152 x 102 x 9.5) [?] +                           | 3 - 2 x 12 (3 - 38 x 286) S.P.F. No. 2  |

### Wood Lintels and Beams

| Label | Beam Size (members + w + h)              |
|-------|------------------------------------------|
| WB1   | = 2 - 2 x 8 (2 - 38 x 184) S.P.F. No. 2  |
| WB2   | = 3 - 2 x 8 (3 - 38 x 184) S.P.F. No. 2  |
| WB3   | = 2 - 2 x 10 (2 - 38 x 235) S.P.F. No. 2 |
| WB4   | = 3 - 2 x 10 (3 - 38 x 235) S.P.F. No. 2 |
| WB5   | = 2 - 2 x 12 (2 - 38 x 286) S.P.F. No. 2 |
| WB6   | = 3 - 2 x 12 (3 - 38 x 286) S.P.F. No. 2 |
| WB7   | = 5 - 2 x 12 (5 - 38 x 286) S.P.F. No. 2 |
| WB11  | = 4 - 2 x 10 (4 - 38 x 235) S.P.F. No. 2 |
| WB12  | = 4 - 2 x 12 (4 - 38 x 286) S.P.F. No. 2 |

### Laminated Veneer Lumber (LVL) Beams

| Label | Beam Size (members + w + h)                                 |
|-------|-------------------------------------------------------------|
| LVL1A | = 1 - 1 $\frac{3}{4}$ " x 7 $\frac{1}{2}$ " (1 - 45 x 184)  |
| LVL1  | = 2 - 1 $\frac{3}{4}$ " x 7 $\frac{1}{2}$ " (2 - 45 x 184)  |
| LVL2  | = 3 - 1 $\frac{3}{4}$ " x 7 $\frac{1}{2}$ " (3 - 45 x 184)  |
| LVL3  | = 4 - 1 $\frac{3}{4}$ " x 7 $\frac{1}{2}$ " (4 - 45 x 184)  |
| LVL4A | = 1 - 1 $\frac{3}{4}$ " x 9 $\frac{1}{2}$ " (1 - 45 x 240)  |
| LVL4  | = 2 - 1 $\frac{3}{4}$ " x 9 $\frac{1}{2}$ " (2 - 45 x 240)  |
| LVL5  | = 3 - 1 $\frac{3}{4}$ " x 9 $\frac{1}{2}$ " (3 - 45 x 240)  |
| LVL5A | = 4 - 1 $\frac{3}{4}$ " x 9 $\frac{1}{2}$ " (4 - 45 x 240)  |
| LVL6A | = 1 - 1 $\frac{3}{4}$ " x 11 $\frac{1}{8}$ " (1 - 45 x 300) |
| LVL6  | = 2 - 1 $\frac{3}{4}$ " x 11 $\frac{1}{8}$ " (2 - 45 x 300) |
| LVL7  | = 3 - 1 $\frac{3}{4}$ " x 11 $\frac{1}{8}$ " (3 - 45 x 300) |
| LVL7A | = 4 - 1 $\frac{3}{4}$ " x 11 $\frac{1}{8}$ " (4 - 45 x 300) |
| LVL8  | = 2 - 1 $\frac{3}{4}$ " x 14" (2 - 45 x 356)                |
| LVL9  | = 3 - 1 $\frac{3}{4}$ " x 14" (3 - 45 x 356)                |
| LVL10 | = 2 - 1 $\frac{3}{4}$ " x 18" (2 - 45 x 456)                |

### Loose Steel Lintels

| Label | Steel Size (v x h x t)                                                        |
|-------|-------------------------------------------------------------------------------|
| L1    | = 3 $\frac{1}{2}$ " x 3 $\frac{1}{2}$ " x $\frac{1}{4}$ " (89 x 89 x 6.4) [2] |
| L2    | = 4" x 3 $\frac{1}{2}$ " x $\frac{3}{8}$ " (102 x 89 x 7.9) [?] +             |
| L3    | = 5" x 3 $\frac{1}{2}$ " x $\frac{3}{8}$ " (127 x 89 x 7.9) [4]               |
| L4    | = 6" x 3 $\frac{1}{2}$ " x $\frac{3}{8}$ " (152 x 89 x 9.5) [?] +             |
| L5    | = 6" x 4" x $\frac{3}{8}$ " (152 x 102 x 9.5) [?] +                           |
| L6    | = 7" x 4" x $\frac{3}{8}$ " (178 x 102 x 9.5) [?] +                           |

### Glue-Laminated Floor Beams

| Label | Beam Size (w x h)                                    |
|-------|------------------------------------------------------|
| GLU1  | = 3 $\frac{1}{8}$ " x 11 $\frac{7}{8}$ " (80 x 300)  |
| GLU2  | = 5 $\frac{1}{8}$ " x 11 $\frac{7}{8}$ " (130 x 300) |

## Minimum Thermal Performance

The minimum thermal performance of building envelope and equipment shall conform to the following.

### Prescriptive Package A1

Space Heating Fuel Gas

| Component                   | Max. Nominal R | Max. U | Min. Effective R |
|-----------------------------|----------------|--------|------------------|
| Ceiling with Attic Space    | 60             | 0.017  | 59.22            |
| Ceiling without Attic Space | 31             | 0.036  | 27.65            |
| Exposed Floor               | 31             | 0.034  | 29.80            |
| Walls Above Grade           | 22             | 0.059  | 17.03            |
| Basement Walls              | 20 ci          | 0.047  | 21.12            |

Below Grade Slab Entire Surface  
> 600 mm Below Grade

Heated Slab or Slab  
<= 600 mm Below Grade

Edge of Below Grade Slab  
<= 600 mm Below Grade

|                                 |                   |              |
|---------------------------------|-------------------|--------------|
| Windows and Sliding Glass Doors | Energy rating: 25 | Max. U: 0.28 |
| Skylights                       | Max. U: 0.49      |              |
| Space Heating Equipment         | Min. AFAU: 96%    |              |
| HRV                             | Min. SRE: 75%     |              |
| Domestic Water Heater           | Min. EF: 0.80     |              |

## Area Calculations Villa 6-1

|                  |                         |
|------------------|-------------------------|
| Ground Floor     | 1352 sq ft, 125.60 sq m |
| Second Floor     | 1686 sq ft, 156.63 sq m |
| Total floor area | 3038 sq ft, 282.24 sq m |

|                        |                         |
|------------------------|-------------------------|
| Total open to below    | 0 sq ft, 0.00 sq m      |
| Finished basement      | 0 sq ft, 0.00 sq m      |
| Total gross floor area | 3038 sq ft, 282.24 sq m |

|                    |                         |
|--------------------|-------------------------|
| Coverage Areas     |                         |
| Ground floor       | 1352 sq ft, 125.60 sq m |
| Garage             | 396 sq ft, 36.79 sq m   |
| Porch              | 67 sq ft, 6.22 sq m     |
| Other structures   | 0 sq ft, 0.00 sq m      |
| Coverage w/o porch | 1748 sq ft, 162.39 sq m |
| Coverage w/ porch  | 1815 sq ft, 168.62 sq m |

## Area Calculations Villa 6-2

|                  |                         |
|------------------|-------------------------|
| Ground Floor     | 1352 sq ft, 125.60 sq m |
| Second Floor     | 1695 sq ft, 157.47 sq m |
| Total floor area | 3047 sq ft, 283.08 sq m |

|                        |                         |
|------------------------|-------------------------|
| Total open to below    | 0 sq ft, 0.00 sq m      |
| Finished basement      | 0 sq ft, 0.00 sq m      |
| Total gross floor area | 3047 sq ft, 283.08 sq m |

|                    |                         |
|--------------------|-------------------------|
| Coverage Areas     |                         |
| Ground floor       | 1352 sq ft, 125.60 sq m |
| Garage             | 396 sq ft, 36.79 sq m   |
| Porch              | 60 sq ft, 5.57 sq m     |
| Other structures   | 0 sq ft, 0.00 sq m      |
| Coverage w/o porch | 1748 sq ft, 162.39 sq m |
| Coverage w/ porch  | 1808 sq ft, 167.97 sq m |

## Area Calculations Villa 6-3

|                  |                         |
|------------------|-------------------------|
| Ground Floor     | 1352 sq ft, 125.60 sq m |
| Second Floor     | 1695 sq ft, 157.47 sq m |
| Total floor area | 3047 sq ft, 283.08 sq m |

|                        |                         |
|------------------------|-------------------------|
| Total open to below    | 0 sq ft, 0.00 sq m      |
| Finished basement      | 0 sq ft, 0.00 sq m      |
| Total gross floor area | 3047 sq ft, 283.08 sq m |

|                    |                         |
|--------------------|-------------------------|
| Coverage Areas     |                         |
| Ground floor       | 1352 sq ft, 125.60 sq m |
| Garage             | 396 sq ft, 36.79 sq m   |
| Porch              | 67 sq ft, 6.22 sq m     |
| Other structures   | 0 sq ft, 0.00 sq m      |
| Coverage w/o porch | 1748 sq ft, 162.39 sq m |
| Coverage w/ porch  | 1815 sq ft, 168.62 sq m |

## OPTIONAL 8'-6" FOUNDATION POUR HEIGHT

- 10" THICK CONCRETE FOUNDATION WALLS (15 MPa)
- BASEMENT FLOOR TO FLOOR HEIGHT
  - 9  $\frac{1}{2}$ " FLOOR JOISTS = 9'-2" (2.79m) HEIGHT
  - 11  $\frac{1}{8}$ " FLOOR JOISTS = 9'-4" (2.84m) HEIGHT
- BASEMENT STAIRS
  - 15 RISERS (EXTRA RISER ADDED TO BASE OF STAIR)

## SB-12 Calculations Villa 6-1

| Elevation    | Wall Area                      | Window Area                  | Percentage    |
|--------------|--------------------------------|------------------------------|---------------|
| Front        | 623.3 sq ft (57.9 sq m)        | 72.8 sq ft (6.8 sq m)        | 11.67%        |
| Left side    | 1284.7 sq ft (119.4 sq m)      | 63.4 sq ft (5.9 sq m)        | 4.94%         |
| Right side   | 1285.3 sq ft (119.4 sq m)      | 58.8 sq ft (5.5 sq m)        | 4.58%         |
| Rear         | 623.3 sq ft (57.9 sq m)        | 30.6 sq ft (2.8 sq m)        | 4.91%         |
| <b>Total</b> | <b>623.3 sq ft (57.9 sq m)</b> | <b>72.8 sq ft (6.8 sq m)</b> | <b>11.67%</b> |

## SB-12 Calculations Villa 6-2

| Elevation    | Wall Area                      | Window Area                  | Percentage    |
|--------------|--------------------------------|------------------------------|---------------|
| Front        | 623.3 sq ft (57.9 sq m)        | 75.5 sq ft (7.0 sq m)        | 12.12%        |
| Left side    | 1284.7 sq ft (119.4 sq m)      | 63.4 sq ft (5.9 sq m)        | 4.94%         |
| Right side   | 1303.2 sq ft (121.1 sq m)      | 59.1 sq ft (5.5 sq m)        | 4.54%         |
| Rear         | 623.3 sq ft (57.9 sq m)        | 30.6 sq ft (2.8 sq m)        | 4.91%         |
| <b>Total</b> | <b>623.3 sq ft (57.9 sq m)</b> | <b>75.5 sq ft (7.0 sq m)</b> | <b>12.12%</b> |

## SB-12 Calculations Villa 6-3

| Elevation    | Wall Area                      | Window Area                  | Percentage    |
|--------------|--------------------------------|------------------------------|---------------|
| Front        | 623.3 sq ft (57.9 sq m)        | 82.6 sq ft (7.7 sq m)        | 13.25%        |
| Left side    | 1296.4 sq ft (120.4 sq m)      | 63.4 sq ft (5.9 sq m)        | 4.89%         |
| Right side   | 1302.1 sq ft (121.0 sq m)      | 59.1 sq ft (5.5 sq m)        | 4.54%         |
| Rear         | 623.3 sq ft (57.9 sq m)        | 30.6 sq ft (2.8 sq m)        | 4.91%         |
| <b>Total</b> | <b>623.3 sq ft (57.9 sq m)</b> | <b>82.6 sq ft (7.7 sq m)</b> | <b>13.25%</b> |

W Architect Inc.  
DESIGN CONTROL REVIEW

NOV. 01, 2023

FINAL BY: *Alb*

This stamp is only for the purposes of design control and carries no other professional obligations.

CITY OF RICHMOND HILL  
BUILDING DIVISION

08/21/2024

REVISED

Per: KER

# Villa 6

Compliance Package A1

  
www.greenparkgroup.ca

project name

Trinigroup Developments Inc.

#### Revisions

| #  | Description                                      | Date       | By |
|----|--------------------------------------------------|------------|----|
| 1. | Issued for client review                         | 2023-07-18 | JM |
| 2. | Coord. floor and roof, issued for p. eng. review | 2023-09-15 | JM |
| 3. | Issued for permit                                | 2023-09-28 | JM |

Contractor shall check all dimensions and elevations before commencing with work and report any discrepancies to the Designer. Prints are not to be scaled.

The undersigned has reviewed and takes responsibility for this design, as well as having the qualifications and requirements mandated by the Ontario Building Code (O.B.C.) to be a Designer.

#### Qualification Information

Jamie Mack 35923

Name BCIN Signature

Registration Information Mackitecture 103532



www.mackitecture.ca

975A Elgin Street West, Suite 353  
Cobourg, ON K9A 5J3

Tel: 416-735-8190 Email: info@mackitecture.ca

title

## General Notes and Charts

### Elevation 1



- You are required to notify the Inspection Section of the readiness to inspect at the following construction stages:**
- Footings (prior to concrete placement)
  - Building sewers (laterals)
  - Water service pipe (lateral)
  - Foundation (prior to backfill)
  - Building drains (under slab)
  - Plumbing rough-in
  - HVAC rough-in
  - Air barrier (prior to exterior cladding)
  - Structural Framing (exterior cladding completed)
  - Insulation (include vapour barrier)
  - Solid fuel burning appliances
  - Occupancy Permit

Please contact the Inspection Section by one of the following methods:

- E-mail: [buildinginspections@richmondhill.ca](mailto:buildinginspections@richmondhill.ca)
- Inspection fax line: 905-771-2528
- Inspection Request Line: 905-771-5465

**A minimum of 2 business days is required.  
An inspection may be refused if permit documents and  
copy of the permit are not present on site.  
Please refer to other inspection information on the reverse  
of the permit card.**



Refer to attached general notes and drawings.

This review does not exempt the owner, designer and the builder from complying with all applicable regulations and by-laws of the City of Richmond Hill and the Ontario Building Code.

Windows, sliding glass doors and skylights shall comply with OBC 2012, SB-12, 3.1.1.9 for maximum U-Value.

These drawings have been reviewed under  
Compliance Option: A1  
of the OBC 2012, SB-12.

REVIEWED

By: **KER**      Date: **10/09/2024**

Building Permit #: **RM#24-00027**

**All construction shall comply with the Ontario Building Code and all other applicable statutory regulations. The reviewed documents must be kept on site at all times.**

Building inspection line: 905-771-5465 (24 hr)  
*buildinginspections@richmondhill.ca*  
Building inquiry line 905-771-8810  
*buiding@richmondhill.ca*

THE ENGINEER OF RECORD  
SHALL PROVIDE THE  
BUILDING INSPECTOR WITH  
A FIELD REVIEW REPORT

**CITY OF RICHMOND HILL  
BUILDING DIVISION**

08/21/2024

Per: **REVISED**  
KER

STRUDET INC.



FOR STRUCTURE ONLY

## Villa 6

## Compliance Package A1

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### Qualification Information

|            |       |
|------------|-------|
| Jamie Mack | 35923 |
| Name       | BCIN  |

### Registration Information

## Mackitecture

103532



**www.mackitecture.ca**

975A Elgin Street West, Suite 353  
Cobourg, ON K9A 5J3  
Tel: 416-735-8190 Email: [info@mackitecture.ca](mailto:info@mackitecture.ca)

|  | title |
|--|-------|
|--|-------|

### Basement Floor Plan Elevation 1

scale  
**3/16" = 1'-0"**

|    |    |
|----|----|
| by | DO |
|----|----|

|      |                   |
|------|-------------------|
| area | <b>3038 sq ft</b> |
|------|-------------------|

|          |
|----------|
| sheet no |
|----------|

date  
2023-09-28

|  |                   |
|--|-------------------|
|  | type              |
|  | <b>36" Single</b> |

|             |        |
|-------------|--------|
| project no. | 22-014 |
|-------------|--------|

1-1

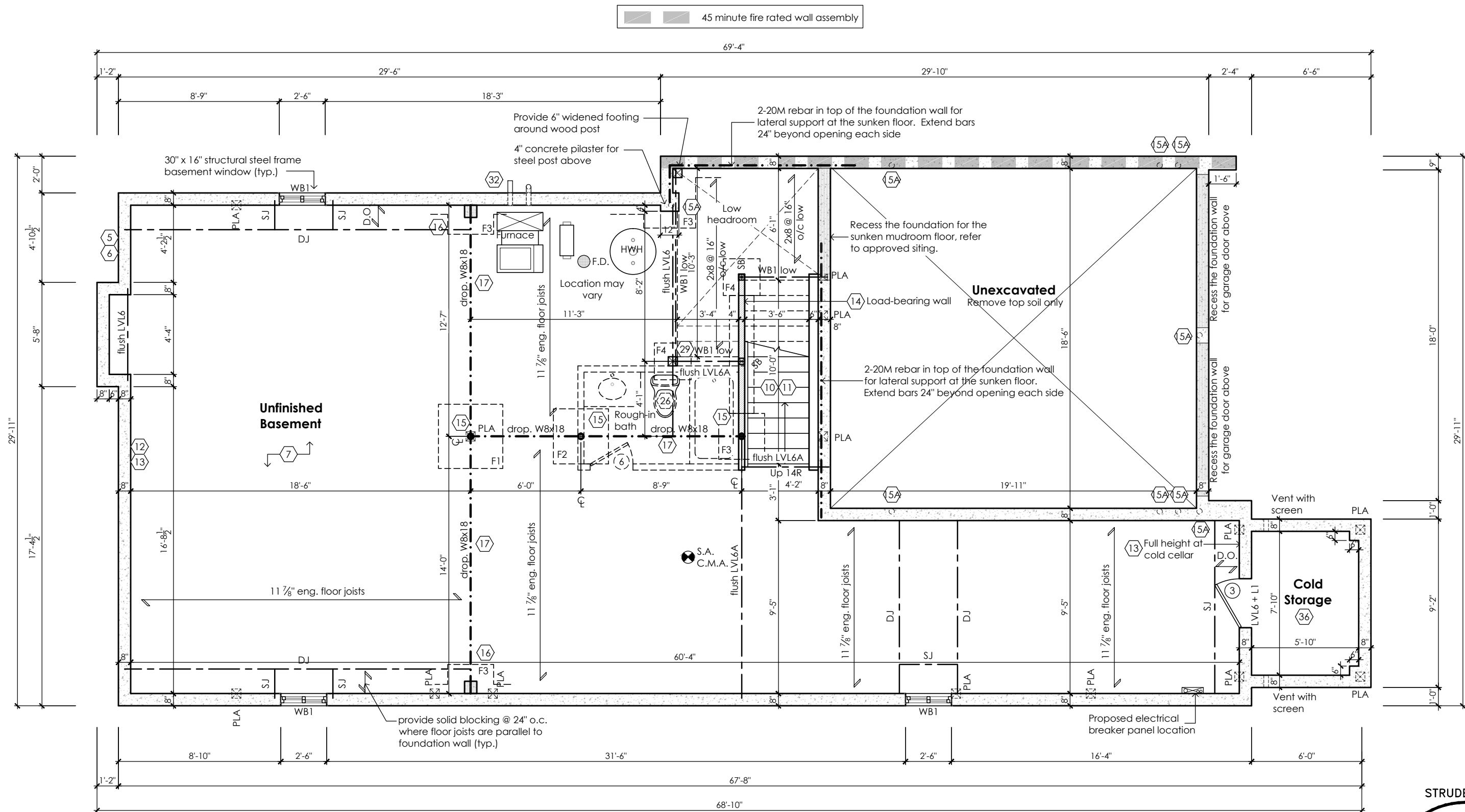


**Greenpark**

[www.greenparkgroup.ca](http://www.greenparkgroup.ca)

|              |
|--------------|
| project name |
|--------------|

Trinigroup Developments Inc



**Basement Plan '2'**

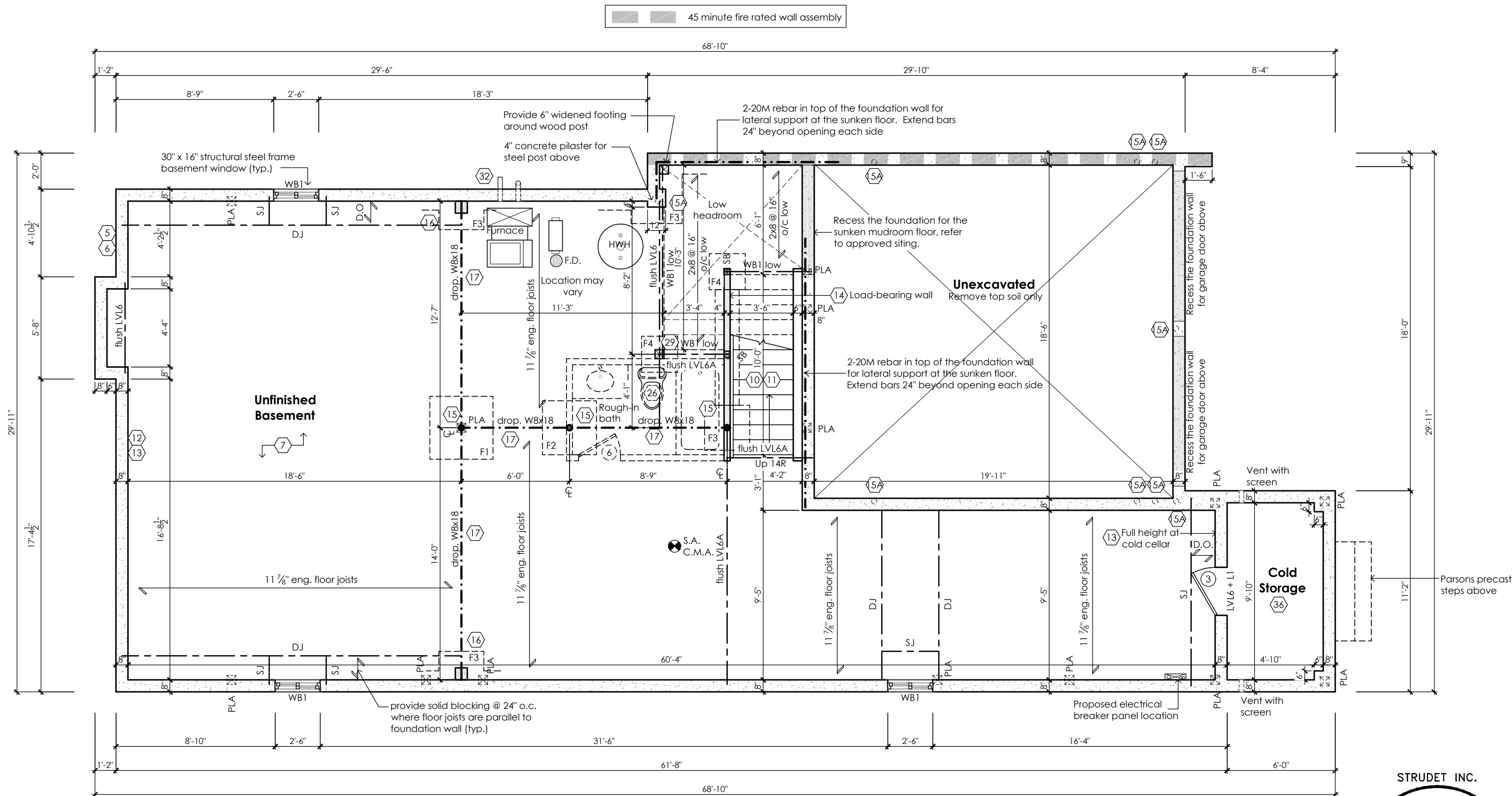
For approved engineered floor joist systems, including beams and their support, reference shall be made to the approved engineered floor layout attached to these drawings. Follow the manufacturers specifications and bearing requirements as stated.

CITY OF RICHMOND HILL  
BUILDING DIVISION  
08/21/2024  
REVISED  
Per: KER

STRUDET INC.  
REGISTERED PROFESSIONAL ENGINEER  
B. MARINKOVIC  
September 28, 2023  
PROVINCE OF ONTARIO  
FOR STRUCTURE ONLY

**Villa 6**  
Compliance Package A1

|                                                                                                                                                             |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |                                                                                                                                                                                                                                                 |                                                                                                                                                                                                                                                                                                                                                                              |                                                     |  |  |  |                               |                 |                           |                         |                           |                           |                              |  |                                                                                                                                                                                                   |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------|--|--|--|-------------------------------|-----------------|---------------------------|-------------------------|---------------------------|---------------------------|------------------------------|--|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
|                                                                                                                                                             | <p>The undersigned has reviewed and takes responsibility for this design, as well as having the qualifications and requirements mandated by the Ontario Building Code (O.B.C.) to be a Designer.</p> <p><b>Qualification Information</b></p> <div><div>Jamie Mack</div><div>35923</div><div></div></div> <div><div>Name</div><div>BCIN</div><div>Signature</div></div> <div><div>Registration Information</div><div><b>Mackitecture</b></div><div>103532</div></div> | <div><br/><b>www.mackitecture.ca</b><br/>975A Elgin Street West, Suite 353<br/>Cobourg, ON K9A 5J3<br/>Tel: 416-735-8190 Email: info@mackitecture.ca</div> | <table><tr><td colspan="4">title<br/><b>Basement Floor Plan<br/>Elevation 2</b></td></tr><tr><td>scale<br/><b>3/16" = 1'-0"</b></td><td>by<br/><b>DO</b></td><td>area<br/><b>3047 sq ft</b></td><td>sheet no.<br/><b>1-2</b></td></tr><tr><td>date<br/><b>2023-09-28</b></td><td>type<br/><b>36" Single</b></td><td>project no.<br/><b>22-016</b></td><td></td></tr></table> | title<br><b>Basement Floor Plan<br/>Elevation 2</b> |  |  |  | scale<br><b>3/16" = 1'-0"</b> | by<br><b>DO</b> | area<br><b>3047 sq ft</b> | sheet no.<br><b>1-2</b> | date<br><b>2023-09-28</b> | type<br><b>36" Single</b> | project no.<br><b>22-016</b> |  | <div><br/><b>www.greenparkgroup.ca</b></div> <div>project name<br/><b>Trinigroup Developments Inc.</b></div> |
| title<br><b>Basement Floor Plan<br/>Elevation 2</b>                                                                                                         |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |                                                                                                                                                                                                                                                 |                                                                                                                                                                                                                                                                                                                                                                              |                                                     |  |  |  |                               |                 |                           |                         |                           |                           |                              |  |                                                                                                                                                                                                   |
| scale<br><b>3/16" = 1'-0"</b>                                                                                                                               | by<br><b>DO</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           | area<br><b>3047 sq ft</b>                                                                                                                                                                                                                       | sheet no.<br><b>1-2</b>                                                                                                                                                                                                                                                                                                                                                      |                                                     |  |  |  |                               |                 |                           |                         |                           |                           |                              |  |                                                                                                                                                                                                   |
| date<br><b>2023-09-28</b>                                                                                                                                   | type<br><b>36" Single</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 | project no.<br><b>22-016</b>                                                                                                                                                                                                                    |                                                                                                                                                                                                                                                                                                                                                                              |                                                     |  |  |  |                               |                 |                           |                         |                           |                           |                              |  |                                                                                                                                                                                                   |
| Contractor shall check all dimensions and elevations before commencing with work and report any discrepancies to the Designer. Prints are not to be scaled. |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |                                                                                                                                                                                                                                                 |                                                                                                                                                                                                                                                                                                                                                                              |                                                     |  |  |  |                               |                 |                           |                         |                           |                           |                              |  |                                                                                                                                                                                                   |



Basement Plan '3'

For approved engineered floor joist systems, including beams and their support, reference shall be made to the approved engineered floor layout attached to these drawings. Follow the manufacturers specifications and bearing requirements as stated.

CITY OF RICHMOND HILL  
BUILDING DIVISION  
08/21/2024  
REVISED  
Per: KER

STRUDET INC.  
REGISTERED PROFESSIONAL ENGINEER  
B. MARINKOVIC  
September 28, 2023  
FOR STRUCTURE ONLY  
Villa 6  
Compliance Package A1

Contractor shall check all dimensions and elevations before commencing with work and report any discrepancies to the Designer. Prints are not to be scaled.

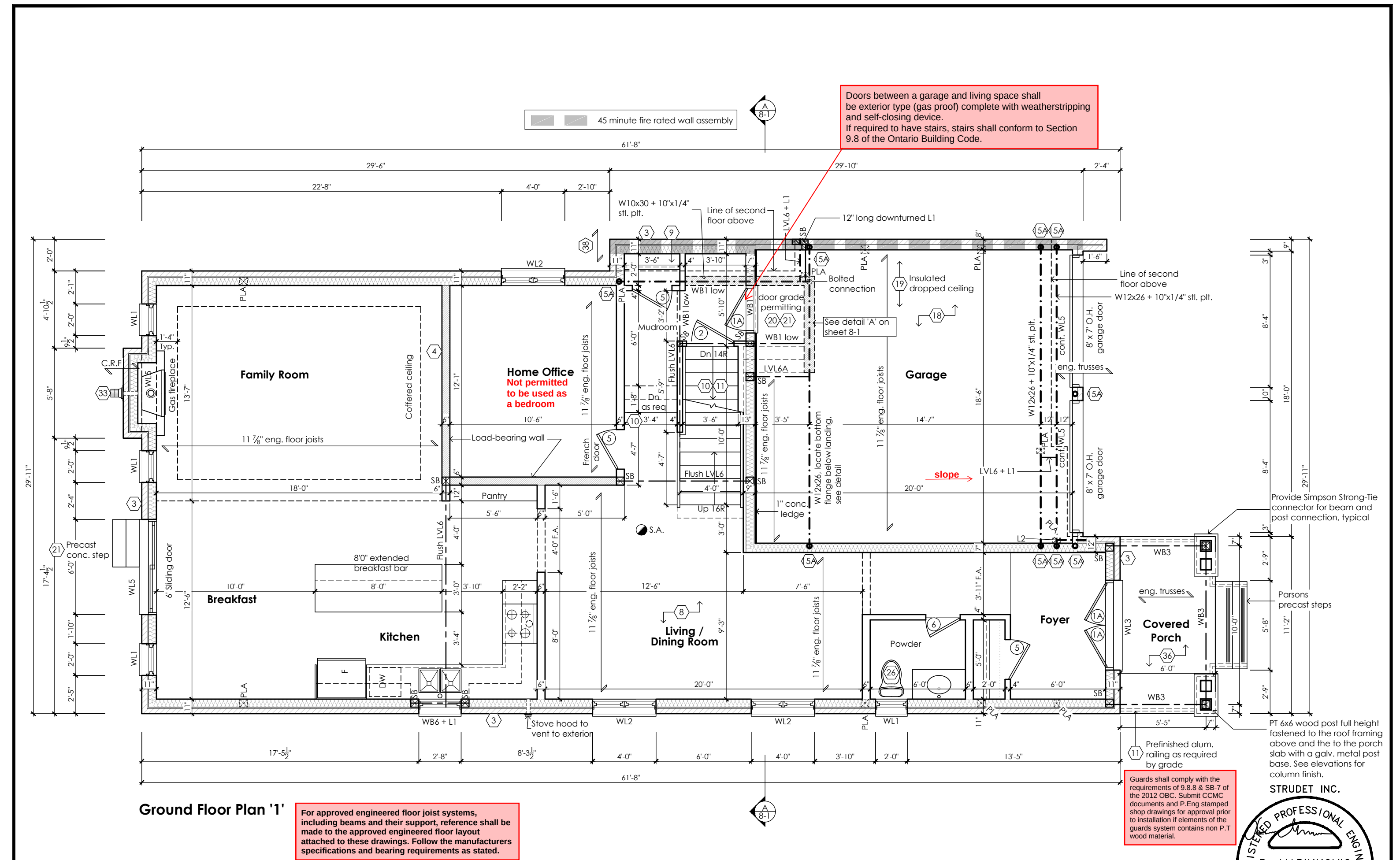
The undersigned has reviewed and takes responsibility for this design, as well as having the qualifications and requirements mandated by the Ontario Building Code (O.B.C.) to be a Designer.  
**Qualification Information**  
Jamie Mack 35923  
Name BCIN  
Registration Information Mackitecture 103532

**Mackitecture**  
www.mackitecture.ca  
975A Elgin Street West, Suite 353  
Cobourg, ON K9A 5J3  
Tel: 416-735-8190 Email: info@mackitecture.ca

**Basement Floor Plan  
Elevation 3**  
scale 3/16" = 1'-0"  
by DO  
area 3047 sq ft  
date 2023-09-28  
type 36" Single  
project no. 22-016  
sheet no. 1-3

**Greenpark**  
www.greenparkgroup.ca  
project name  
Trinigroup Developments Inc.





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**Qualification Information**

Jamie Mack 35923  
Name BCIN Signature  
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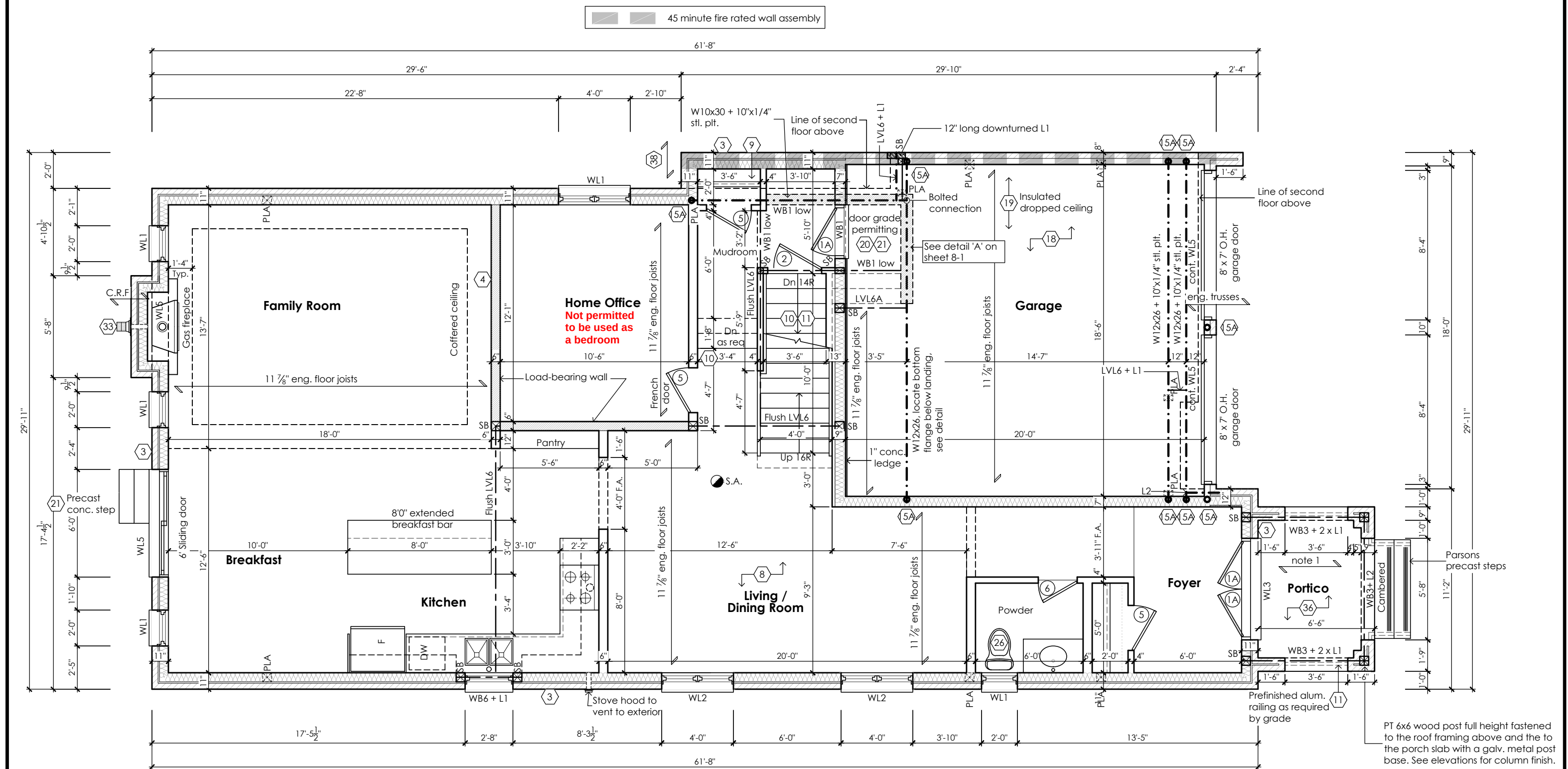
**Mackitecture**  
www.mackitecture.ca  
975A Elgin Street West, Suite 353  
Cobourg, ON K9A 5J3  
Tel: 416-735-8190 Email: info@mackitecture.ca

**Ground Floor Plan  
Elevation 1**

|                        |                    |                       |                  |
|------------------------|--------------------|-----------------------|------------------|
| scale<br>3/16" = 1'-0" | by<br>DO           | area<br>3038 sq ft    | sheet no.<br>2-1 |
| date<br>2023-09-28     | type<br>36" Single | project no.<br>22-016 |                  |

**Greenpark**  
www.greenparkgroup.ca

project name  
**Trinigroup Developments Inc.**



Ground Floor Plan '2'

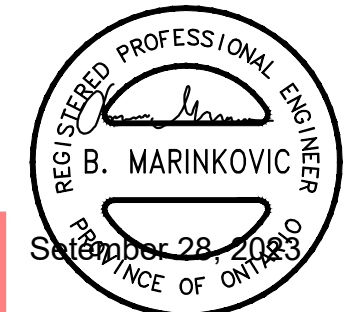
For approved engineered floor joist systems, including beams and their support, reference shall be made to the approved engineered floor layout attached to these drawings. Follow the manufacturers specifications and bearing requirements as stated.

note 1:  
flat roof framing (typ.)  
2"x8" @ 12" o.c. p.t. clg. jst. w/  
2"x4" @ 12" o.c. p.t. diagonally  
cut cross purlins w/ 5/8" exterior  
grade sheathing + single ply  
roof membrane (slope to drain)

CITY OF RICHMOND HILL  
BUILDING DIVISION  
08/21/2024  
REVISED  
Per: KER

PT 6x6 wood post full height fastened to the roof framing above and the to the porch slab with a galv. metal post base. See elevations for column finish.

STRUDET INC.



FOR STRUCTURE ONLY

Villa 6

Compliance Package A1

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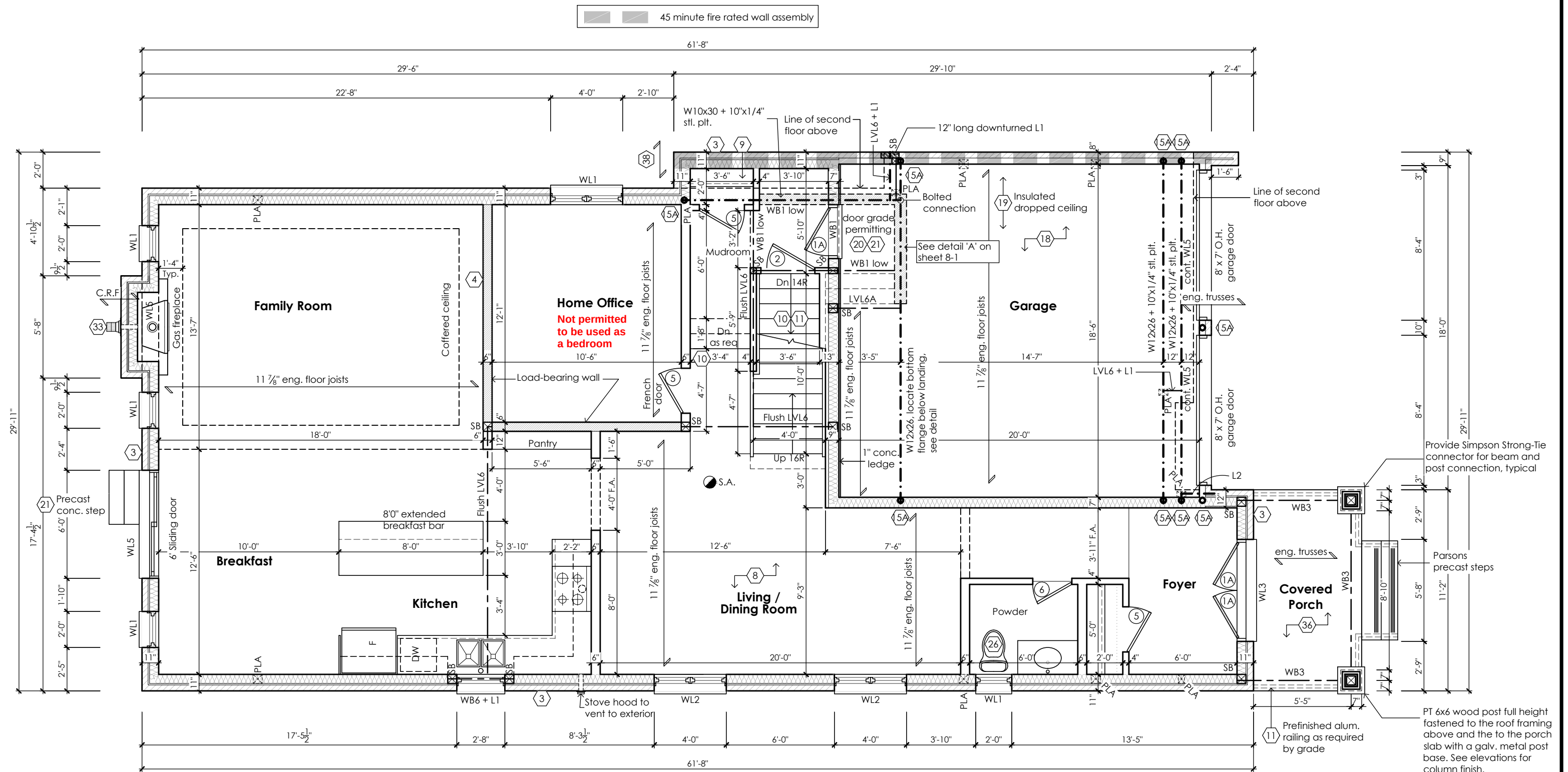
**Qualification Information**

Jamie Mack 35923  
Name BCIN  
Registration Information Mackitecture 103532

**www.mackitecture.ca**  
975A Elgin Street West, Suite 353  
Cobourg, ON K9A 5J3  
Tel: 416-735-8190 Email: info@mackitecture.ca

| Ground Floor Plan<br>Elevation 2 |            |             |           |
|----------------------------------|------------|-------------|-----------|
| scale                            | by         | area        | sheet no. |
| 3/16" = 1'-0"                    | DO         | 3047 sq ft  | 2-2       |
| date                             | type       | project no. |           |
| 2023-09-28                       | 36" Single | 22-016      |           |

**www.greenparkgroup.ca**  
project name  
**Trinigroup Developments Inc.**



Ground Floor Plan '3'

STRUDET INC.



CITY OF RICHMOND HILL  
BUILDING DIVISION  
08/21/2024  
REVISED  
Per: KER

FOR STRUCTURE ONLY

**Villa 6**  
Compliance Package A1

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**Qualification Information**

Jamie Mack 35923  
Name BCIN Signature  
Registration Information Mackitecture 103532

**www.mackitecture.ca**  
975A Elgin Street West, Suite 353  
Cobourg, ON K9A 5J3  
Tel: 416-735-8190 Email: info@mackitecture.ca

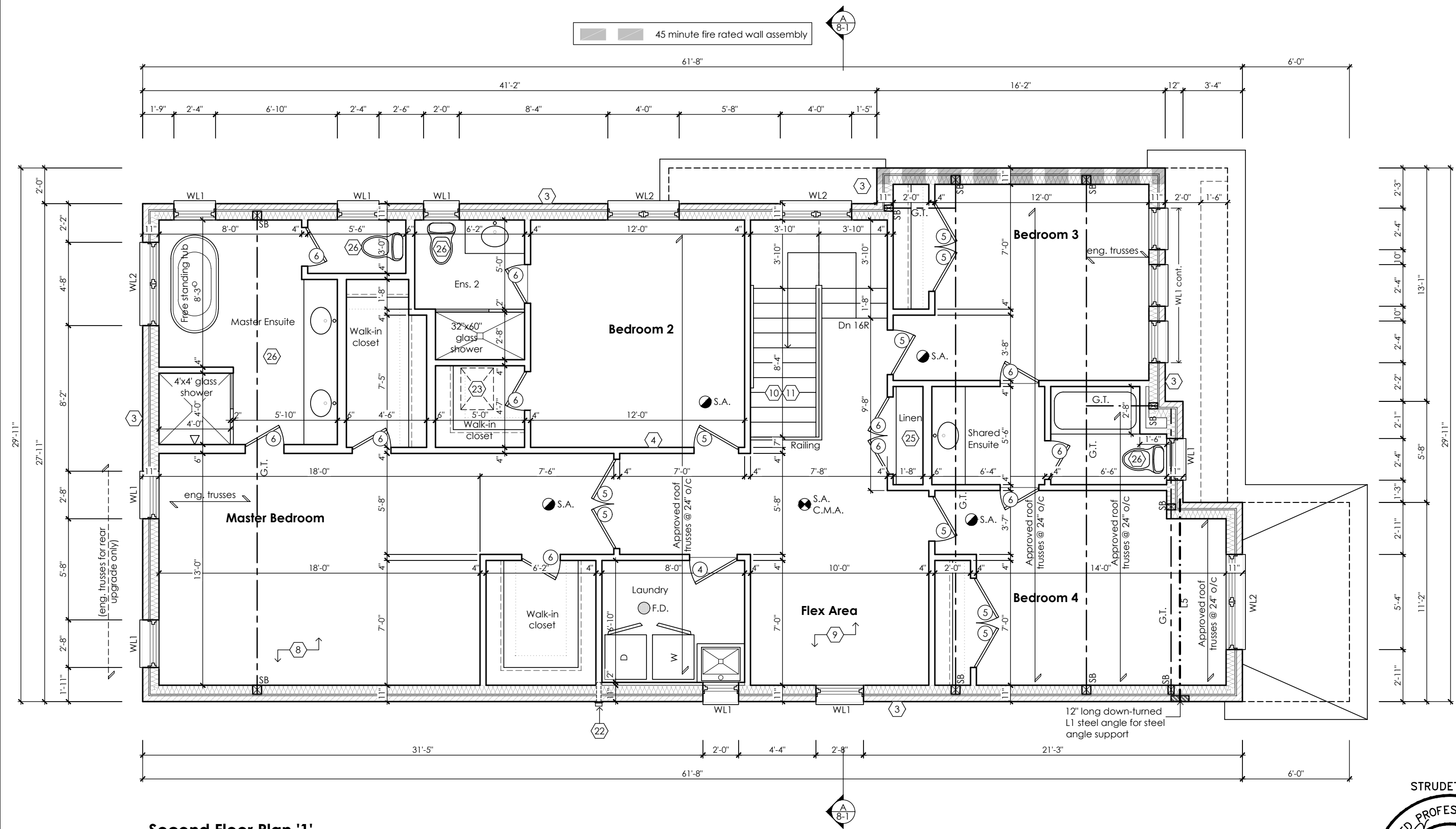
**Ground Floor Plan  
Elevation 3**

|                        |                    |                       |                  |
|------------------------|--------------------|-----------------------|------------------|
| scale<br>3/16" = 1'-0" | by<br>DO           | area<br>3047 sq ft    | sheet no.<br>2-3 |
| date<br>2023-09-28     | type<br>36" Single | project no.<br>22-016 |                  |

**www.greenparkgroup.ca**

project name  
**Trinigroup Developments Inc.**





Second Floor Plan '1'

CITY OF RICHMOND HILL  
BUILDING DIVISION  
08/21/2024  
REVISED  
Per: KER

STRUDET INC.  
REGISTERED PROFESSIONAL ENGINEER  
B. MARINKOVIC  
September 28, 2023  
PROFESSIONAL SEAL OF ONTARIO

FOR STRUCTURE ONLY

**Villa 6**  
Compliance Package A1

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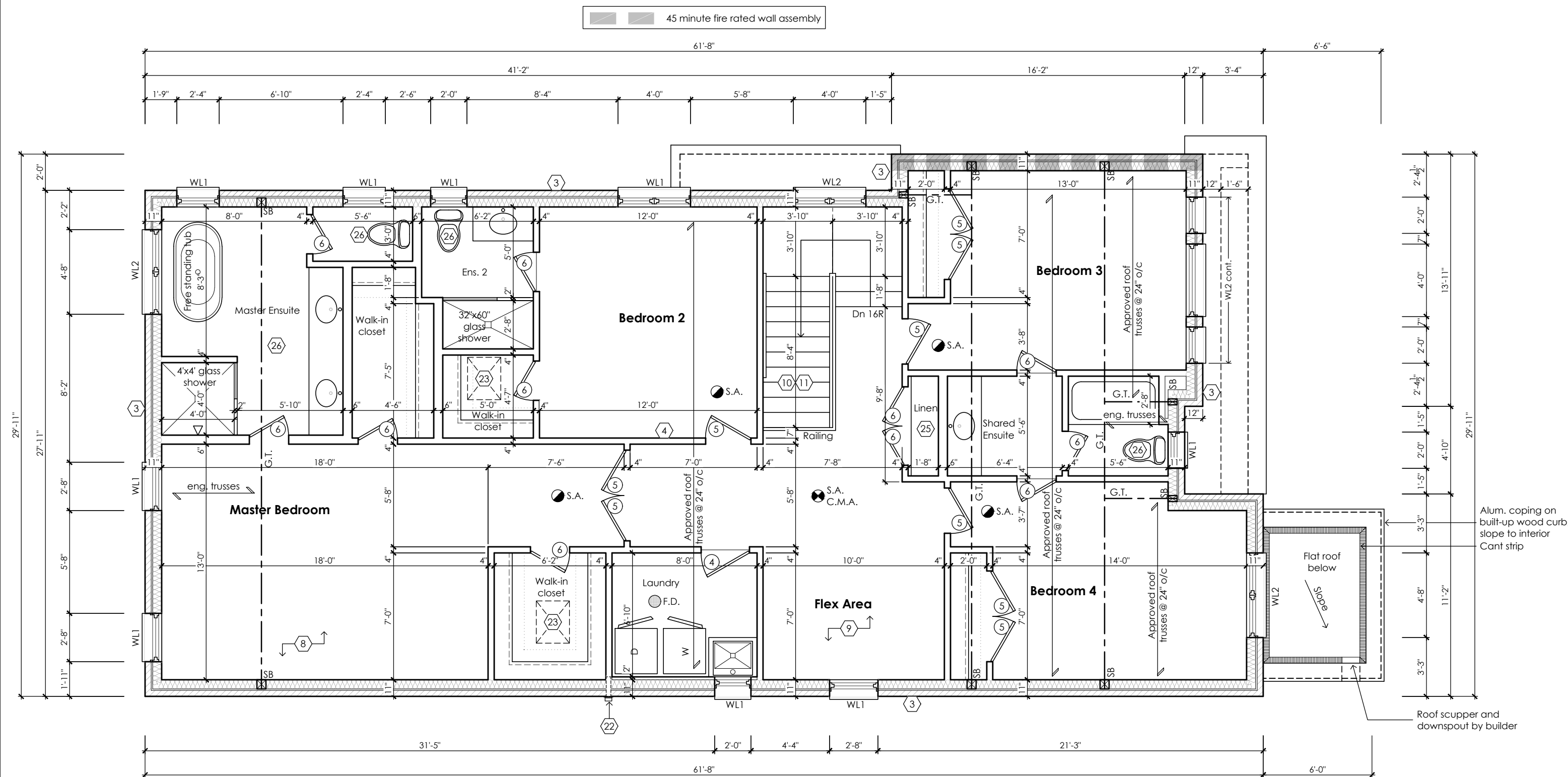
**Qualification Information**

Jamie Mack 35923  
Name BCIN Signature  
Registration Information **Mackitecture** 103532

  
**www.mackitecture.ca**  
975A Elgin Street West, Suite 353  
Cobourg, ON K9A 5J3  
Tel: 416-735-8190 Email: info@mackitecture.ca

| Second Floor Plan<br>Elevation 1 |            |             |           |
|----------------------------------|------------|-------------|-----------|
| scale                            | by         | area        | sheet no. |
| 3/16" = 1'-0"                    | DO         | 3038 sq ft  | 3-1       |
| date                             | type       | project no. |           |
| 2023-09-28                       | 36" Single | 22-016      |           |

  
**www.greenparkgroup.ca**  
project name  
**Trinigroup Developments Inc.**



Second Floor Plan '2'

CITY OF RICHMOND HILL  
BUILDING DIVISION  
08/21/2024  
REVISED  
Per: KER

STRUDET INC.  
REGISTERED PROFESSIONAL ENGINEER  
B. MARINKOVIC  
September 28, 2023  
PROVINCE OF ONTARIO

FOR STRUCTURE ONLY

Villa 6  
Compliance Package A1

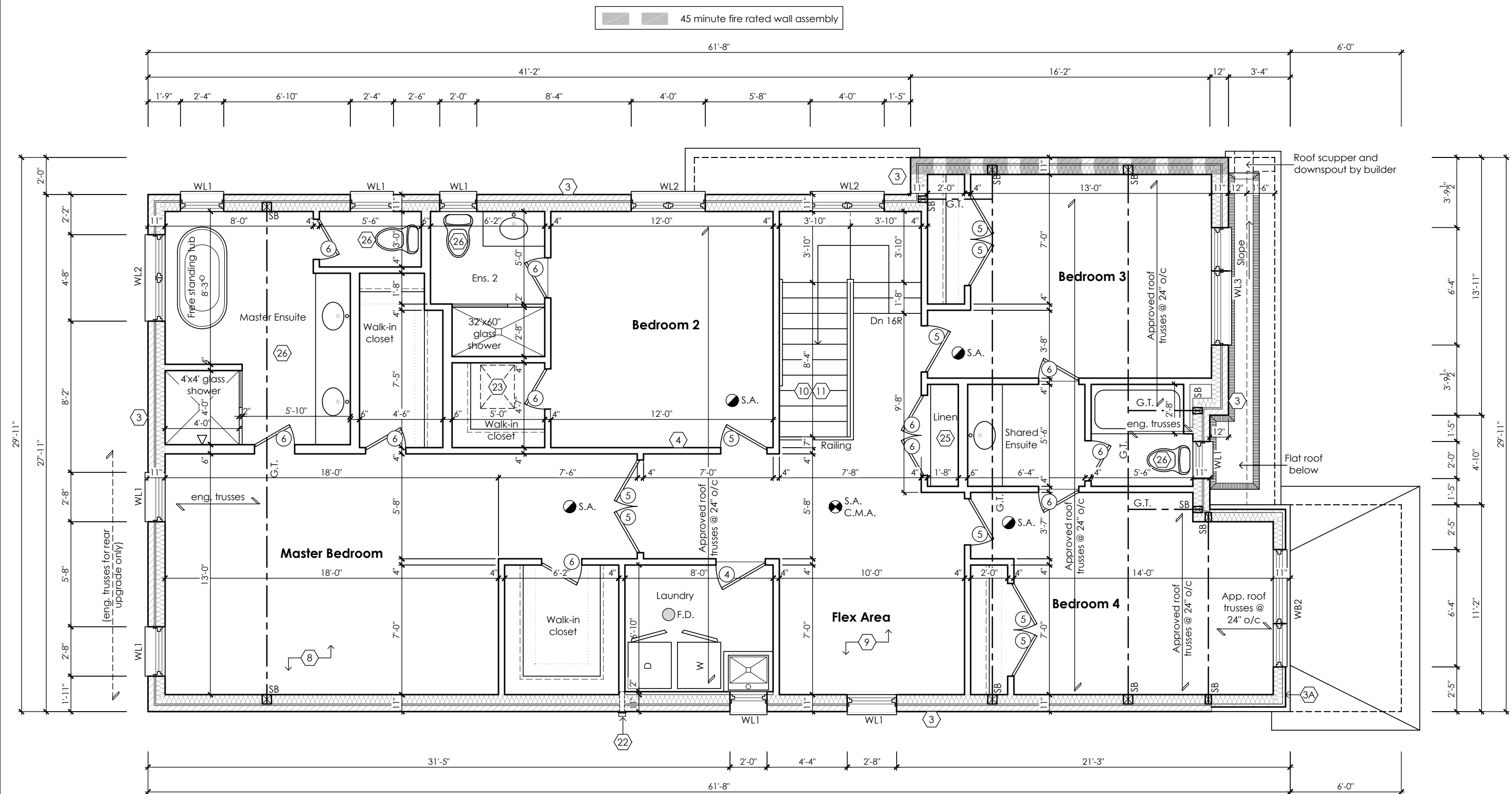
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**Qualification Information**  
Jamie Mack 35923  
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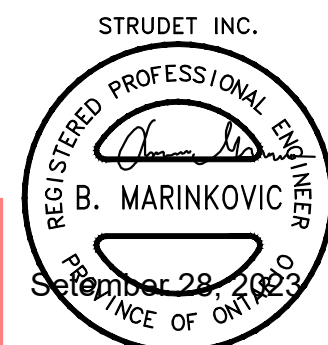
| Second Floor Plan<br>Elevation 2 |            |             |           |
|----------------------------------|------------|-------------|-----------|
| scale                            | by         | area        | sheet no. |
| 3/16" = 1'-0"                    | DO         | 3047 sq ft  | 3-2       |
| date                             | type       | project no. |           |
| 2023-09-28                       | 36" Single | 22-016      |           |

**www.greenparkgroup.ca**  
project name  
Trinigroup Developments Inc.



Second Floor Plan '3'

CITY OF RICHMOND HILL  
BUILDING DIVISION  
08/21/2024  
REVISED  
Per: KER



FOR STRUCTURE ONLY

**Villa 6**  
Compliance Package A1

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**Qualification Information**

Jamie Mack 35923  
Name BCIN Signature  
Registration Information **Mackitecture** 103532

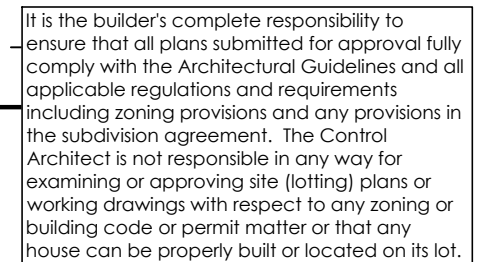
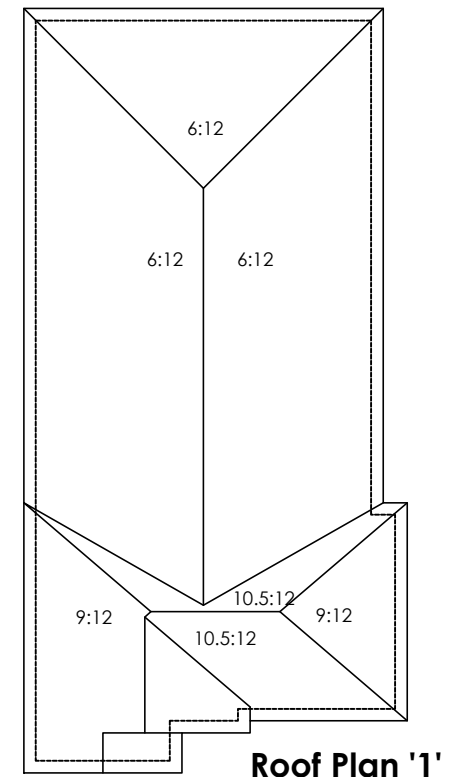
**www.mackitecture.ca**  
975A Elgin Street West, Suite 353  
Cobourg, ON K9A 5J3  
Tel: 416-735-8190 Email: info@mackitecture.ca

| Second Floor Plan<br>Elevation 3 |                           |                              |                         |
|----------------------------------|---------------------------|------------------------------|-------------------------|
| scale<br><b>3/16" = 1'-0"</b>    | by<br><b>DO</b>           | area<br><b>3047 sq ft</b>    | sheet no.<br><b>3-3</b> |
| date<br><b>2023-09-28</b>        | type<br><b>36" Single</b> | project no.<br><b>22-016</b> |                         |

**www.greenparkgroup.ca**  
project name  
**Trinigroup Developments Inc.**



Refer to approved truss drawings for roof framing layout and specifications for correct bearing, uplift and anchorage.



This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Richmond Hill

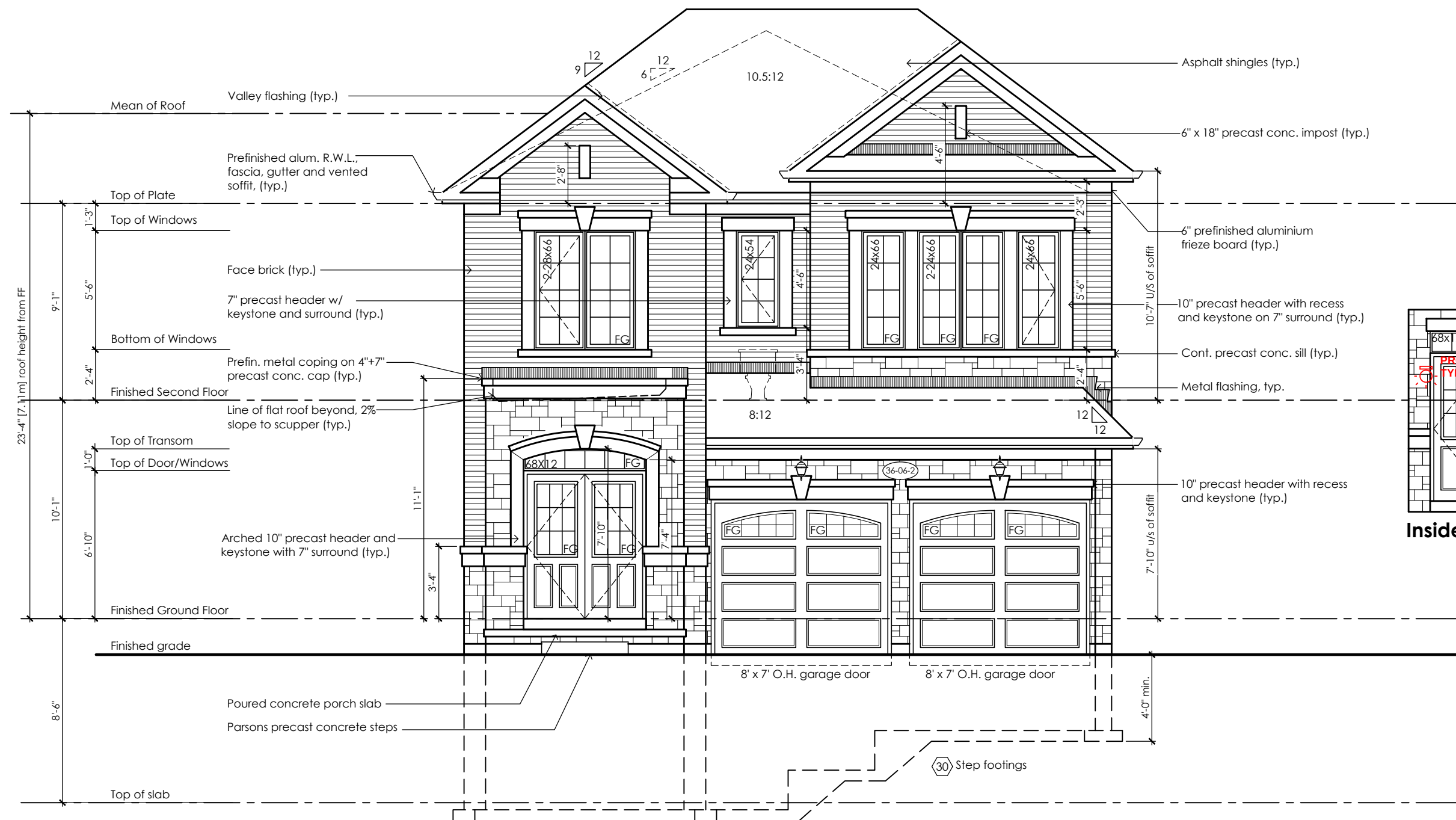
☐ Preliminary ☒ Final

14 Aug 2024 By: James Pavlidis

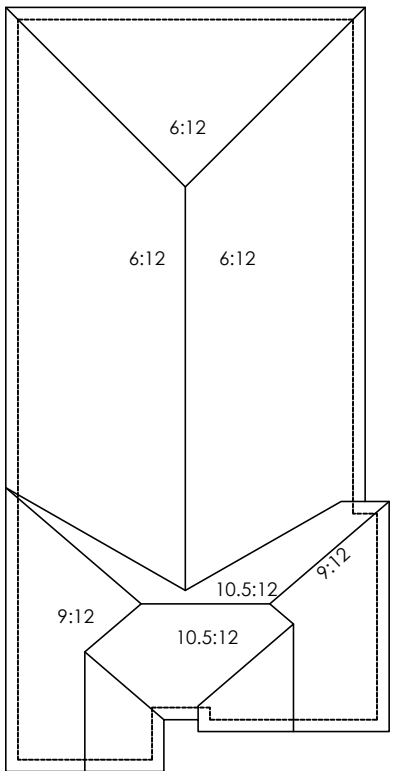
## Compliance Package A1

Trinigroup Developments Inc.

Drawing created with Mackitecture v. 1.0.0 (build 2657). File P:\2022\22-016-GREENPARK-TRINGROUP-RICHMOND HILL\WORKING\22-016-VILLA 6-WD-V1.DWG plotted on 2023-09-28 at 10:57:49 AM by JMACK

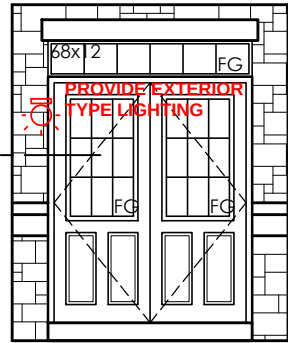


Front Elevation '2'



Roof Plan '2'

Refer to approved truss drawings for roof framing layout and specifications for correct bearing, uplift and anchorage.



Inside Portico Elev. '2'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Richmond Hill

CITY OF RICHMOND HILL  
BUILDING DIVISION  
08/21/2024  
REVISED  
Per: KER

City of Richmond Hill  
Design Review  
☐ Preliminary ☒ Final  
14 Aug 2024 By: James Pavlidis

Villa 6

Compliance Package A1

Contractor shall check all dimensions and elevations before commencing with work and report any discrepancies to the Designer. Prints are not to be scaled.

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**Qualification Information**

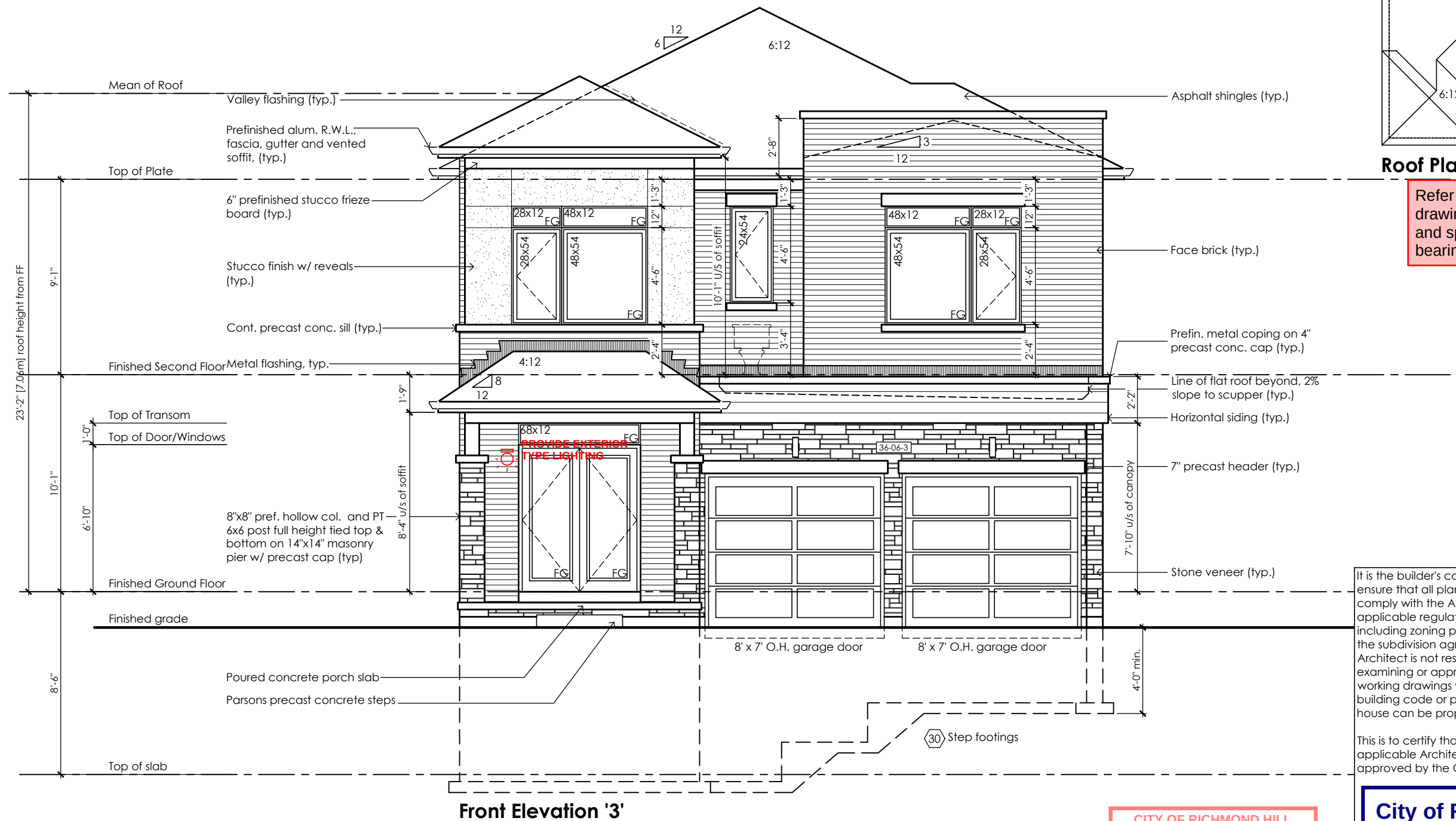
Jamie Mack 35923  
Name BCIN  
Registration Information Mackitecture 103532

www.mackitecture.ca  
975A Elgin Street West, Suite 353  
Cobourg, ON K9A 5J3  
Tel: 416-735-8190 Email: info@mackitecture.ca

| Front Elevation<br>Elevation 2 |            |             |           |
|--------------------------------|------------|-------------|-----------|
| scale                          | by         | area        | sheet no. |
| 3/16" = 1'-0"                  | DO         | 3047 sq ft  | 4-2       |
| date                           | type       | project no. |           |
| 2023-09-28                     | 36" Single | 22-016      |           |

www.greenparkgroup.ca

project name  
Trinigroup Developments Inc.



Roof Plan '3'

Refer to approved truss drawings for roof framing layout and specifications for correct bearing, uplift and anchorage.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Richmond Hill

CITY OF RICHMOND HILL  
BUILDING DIVISION

08/21/2024

REVISED  
Per: KER

City of Richmond Hill  
Design Review

☐ Preliminary ☒ Final

14 Aug 2024 By: James Paulidis

Villa 6

Compliance Package A1

The undersigned has reviewed and takes responsibility for this design, as well as having the qualifications and requirements mandated by the Ontario Building Code (O.B.C.) to be a Designer.

Qualification Information

Jamie Mack 35923  
Name BCIN Signature  
Registration Information Mackitecture 103532



www.mackitecture.ca

975A Elgin Street West, Suite 353  
Cobourg, ON K9A 5J3  
Tel: 416-735-8190 Email: info@mackitecture.ca

Front Elevation  
Elevation 3

|               |            |             |           |
|---------------|------------|-------------|-----------|
| scale         | by         | area        | sheet no. |
| 3/16" = 1'-0" | DO         | 3047 sq ft  | 4-3       |
| date          | type       | project no. |           |
| 2023-09-28    | 36" Single | 22-016      |           |

Greenpark

www.greenparkgroup.ca

project name  
Trinigroup Developments Inc.



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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City of Richmond Hill  
Design Review

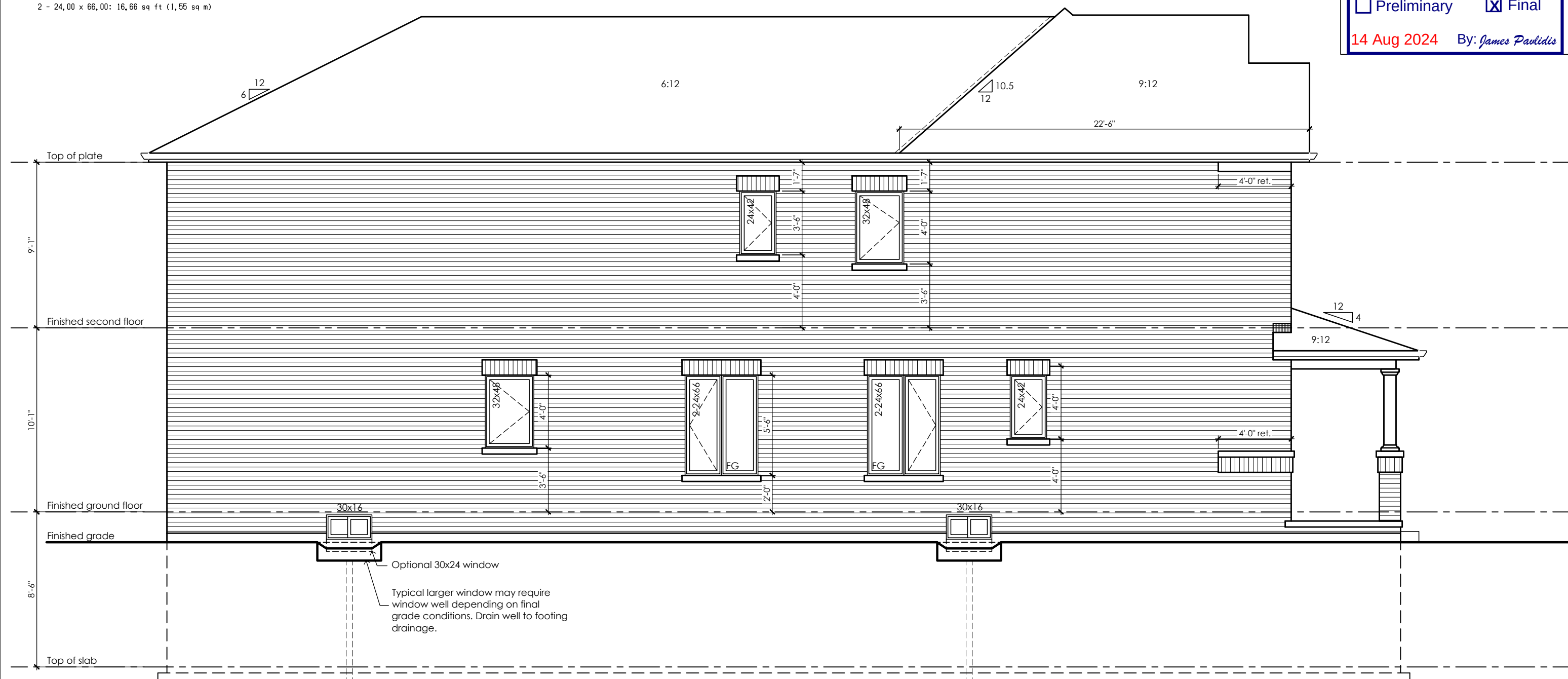
☐ Preliminary ☒ Final

14 Aug 2024 By: James Paulidis

Glazed Openings Calculation (OBC 9.10.15.4.)  
Limiting distance: 3'-11" (1.20m)  
Wall area: 1284.7 sq ft (119.35 sq m)  
Permitted glazed openings: 7.0%, 89.9 sq ft (8.35 sq m)  
Provided glazed openings: 4.9%, 63.4 sq ft (5.89 sq m)  
Summary

Areas calculated with a frame offset of 2.25"

2 - 15,00 x 16,00: 1,68 sq ft (0,16 sq m)  
2 - 15,00 x 16,00: 1,68 sq ft (0,16 sq m)  
1 - 24,00 x 42,00: 5,08 sq ft (0,47 sq m)  
1 - 24,00 x 42,00: 5,08 sq ft (0,47 sq m)  
1 - 32,00 x 48,00: 8,31 sq ft (0,77 sq m)  
1 - 32,00 x 48,00: 8,31 sq ft (0,77 sq m)  
2 - 24,00 x 66,00: 16,66 sq ft (1,55 sq m)  
2 - 24,00 x 66,00: 16,66 sq ft (1,55 sq m)



Left Side Elevation '1'

No unprotected openings permitted within 1.2 metres of the lot line as per 9.10.14 of the Ontario Building Code.

CITY OF RICHMOND HILL  
BUILDING DIVISION

08/21/2024

REVISED  
Per: KER

Villa 6

Compliance Package A1

Contractor shall check all dimensions and elevations before commencing with work and report any discrepancies to the Designer. Prints are not to be scaled.

The undersigned has reviewed and takes responsibility for this design, as well as having the qualifications and requirements mandated by the Ontario Building Code (O.B.C.) to be a Designer.

Qualification Information

Jamie Mack 35923  
Name BCIN Signature

Registration Information Mackitecture 103532



www.mackitecture.ca

975A Elgin Street West, Suite 353  
Cobourg, ON K9A 5J3  
Tel: 416-735-8190 Email: info@mackitecture.ca

title

Left Side Elevation  
Elevation 1

|               |            |             |           |
|---------------|------------|-------------|-----------|
| scale         | by         | area        | sheet no. |
| 3/16" = 1'-0" | DO         | 3038 sq ft  | 5-1       |
| date          | type       | project no. |           |
| 2023-09-28    | 36" Single | 22-016      |           |



www.greenparkgroup.ca

project name  
Trinigroup Developments Inc.

Glazed Openings Calculation (OBC 9.10.15.4.)  
Limiting distance: 3'-11" (1.20m)  
Wall area: 1284.7 sq ft (119.35 sq m)  
Permitted glazed openings: 7.0%, 89.9 sq ft (8.35 sq m)  
Provided glazed openings: 4.9%, 63.4 sq ft (5.89 sq m)  
Summary  
Areas calculated with a frame offset of 2,25"  
2 - 15,00 x 16,00: 1,68 sq ft (0,16 sq m)  
2 - 15,00 x 16,00: 1,68 sq ft (0,16 sq m)  
1 - 24,00 x 42,00: 5,08 sq ft (0,47 sq m)  
1 - 24,00 x 42,00: 5,08 sq ft (0,47 sq m)  
1 - 32,00 x 48,00: 8,31 sq ft (0,77 sq m)  
1 - 32,00 x 48,00: 8,31 sq ft (0,77 sq m)  
2 - 24,00 x 66,00: 16,66 sq ft (1,55 sq m)  
2 - 24,00 x 66,00: 16,66 sq ft (1,55 sq m)

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City of Richmond Hill  
Design Review

☐ Preliminary ☒ Final

14 Aug 2024 By: James Paulidis



Left Side Elevation '2'

No unprotected openings permitted within 1.2 metres of the lot line as per 9.10.14 of the Ontario Building Code.

CITY OF RICHMOND HILL  
BUILDING DIVISION

08/21/2024

REVISED

Per: KER

Villa 6

Compliance Package A1

Contractor shall check all dimensions and elevations before commencing with work and report any discrepancies to the Designer. Prints are not to be scaled.

The undersigned has reviewed and takes responsibility for this design, as well as having the qualifications and requirements mandated by the Ontario Building Code (O.B.C.) to be a Designer.

Qualification Information

Jamie Mack 35923  
Name BCIN Signature  
Registration Information Mackitecture 103532



www.mackitecture.ca

975A Elgin Street West, Suite 353  
Cobourg, ON K9A 5J3  
Tel: 416-735-8190 Email: info@mackitecture.ca

Left Side Elevation  
Elevation 2

scale 3/16" = 1'-0"  
by DO  
area 3047 sq ft  
date 2023-09-28  
type 36" Single  
project no. 22-016

sheet no.

5-2



www.greenparkgroup.ca

project name

Trinigroup Developments Inc.

Glazed Openings Calculation (OBC 9.10.15.4.)  
Limiting distance: 3'-11" (1.20m)  
Wall area: 1296.4 sq ft (120.44 sq m)  
Permitted glazed openings: 7.0%, 90.7 sq ft (8.43 sq m)  
Provided glazed openings: 4.9%, 63.4 sq ft (5.89 sq m)  
Summary  
Areas calculated with a frame offset of 2,25"  
2 - 15,00 x 16,00: 1,68 sq ft (0,16 sq m)  
2 - 15,00 x 16,00: 1,68 sq ft (0,16 sq m)  
1 - 24,00 x 42,00: 5,08 sq ft (0,47 sq m)  
1 - 24,00 x 42,00: 5,08 sq ft (0,47 sq m)  
1 - 32,00 x 48,00: 8,31 sq ft (0,77 sq m)  
1 - 32,00 x 48,00: 8,31 sq ft (0,77 sq m)  
2 - 24,00 x 66,00: 16,66 sq ft (1,55 sq m)  
2 - 24,00 x 66,00: 16,66 sq ft (1,55 sq m)

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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City of Richmond Hill  
Design Review

☐ Preliminary ☒ Final

14 Aug 2024 By: James Paulidis



Left Side Elevation '3'

No unprotected openings permitted within 1.2 metres of the lot line as per 9.10.14 of the Ontario Building Code.

CITY OF RICHMOND HILL  
BUILDING DIVISION

08/21/2024

REVISED  
Per: KER

Villa 6

Compliance Package A1

Contractor shall check all dimensions and elevations before commencing with work and report any discrepancies to the Designer. Prints are not to be scaled.

The undersigned has reviewed and takes responsibility for this design, as well as having the qualifications and requirements mandated by the Ontario Building Code (O.B.C.) to be a Designer.

**Qualification Information**

Jamie Mack 35923  
Name BCIN Signature

Registration Information **Mackitecture** 103532



www.mackitecture.ca

975A Elgin Street West, Suite 353  
Cobourg, ON K9A 5J3  
Tel: 416-735-8190 Email: info@mackitecture.ca

Left Side Elevation  
Elevation 3

|               |            |             |           |
|---------------|------------|-------------|-----------|
| scale         | by         | area        | sheet no. |
| 3/16" = 1'-0" | DO         | 3047 sq ft  | 5-3       |
| date          | type       | project no. |           |
| 2023-09-28    | 36" Single | 22-016      |           |



www.greenparkgroup.ca

project name  
**Trinigroup Developments Inc.**



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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City of Richmond Hill  
Design Review

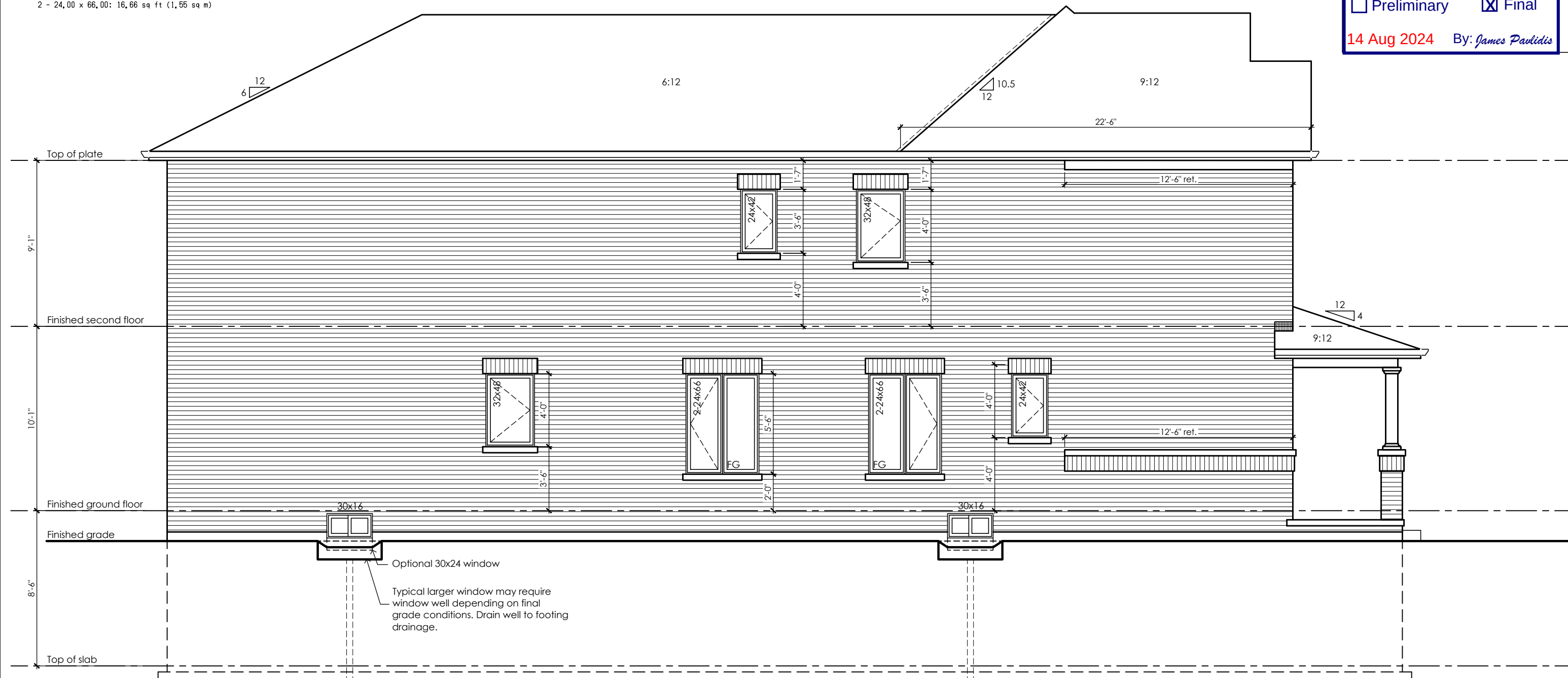
☐ Preliminary ☒ Final

14 Aug 2024 By: James Paulidis

Glazed Openings Calculation (OBC 9.10.15.4.)  
Limiting distance: 3'-11" (1.20m)  
Wall area: 1284.7 sq ft (119.35 sq m)  
Permitted glazed openings: 7.0%, 89.9 sq ft (8.35 sq m)  
Provided glazed openings: 4.9%, 63.4 sq ft (5.89 sq m)  
Summary

Areas calculated with a frame offset of 2.25"

2 - 15,00 x 16,00: 1,68 sq ft (0,16 sq m)  
2 - 15,00 x 16,00: 1,68 sq ft (0,16 sq m)  
1 - 24,00 x 42,00: 5,08 sq ft (0,47 sq m)  
1 - 24,00 x 42,00: 5,08 sq ft (0,47 sq m)  
1 - 32,00 x 48,00: 8,31 sq ft (0,77 sq m)  
1 - 32,00 x 48,00: 8,31 sq ft (0,77 sq m)  
2 - 24,00 x 66,00: 16,66 sq ft (1,55 sq m)  
2 - 24,00 x 66,00: 16,66 sq ft (1,55 sq m)



Left Side Elevation '1'  
Lot 81

No unprotected openings permitted within 1.2 metres of the lot line as per 9.10.14 of the Ontario Building Code.

CITY OF RICHMOND HILL  
BUILDING DIVISION

08/21/2024

REVISED  
Per: KER

Villa 6

Compliance Package A1

Contractor shall check all dimensions and elevations before commencing with work and report any discrepancies to the Designer. Prints are not to be scaled.

The undersigned has reviewed and takes responsibility for this design, as well as having the qualifications and requirements mandated by the Ontario Building Code (O.B.C.) to be a Designer.

Qualification Information

Jamie Mack 35923  
Name BCIN Signature

Registration Information Mackitecture 103532



www.mackitecture.ca

975A Elgin Street West, Suite 353  
Cobourg, ON K9A 5J3  
Tel: 416-735-8190 Email: info@mackitecture.ca

Left Side Elevation  
Elevation 1 - Lot 81

|               |            |             |           |
|---------------|------------|-------------|-----------|
| scale         | by         | area        | sheet no. |
| 3/16" = 1'-0" | DO         | 3038 sq ft  | 5-1A      |
| date          | type       | project no. |           |
| 2024-03-19    | 36" Single | 22-016      |           |

Greenpark

www.greenparkgroup.ca

Trinigroup Developments Inc.

Glazed Openings Calculation (OBC 9.10.15.4.)  
Limiting distance: 3'-11" (1.20m)  
Wall area: 1284.7 sq ft (119.35 sq m)  
Permitted glazed openings: 7.0%, 89.9 sq ft (8.35 sq m)  
Provided glazed openings: 4.9%, 63.4 sq ft (5.89 sq m)  
Summary  
Areas calculated with a frame offset of 2.25"  
2 - 15,00 x 16,00: 1,68 sq ft (0,16 sq m)  
2 - 15,00 x 16,00: 1,68 sq ft (0,16 sq m)  
1 - 24,00 x 42,00: 5,08 sq ft (0,47 sq m)  
1 - 24,00 x 42,00: 5,08 sq ft (0,47 sq m)  
1 - 32,00 x 48,00: 8,31 sq ft (0,77 sq m)  
1 - 32,00 x 48,00: 8,31 sq ft (0,77 sq m)  
2 - 24,00 x 66,00: 16,66 sq ft (1,55 sq m)  
2 - 24,00 x 66,00: 16,66 sq ft (1,55 sq m)

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City of Richmond Hill  
Design Review

☐ Preliminary ☒ Final

14 Aug 2024 By: James Paulidis



Left Side Elevation '2'  
Lots 54 & 80

No unprotected openings permitted within 1.2 metres of the lot line as per 9.10.14 of the Ontario Building Code.

CITY OF RICHMOND HILL  
BUILDING DIVISION

08/21/2024

REVISED  
Per: KER

Villa 6

Compliance Package A1

Contractor shall check all dimensions and elevations before commencing with work and report any discrepancies to the Designer. Prints are not to be scaled.

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Qualification Information

Jamie Mack 35923  
Name BCIN Signature

Registration Information Mackitecture 103532



www.mackitecture.ca

975A Elgin Street West, Suite 353  
Cobourg, ON K9A 5J3  
Tel: 416-735-8190 Email: info@mackitecture.ca

title

Left Side Elevation  
Elevation 2 - Lots 54 & 80

|               |            |             |           |
|---------------|------------|-------------|-----------|
| scale         | by         | area        | sheet no. |
| 3/16" = 1'-0" | DO         | 3047 sq ft  | 5-2A      |
| date          | type       | project no. |           |
| 2024-03-19    | 36" Single | 22-016      |           |



www.greenparkgroup.ca

project name  
Trinigroup Developments Inc.

Glazed Openings Calculation (OBC 9.10.15.4.)  
Limiting distance: 3'-11" (1.20m)  
Wall area: 1296.4 sq ft (120.44 sq m)  
Permitted glazed openings: 7.0%, 90.7 sq ft (8.43 sq m)  
Provided glazed openings: 4.9%, 63.4 sq ft (5.89 sq m)  
Summary  
Areas calculated with a frame offset of 2,25"  
2 - 15,00 x 16,00: 1,68 sq ft (0,16 sq m)  
2 - 15,00 x 16,00: 1,68 sq ft (0,16 sq m)  
1 - 24,00 x 42,00: 5,08 sq ft (0,47 sq m)  
1 - 24,00 x 42,00: 5,08 sq ft (0,47 sq m)  
1 - 32,00 x 48,00: 8,31 sq ft (0,77 sq m)  
1 - 32,00 x 48,00: 8,31 sq ft (0,77 sq m)  
2 - 24,00 x 66,00: 16,66 sq ft (1,55 sq m)  
2 - 24,00 x 66,00: 16,66 sq ft (1,55 sq m)

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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City of Richmond Hill  
Design Review

☐ Preliminary ☒ Final

14 Aug 2024 By: James Paulidis



Left Side Elevation '3'  
Lot 79

No unprotected openings permitted within 1.2 metres of the lot line as per 9.10.14 of the Ontario Building Code.

CITY OF RICHMOND HILL  
BUILDING DIVISION

08/21/2024

REVISED

Per: KER

Villa 6

Compliance Package A1

The undersigned has reviewed and takes responsibility for this design, as well as having the qualifications and requirements mandated by the Ontario Building Code (O.B.C.) to be a Designer.

Qualification Information

Jamie Mack 35923  
Name BCIN Signature  
Registration Information Mackitecture 103532



www.mackitecture.ca

975A Elgin Street West, Suite 353  
Cobourg, ON K9A 5J3  
Tel: 416-735-8190 Email: info@mackitecture.ca

Left Side Elevation  
Elevation 3 - Lot 79

|               |            |             |           |
|---------------|------------|-------------|-----------|
| scale         | by         | area        | sheet no. |
| 3/16" = 1'-0" | DO         | 3047 sq ft  | 5-3A      |
| date          | type       | project no. |           |
| 2024-03-19    | 36" Single | 22-016      |           |



www.greenparkgroup.ca

project name  
Trinigroup Developments Inc.

Contractor shall check all dimensions and elevations before commencing with work and report any discrepancies to the Designer. Prints are not to be scaled.



Glazed Openings Calculation (OBC 9.10.15.4.)  
Limiting distance: 3'-11" (1.20m)  
Wall area: 1285.3 sq ft (119.41 sq m)  
Permitted glazed openings: 7.0%, 90.0 sq ft (8.36 sq m)  
Provided glazed openings: 4.6%, 59.2 sq ft (5.50 sq m)  
Summary  
Areas calculated with a frame offset of 2,25"  
2 - 15,00 x 16,00: 1,68 sq ft (0,16 sq m)  
1 - 24,00 x 42,00: 5,08 sq ft (0,47 sq m)  
1 - 28,00 x 42,00: 6,12 sq ft (0,57 sq m)  
1 - 28,00 x 42,00: 6,12 sq ft (0,57 sq m)  
2 - 24,00 x 48,00: 11,78 sq ft (1,09 sq m)  
2 - 24,00 x 48,00: 11,78 sq ft (1,09 sq m)  
2 - 24,00 x 66,00: 16,66 sq ft (1,55 sq m)

**45 Minute Fire Rated Wall Assemblies** (refer to MMAH SB-2 Section 2.3.)  
For exposing building face with a limiting distance less than 1.2m (3'-11")

**Stud Wall with Brick Veneer**

Provide 12.7mm (1/2") type "x" gypsum board installed so that all edges are supported, taped and filled. Space between wood studs to be filled with preformed mineral fibre insulation with a mass of not less than 1.22 kg / sq m

**Rim Joist**

At the rim joist provide 15.9mm (5/8") type "x" gypsum board between the floor joist and rim joist or continuously along the rim joist when the floor joists are parallel to the rim joist.

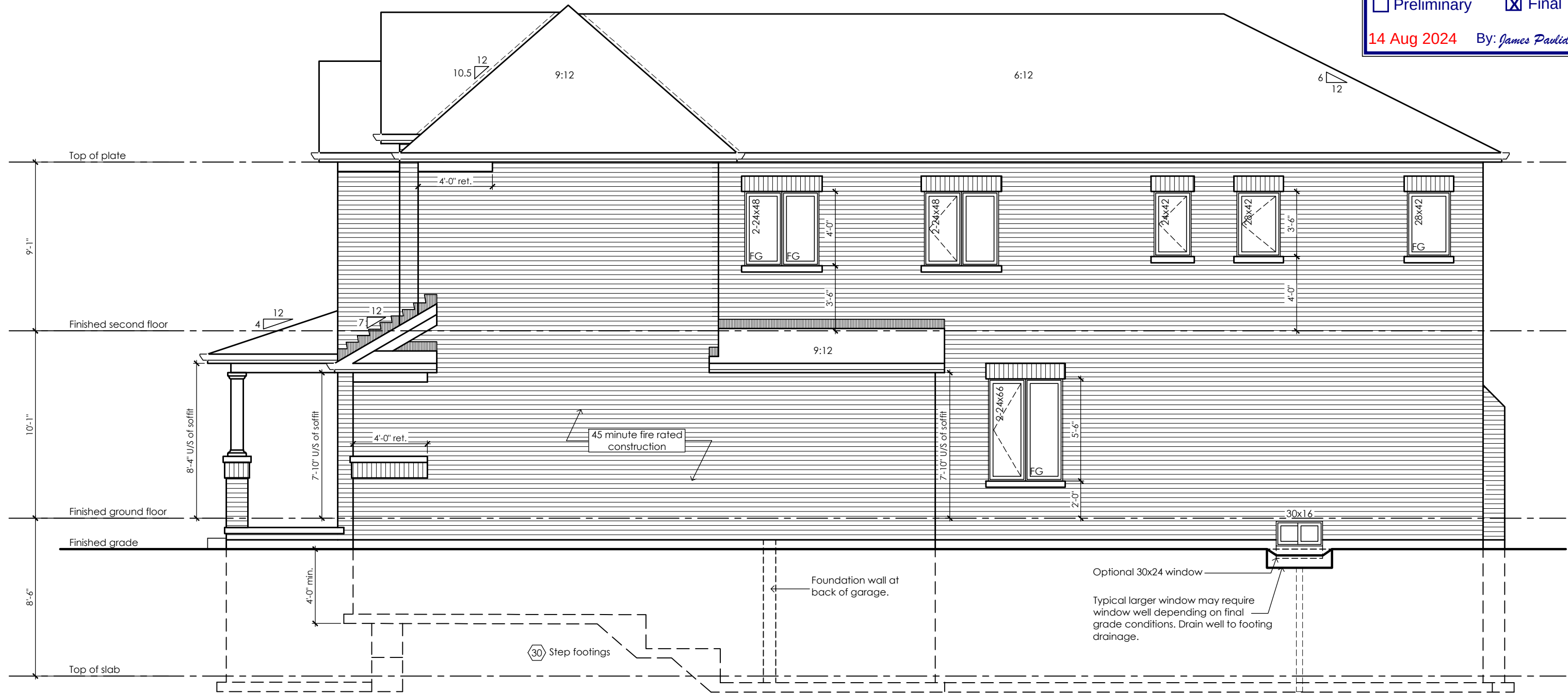
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**City of Richmond Hill  
Design Review**

☐ Preliminary ☒ Final

14 Aug 2024 By: James Paulidis



Right Side Elevation '1'

No unprotected openings permitted within 1.2 metres of the lot line as per 9.10.14 of the Ontario Building Code.

CITY OF RICHMOND HILL  
BUILDING DIVISION

08/21/2024

REVISED  
Per: KER

**Villa 6**

Compliance Package A1

The undersigned has reviewed and takes responsibility for this design, as well as having the qualifications and requirements mandated by the Ontario Building Code (O.B.C.) to be a Designer.

**Qualification Information**

Jamie Mack 35923  
Name BCIN Signature  
Registration Information Mackitecture 103532



**www.mackitecture.ca**

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Cobourg, ON K9A 5J3  
Tel: 416-735-8190 Email: info@mackitecture.ca

**Right Side Elevation  
Elevation 1**

|               |            |             |           |
|---------------|------------|-------------|-----------|
| scale         | by         | area        | sheet no. |
| 3/16" = 1'-0" | DO         | 3038 sq ft  | 6-1       |
| date          | type       | project no. |           |
| 2023-09-28    | 36" Single | 22-016      |           |

**Greenpark**

**www.greenparkgroup.ca**

project name  
**Trinigroup Developments Inc.**

Glazed Openings Calculation (OBC 9.10.15.4.)  
Limiting distance: 3'-11" (1.20m)  
Wall area: 1303.2 sq ft (121.07 sq m)  
Permitted glazed openings: 7.0%, 91.2 sq ft (8.47 sq m)  
Provided glazed openings: 4.5%, 59.2 sq ft (5.50 sq m)  
Summary  
Areas calculated with a frame offset of 2,25"  
2 - 15,00 x 16,00: 1,68 sq ft (0,16 sq m)  
1 - 24,00 x 42,00: 5,08 sq ft (0,47 sq m)  
1 - 28,00 x 42,00: 6,12 sq ft (0,57 sq m)  
1 - 28,00 x 42,00: 6,12 sq ft (0,57 sq m)  
2 - 24,00 x 48,00: 11,78 sq ft (1,09 sq m)  
2 - 24,00 x 48,00: 11,78 sq ft (1,09 sq m)  
2 - 24,00 x 66,00: 16,66 sq ft (1,55 sq m)

**45 Minute Fire Rated Wall Assemblies** (refer to MMAH SB-2 Section 2.3.)  
For exposing building face with a limiting distance less than 1.2m (3'-11")  
**Stud Wall with Brick Veneer**  
Provide 12.7mm (1/2") type 'x' gypsum board installed so that all edges are supported, taped and filled. Space between wood studs to be filled with preformed mineral fibre insulation with a mass of not less than 1.22 kg / sq m  
**Rim Joist**  
At the rim joist provide 15.9mm (5/8") type 'x' gypsum board between the floor joist and rim joist or continuously along the rim joist when the floor joists are parallel to the rim joist.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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**City of Richmond Hill**  
Design Review

☐ Preliminary ☒ Final

14 Aug 2024 By: James Paulidis



Right Side Elevation '2'

No unprotected openings permitted within 1.2 metres of the lot line as per 9.10.14 of the Ontario Building Code.

CITY OF RICHMOND HILL  
BUILDING DIVISION

08/21/2024

REVISED  
Per: KER

**Villa 6**

Compliance Package A1

Contractor shall check all dimensions and elevations before commencing with work and report any discrepancies to the Designer. Prints are not to be scaled.

The undersigned has reviewed and takes responsibility for this design, as well as having the qualifications and requirements mandated by the Ontario Building Code (O.B.C.) to be a Designer.  
**Qualification Information**  
Jamie Mack 35923  
Name BCIN  
Registration Information **Mackitecture** 103532

**www.mackitecture.ca**  
975A Elgin Street West, Suite 353  
Cobourg, ON K9A 5J3  
Tel: 416-735-8190 Email: info@mackitecture.ca

| Right Side Elevation<br>Elevation 2 |                    |                       |                  |
|-------------------------------------|--------------------|-----------------------|------------------|
| scale<br>3/16" = 1'-0"              | by<br>DO           | area<br>3047 sq ft    | sheet no.<br>6-2 |
| date<br>2023-09-28                  | type<br>36" Single | project no.<br>22-016 |                  |

**Greenpark**  
www.greenparkgroup.ca

project name  
**Trinigroup Developments Inc.**

Glazed Openings Calculation (OBC 9.10.15.4.)  
Limiting distance: 3'-11" (1.20m)  
Wall area: 1302.1 sq ft (120.97 sq m)  
Permitted glazed openings: 7.0%, 91.1 sq ft (8.47 sq m)  
Provided glazed openings: 4.5%, 59.2 sq ft (5.50 sq m)  
Summary  
Areas calculated with a frame offset of 2.25"  
2 - 15.00 x 16.00: 1.68 sq ft (0.16 sq m)  
1 - 24.00 x 42.00: 5.08 sq ft (0.47 sq m)  
1 - 28.00 x 42.00: 6.12 sq ft (0.57 sq m)  
1 - 28.00 x 42.00: 6.12 sq ft (0.57 sq m)  
2 - 24.00 x 48.00: 11.78 sq ft (1.09 sq m)  
2 - 24.00 x 48.00: 11.78 sq ft (1.09 sq m)  
2 - 24.00 x 66.00: 16.66 sq ft (1.55 sq m)

**45 Minute Fire Rated Wall Assemblies** (refer to MMAH SB-2 Section 2.3.)  
For exposing building face with a limiting distance less than 1.2m (3'-11")

**Stud Wall with Brick Veneer**  
Provide 12.7mm (1/2") type "x" gypsum board installed so that all edges are supported, taped and filled. Space between wood studs to be filled with preformed mineral fibre insulation with a mass of not less than 1.22 kg / sq m

**Rim Joist**  
At the rim joist provide 15.9mm (5/8") type "x" gypsum board between the floor joist and rim joist or continuously along the rim joist when the floor joists are parallel to the rim joist.

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**City of Richmond Hill**  
Design Review

☐ Preliminary ☒ Final

14 Aug 2024 By: James Paulidis



Right Side Elevation '3'

No unprotected openings permitted within 1.2 metres of the lot line as per 9.10.14 of the Ontario Building Code.

CITY OF RICHMOND HILL  
BUILDING DIVISION

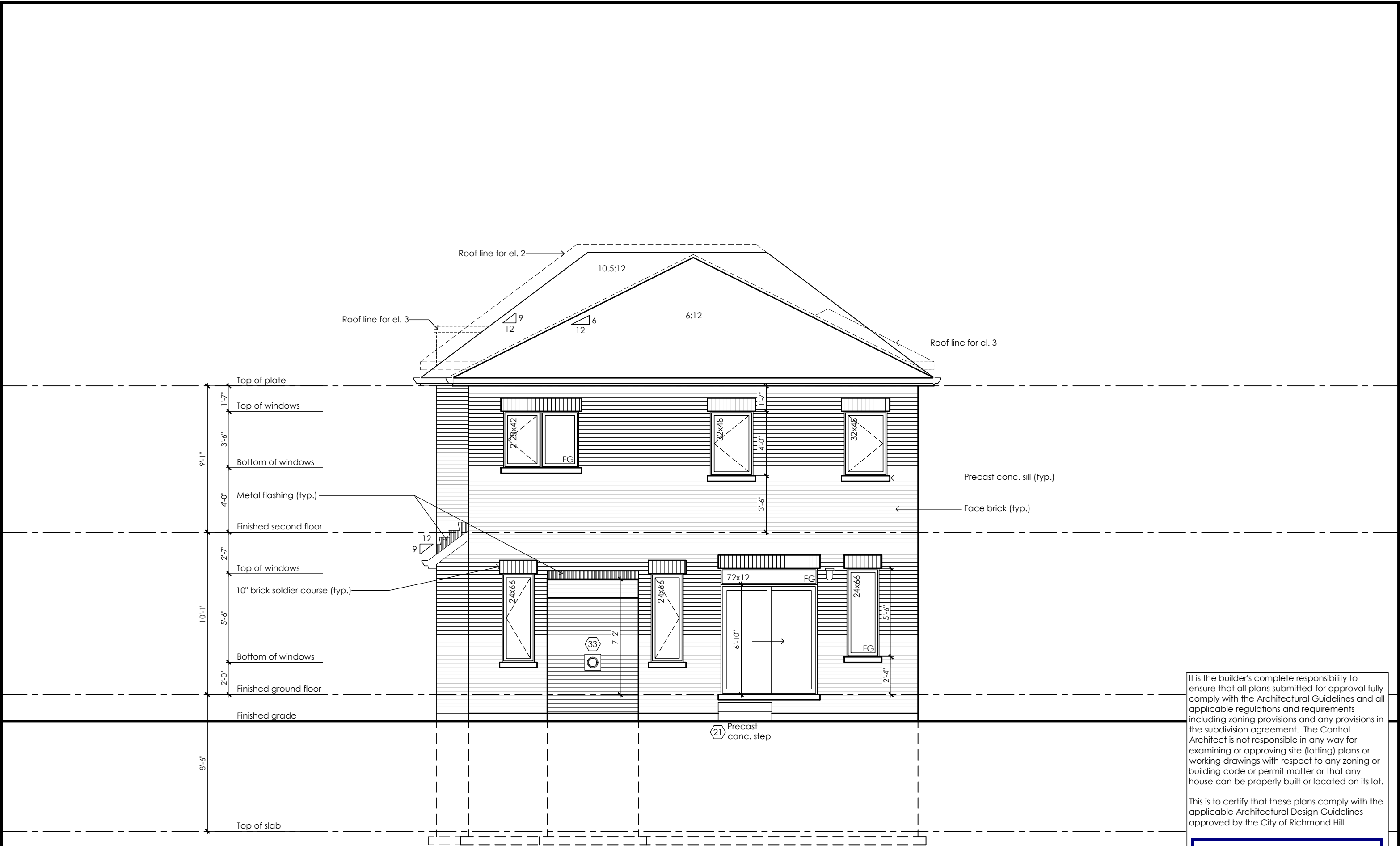
08/21/2024

REVISED  
Per: KER

**Villa 6**

Compliance Package A1

|                                                                                                                                                             |                                                                                                                                                                                                                                                                                                                        |  |                                                                                                                                                                                                                                                               |                                                                                       |                                              |                                                 |                                                                                                                                          |                                              |                                            |                                                     |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------|----------------------------------------------|-------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------|--------------------------------------------|-----------------------------------------------------|
|                                                                                                                                                             | The undersigned has reviewed and takes responsibility for this design, as well as having the qualifications and requirements mandated by the Ontario Building Code (O.B.C.) to be a Designer.                                                                                                                          |  | <div></div> <div><b>www.mackitecture.ca</b></div> <div>975A Elgin Street West, Suite 353<br/>Cobourg, ON K9A 5J3<br/>Tel: 416-735-8190 Email: info@mackitecture.ca</div> | <div>title</div> <div><b>Right Side Elevation</b></div> <div><b>Elevation 3</b></div> |                                              |                                                 | <div></div> <div><b>www.greenparkgroup.ca</b></div> |                                              |                                            |                                                     |
| Contractor shall check all dimensions and elevations before commencing with work and report any discrepancies to the Designer. Prints are not to be scaled. | <div><b>Qualification Information</b></div> <div><div>Jamie Mack35923</div><div>NameBCIN</div><div></div><div>Signature</div></div> <div><div>Registration Information</div><div><b>Mackitecture</b></div><div>103532</div></div> |  |                                                                                                                                                                                                                                                               | <div>scale</div> <div><b>3/16" = 1'-0"</b></div>                                      |                                              |                                                 | <div>by</div> <div><b>DO</b></div>                                                                                                       | <div>area</div> <div><b>3047 sq ft</b></div> | <div>sheet no.</div> <div><b>6-3</b></div> | project name<br><b>Trinigroup Developments Inc.</b> |
|                                                                                                                                                             |                                                                                                                                                                                                                                                                                                                        |  |                                                                                                                                                                                                                                                               | <div>date</div> <div><b>2023-09-28</b></div>                                          | <div>type</div> <div><b>36" Single</b></div> | <div>project no.</div> <div><b>22-016</b></div> |                                                                                                                                          |                                              |                                            |                                                     |



Rear Elevation '1', '2' & '3'

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City of Richmond Hill  
Design Review

☐ Preliminary ☒ Final

14 Aug 2024 By: James Paulidis

CITY OF RICHMOND HILL  
BUILDING DIVISION

08/21/2024

REVISED

Per: KER

Villa 6

Compliance Package A1

Greenpark

www.greenparkgroup.ca

project name

Trinigroup Developments Inc.

The undersigned has reviewed and takes responsibility for this design, as well as having the qualifications and requirements mandated by the Ontario Building Code (O.B.C.) to be a Designer.

Qualification Information

Jamie Mack  
Name

35923  
BCIN

Signature

Registration Information

Mackitecture

103532



www.mackitecture.ca

975A Elgin Street West, Suite 353  
Cobourg, ON K9A 5J3

Tel: 416-735-8190 Email: info@mackitecture.ca

title

Rear Elevation  
Elevation 1

scale

3/16" = 1'-0"

by

DO

area

3038 sq ft

sheet no.

7-1

date

2023-09-28

type

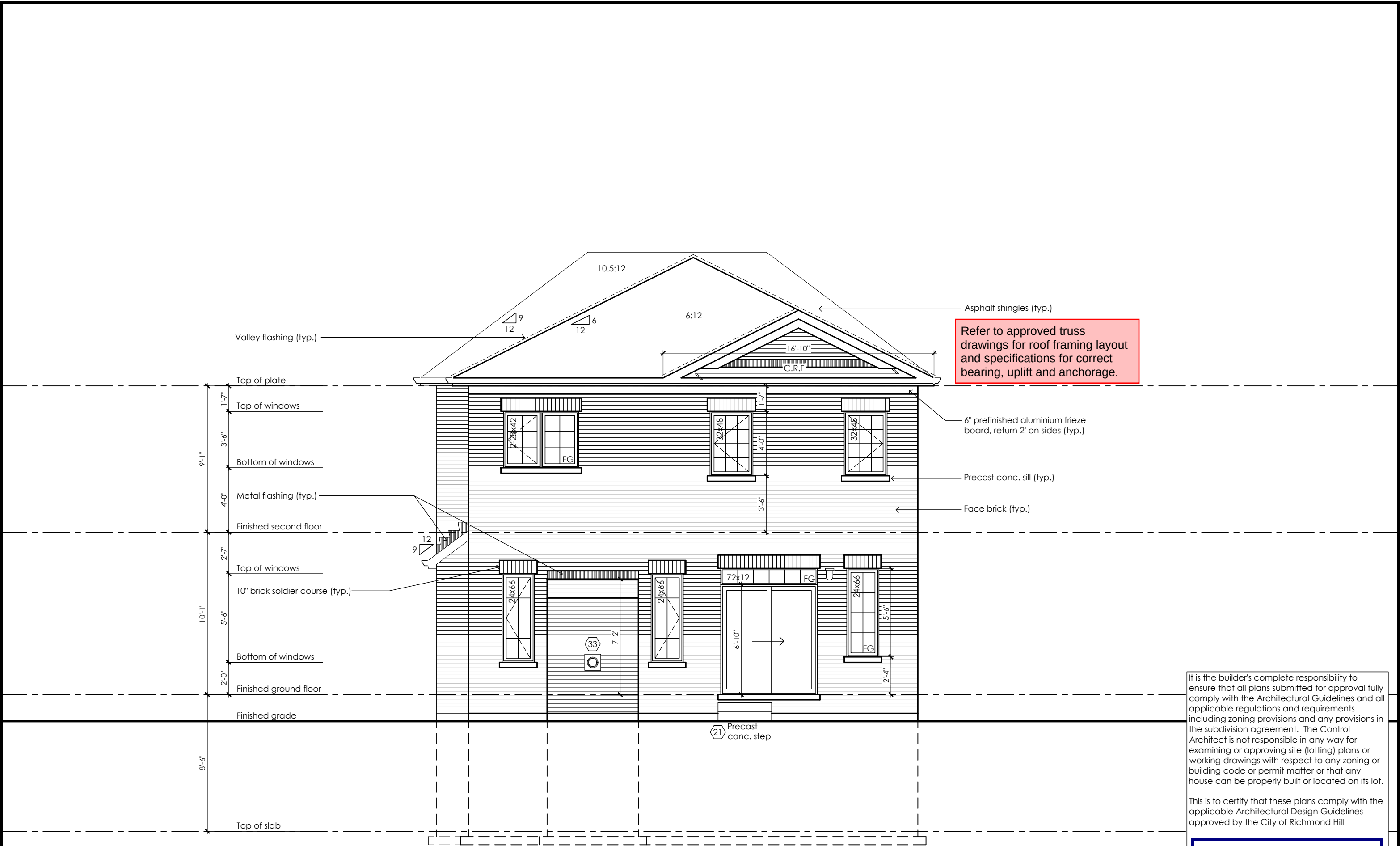
36" Single

project no.

22-016

Contractor shall check all dimensions and elevations before commencing with work and report any discrepancies to the Designer. Prints are not to be scaled.





Rear Upgrade Elevation '1'

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City of Richmond Hill  
Design Review

☐ Preliminary ☒ Final

14 Aug 2024 By: James Paulidis

CITY OF RICHMOND HILL  
BUILDING DIVISION

08/21/2024

REVISED

Per: KER

Villa 6

Compliance Package A1

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**Qualification Information**

Jamie Mack 35923  
Name BCIN Signature

Registration Information **Mackitecture** 103532

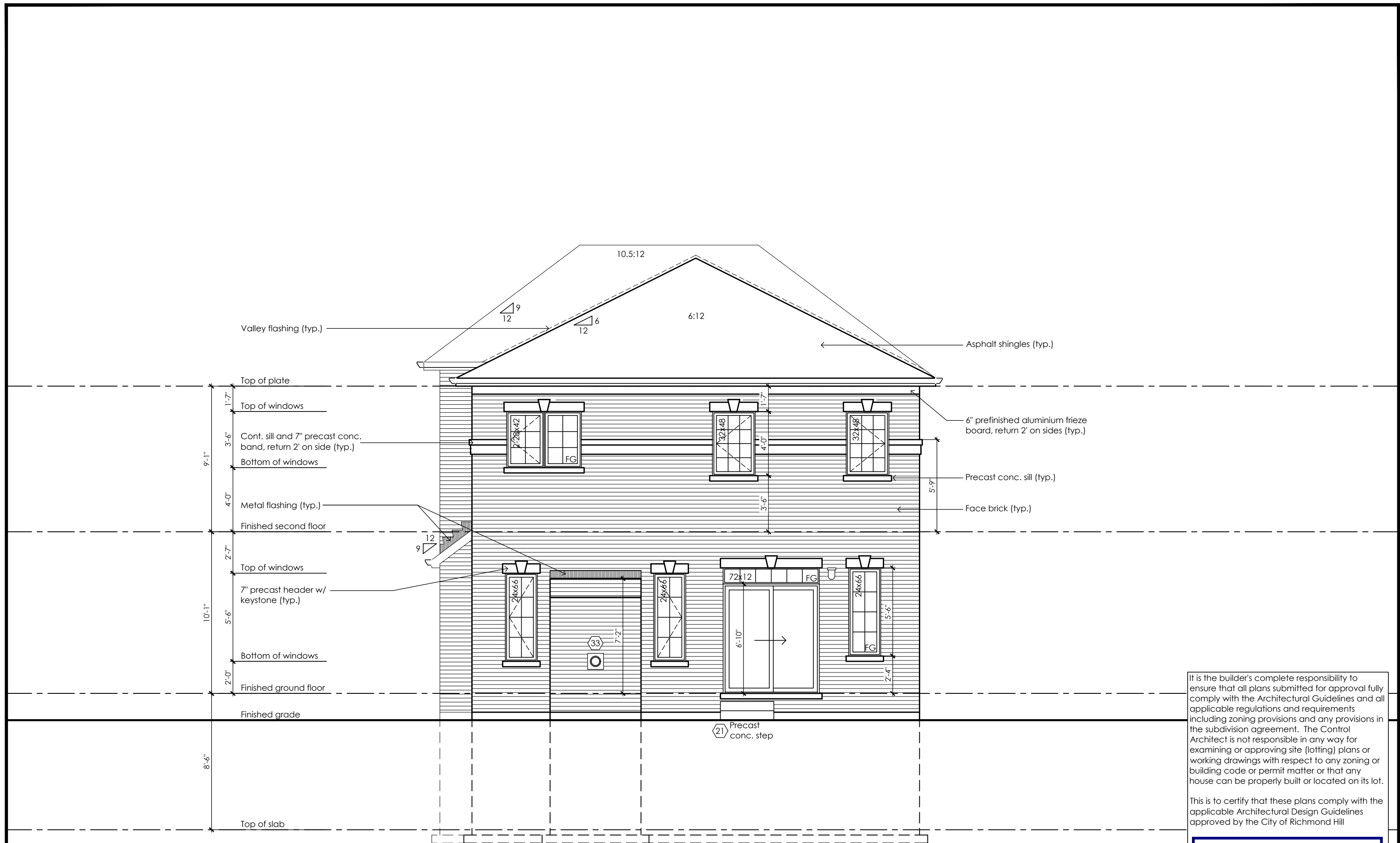
**Mackitecture**  
www.mackitecture.ca  
975A Elgin Street West, Suite 353  
Cobourg, ON K9A 5J3  
Tel: 416-735-8190 Email: info@mackitecture.ca

**Rear Upgrade Elevation  
Elevation 1**

|                        |                    |                       |                   |
|------------------------|--------------------|-----------------------|-------------------|
| scale<br>3/16" = 1'-0" | by<br>DO           | area<br>3038 sq ft    | sheet no.<br>7-1A |
| date<br>2023-09-28     | type<br>36" Single | project no.<br>22-016 |                   |

**Greenpark**  
www.greenparkgroup.ca

project name  
**Trinigroup Developments Inc.**



Rear Upgrade Elevation '2'

CITY OF RICHMOND HILL  
BUILDING DIVISION  
08/21/2024  
REVISED  
Per: KER

City of Richmond Hill  
Design Review

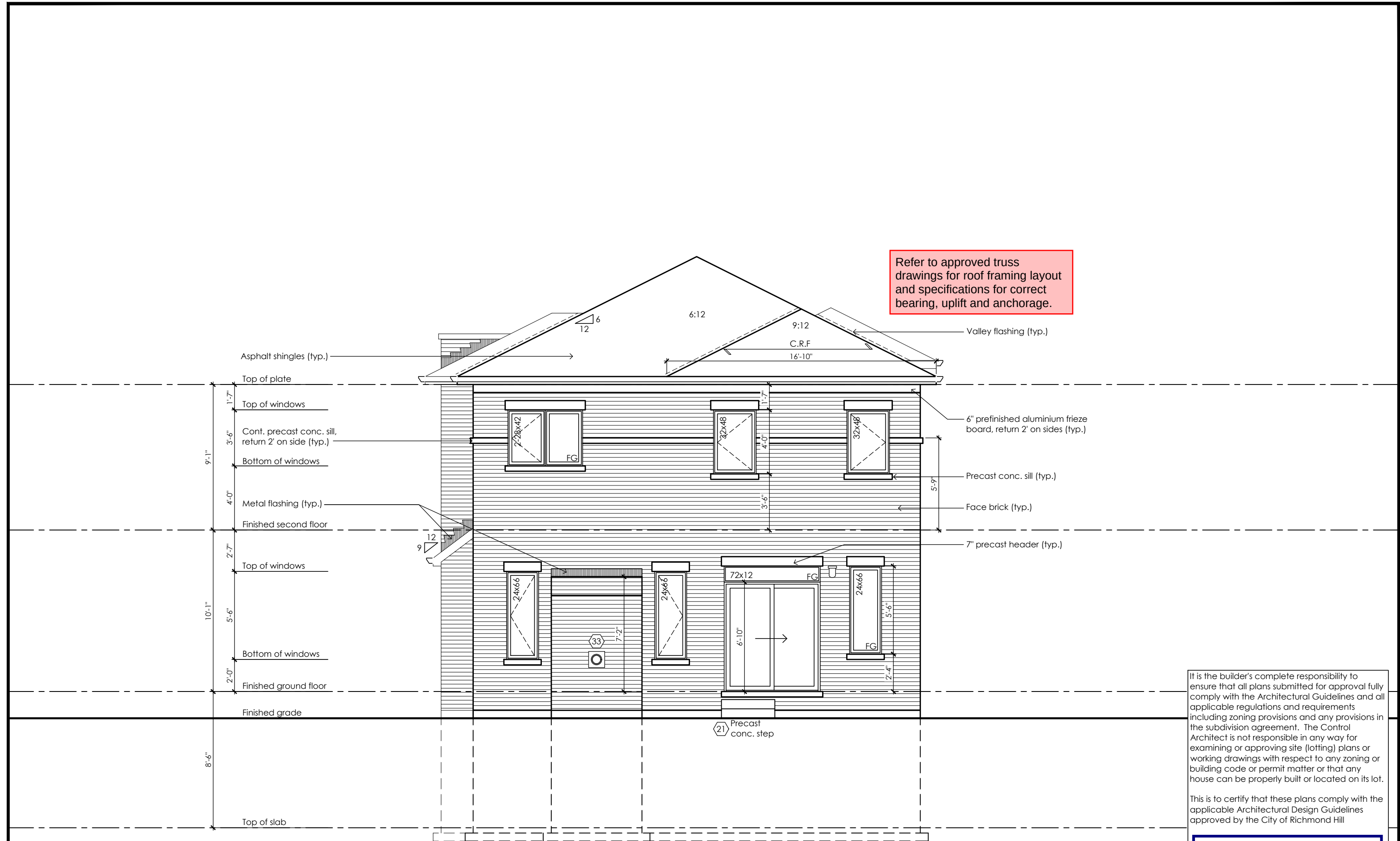
☐ Preliminary ☒ Final

14 Aug 2024 By: *James Paulidis*

Villa 6

Compliance Package A1

|                                                                                                                                                             |                                                                                                                                                                                                                                                                                                                                                                             |                                                                                                                                                                                                                                                     |                                                                                                                                                                                                                                                                                                                                                                                                             |       |  |  |  |                                       |  |  |  |       |    |      |           |               |    |            |      |      |      |             |            |            |        |  |                                                                                                                                                                                                  |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------|--|--|--|---------------------------------------|--|--|--|-------|----|------|-----------|---------------|----|------------|------|------|------|-------------|------------|------------|--------|--|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
|                                                                                                                                                             | <p>The undersigned has reviewed and takes responsibility for this design, as well as having the qualifications and requirements mandated by the Ontario Building Code (O.B.C.) to be a Designer.</p> <p><b>Qualification Information</b></p> <div><div>Jamie Mack35923</div><div>NameBCIN</div><div>Signature</div></div> <p>Registration InformationMackitecture103532</p> | <div><p><b>www.mackitecture.ca</b></p><p>975A Elgin Street West, Suite 353<br/>Cobourg, ON K9A 5J3<br/>Tel: 416-735-8190 Email: info@mackitecture.ca</p></div> | <table><tr><td colspan="4">title</td></tr><tr><td colspan="4">Rear Upgrade Elevation<br/>Elevation 2</td></tr><tr><td>scale</td><td>by</td><td>area</td><td>sheet no.</td></tr><tr><td>3/16" = 1'-0"</td><td>DO</td><td>3047 sq ft</td><td rowspan="2">7-2A</td></tr><tr><td>date</td><td>type</td><td>project no.</td></tr><tr><td>2023-09-28</td><td>36" Single</td><td>22-016</td><td></td></tr></table> | title |  |  |  | Rear Upgrade Elevation<br>Elevation 2 |  |  |  | scale | by | area | sheet no. | 3/16" = 1'-0" | DO | 3047 sq ft | 7-2A | date | type | project no. | 2023-09-28 | 36" Single | 22-016 |  | <div><p><b>www.greenparkgroup.ca</b></p><p>project name</p><p><b>Trinigroup Developments Inc.</b></p></div> |
| title                                                                                                                                                       |                                                                                                                                                                                                                                                                                                                                                                             |                                                                                                                                                                                                                                                     |                                                                                                                                                                                                                                                                                                                                                                                                             |       |  |  |  |                                       |  |  |  |       |    |      |           |               |    |            |      |      |      |             |            |            |        |  |                                                                                                                                                                                                  |
| Rear Upgrade Elevation<br>Elevation 2                                                                                                                       |                                                                                                                                                                                                                                                                                                                                                                             |                                                                                                                                                                                                                                                     |                                                                                                                                                                                                                                                                                                                                                                                                             |       |  |  |  |                                       |  |  |  |       |    |      |           |               |    |            |      |      |      |             |            |            |        |  |                                                                                                                                                                                                  |
| scale                                                                                                                                                       | by                                                                                                                                                                                                                                                                                                                                                                          | area                                                                                                                                                                                                                                                | sheet no.                                                                                                                                                                                                                                                                                                                                                                                                   |       |  |  |  |                                       |  |  |  |       |    |      |           |               |    |            |      |      |      |             |            |            |        |  |                                                                                                                                                                                                  |
| 3/16" = 1'-0"                                                                                                                                               | DO                                                                                                                                                                                                                                                                                                                                                                          | 3047 sq ft                                                                                                                                                                                                                                          | 7-2A                                                                                                                                                                                                                                                                                                                                                                                                        |       |  |  |  |                                       |  |  |  |       |    |      |           |               |    |            |      |      |      |             |            |            |        |  |                                                                                                                                                                                                  |
| date                                                                                                                                                        | type                                                                                                                                                                                                                                                                                                                                                                        | project no.                                                                                                                                                                                                                                         |                                                                                                                                                                                                                                                                                                                                                                                                             |       |  |  |  |                                       |  |  |  |       |    |      |           |               |    |            |      |      |      |             |            |            |        |  |                                                                                                                                                                                                  |
| 2023-09-28                                                                                                                                                  | 36" Single                                                                                                                                                                                                                                                                                                                                                                  | 22-016                                                                                                                                                                                                                                              |                                                                                                                                                                                                                                                                                                                                                                                                             |       |  |  |  |                                       |  |  |  |       |    |      |           |               |    |            |      |      |      |             |            |            |        |  |                                                                                                                                                                                                  |
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Rear Upgrade Elevation '3'

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City of Richmond Hill  
Design Review

☐ Preliminary ☒ Final

14 Aug 2024 By: James Paulidis

CITY OF RICHMOND HILL  
BUILDING DIVISION

08/21/2024

REVISED  
Per: KER

Villa 6

Compliance Package A1

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**Qualification Information**

Jamie Mack 35923  
Name BCIN Signature

Registration Information **Mackitecture** 103532

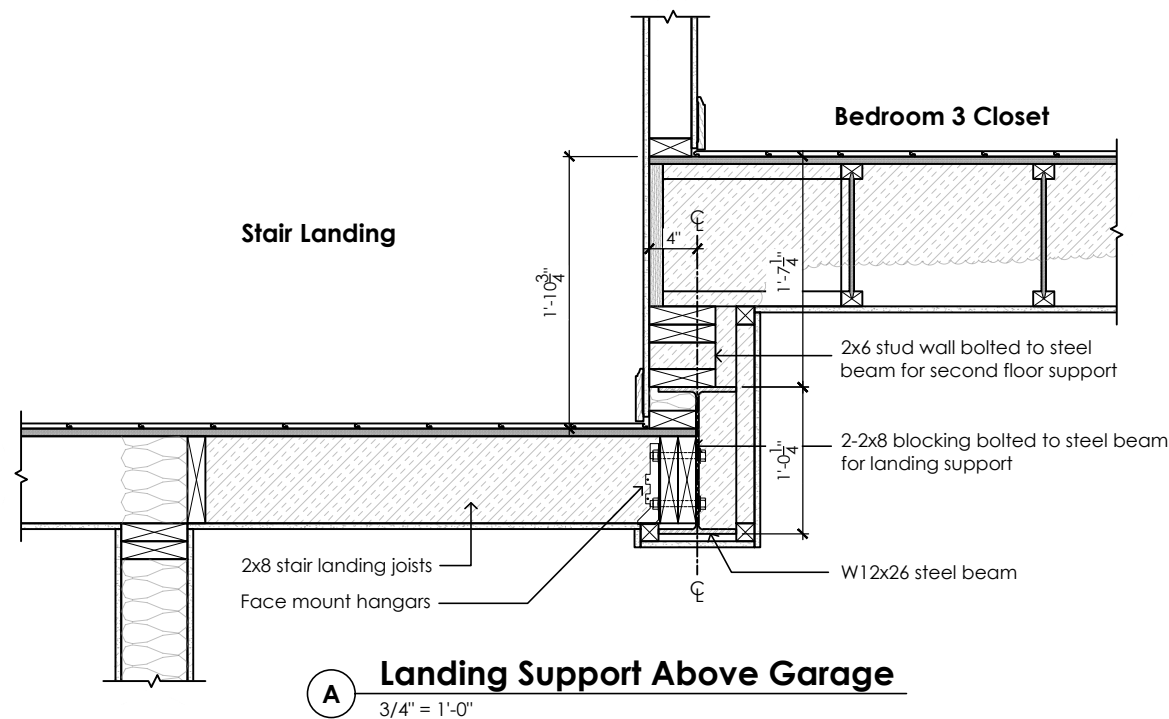
**www.mackitecture.ca**  
975A Elgin Street West, Suite 353  
Cobourg, ON K9A 5J3  
Tel: 416-735-8190 Email: info@mackitecture.ca

**Rear Upgrade Elevation  
Elevation 3**

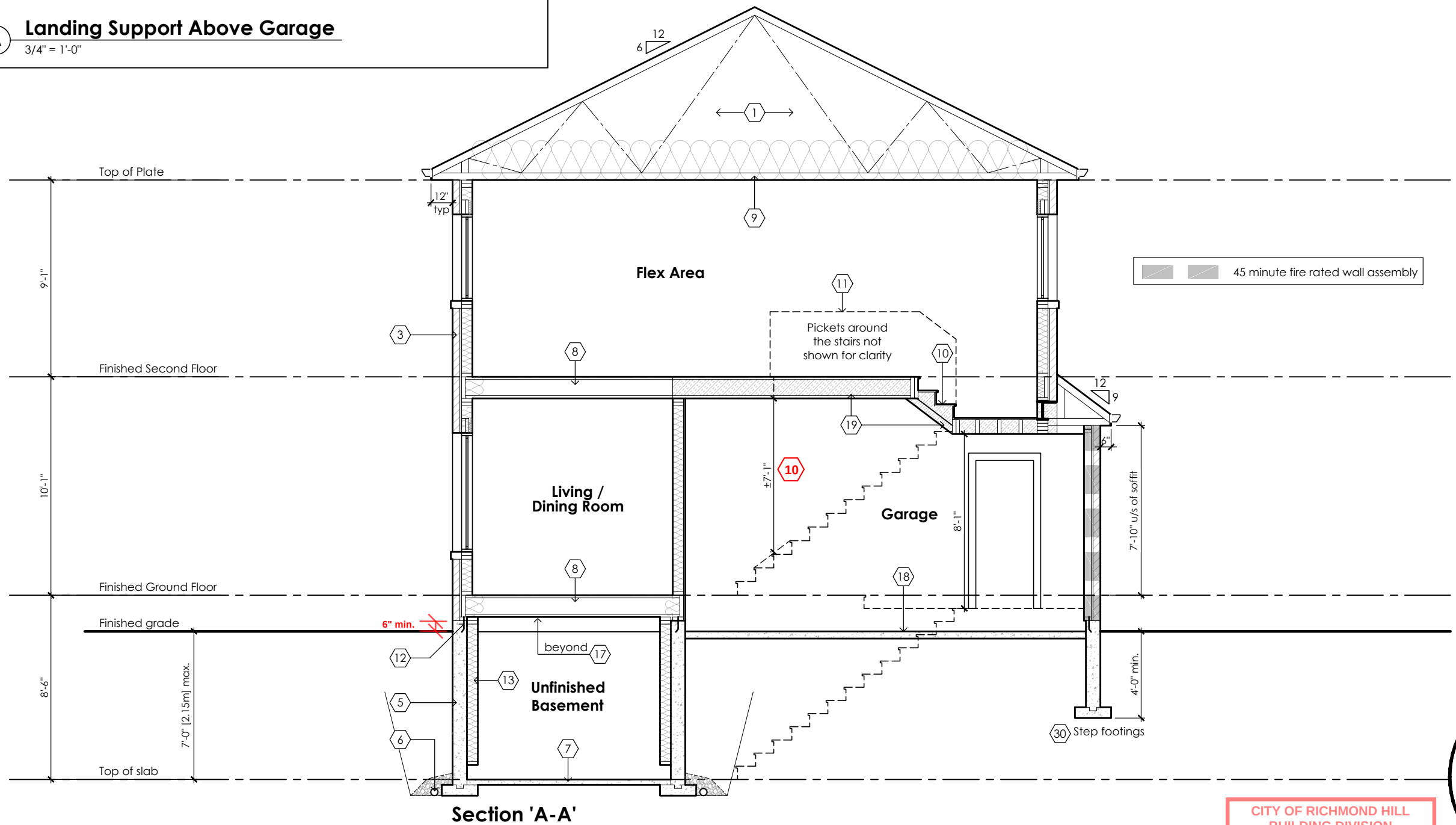
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|-------------------------------|---------------------------|------------------------------|--------------------------|
| scale<br><b>3/16" = 1'-0"</b> | by<br><b>DO</b>           | area<br><b>3047 sq ft</b>    | sheet no.<br><b>7-3A</b> |
| date<br><b>2023-09-28</b>     | type<br><b>36" Single</b> | project no.<br><b>22-016</b> |                          |

**Greenpark**  
www.greenparkgroup.ca

project name  
**Trinigroup Developments Inc.**



**A** Landing Support Above Garage  
3/4" = 1'-0"



**Section 'A-A'**

45 minute fire rated wall assembly



CITY OF RICHMOND HILL  
BUILDING DIVISION  
08/21/2024  
REVISED  
Per: KER

FOR STRUCTURE ONLY

**Villa 6**

Compliance Package A1

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Registration Information Mackitecture 103532



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**Building Section  
Elevations 1, 2 and 3**

scale 3/16" = 1'-0"  
by DO  
date 2023-09-28 type 36" Single  
area - project no. 22-016

**8-1**



www.greenparkgroup.ca

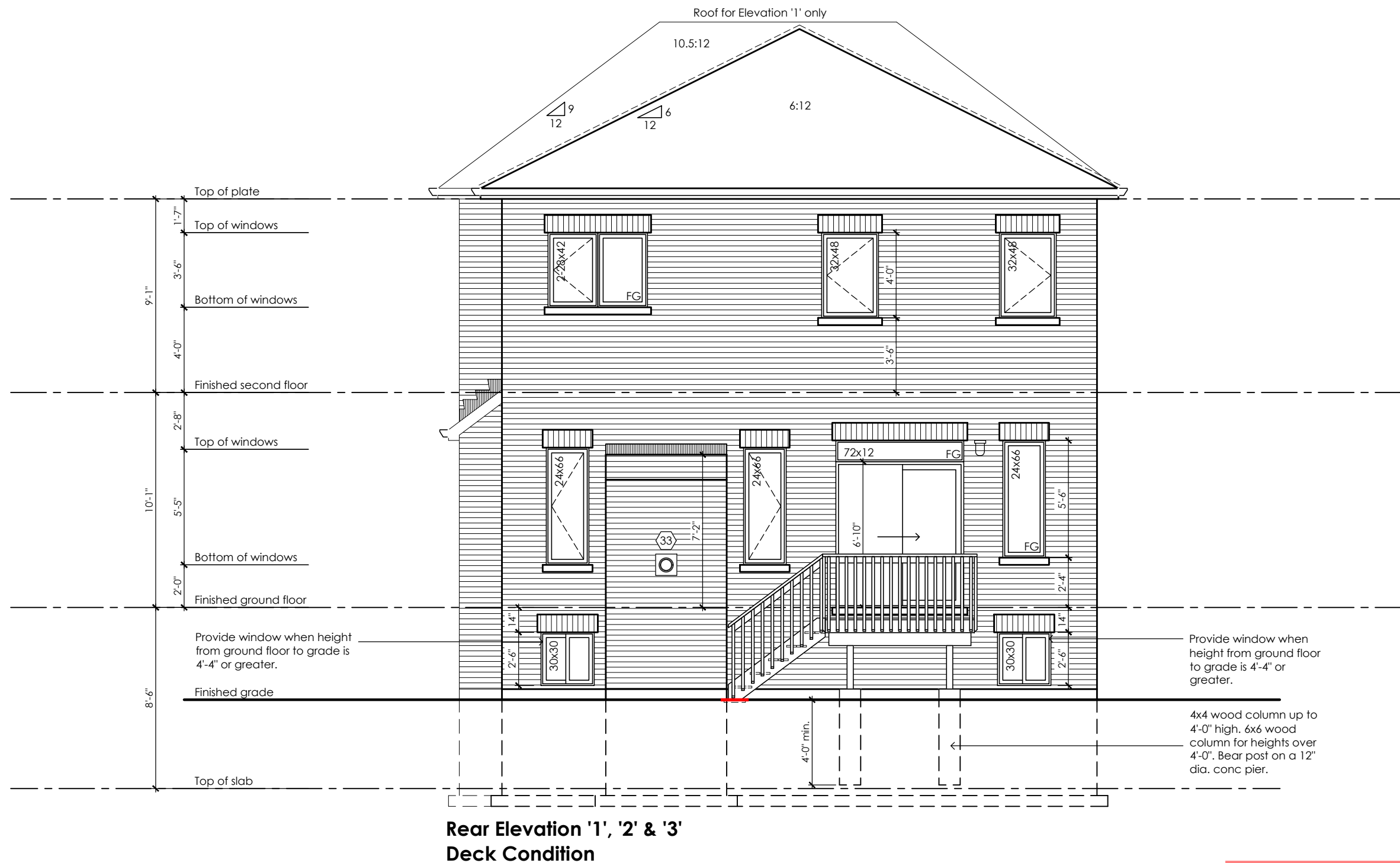
Trinigroup Developments Inc.

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SB-12 Calculations  
Villa 6 - Deck Condition

| Elevation    | Wall Area                        | Window Area                    | Percentage   |
|--------------|----------------------------------|--------------------------------|--------------|
| Front        | 623.3 sq ft (57.9 sq m)          | 72.8 sq ft (6.8 sq m)          | 11.67%       |
| Left side    | 1284.7 sq ft (119.4 sq m)        | 63.4 sq ft (5.9 sq m)          | 4.94%        |
| Right side   | 1285.3 sq ft (119.4 sq m)        | 58.8 sq ft (5.5 sq m)          | 4.58%        |
| Rear         | 703.0 sq ft (65.3 sq m)          | 110.7 sq ft (10.3 sq m)        | 15.75%       |
| <b>Total</b> | <b>3896.3 sq ft (362.0 sq m)</b> | <b>305.8 sq ft (28.4 sq m)</b> | <b>7.85%</b> |



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Villa 6

Compliance Package A1

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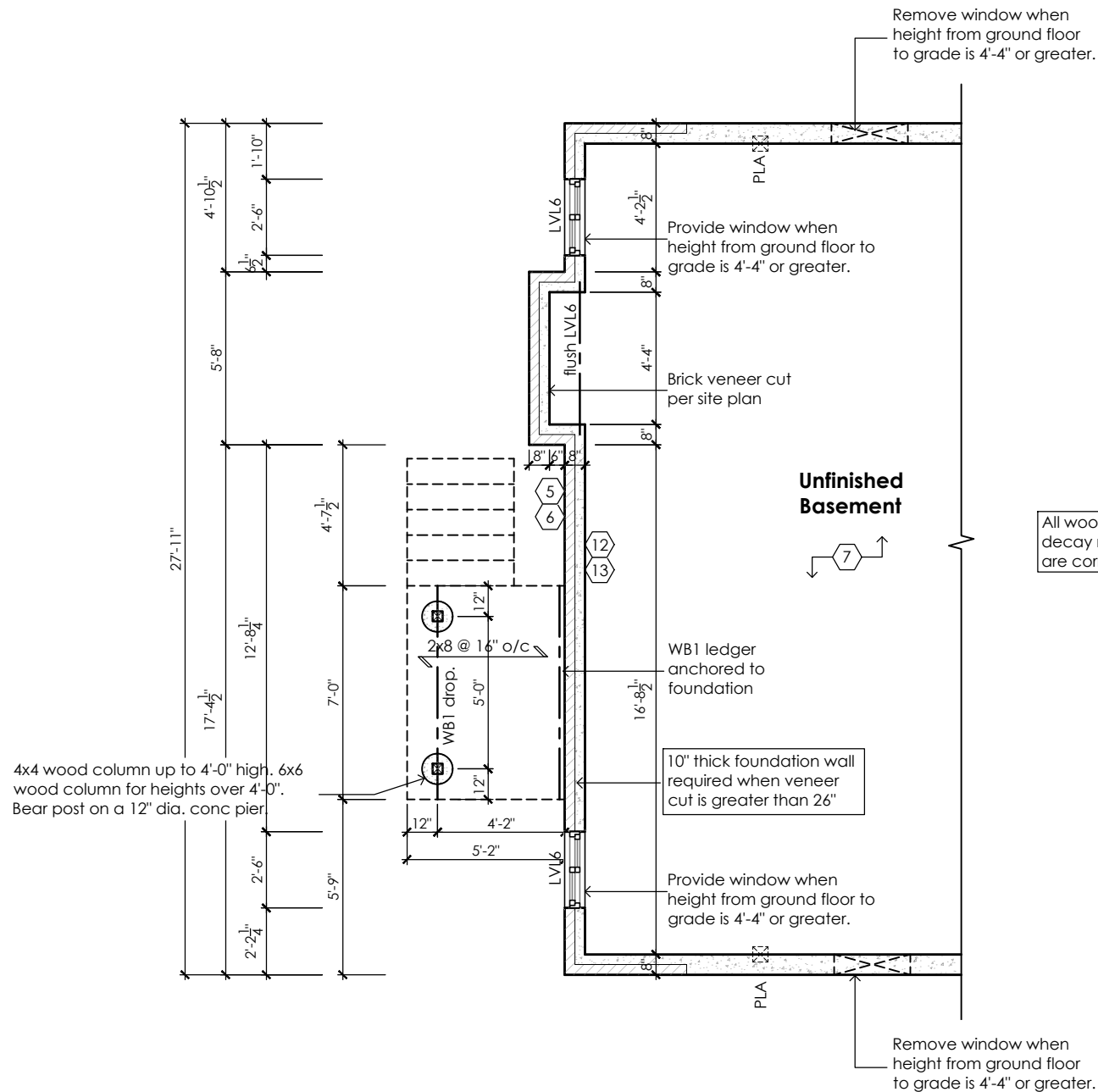
Deck Elevation  
Elevations 1, 2 and 3

|               |            |             |           |
|---------------|------------|-------------|-----------|
| scale         | by         | area        | sheet no. |
| 3/16" = 1'-0" | DO         | -           | 9-1       |
| date          | type       | project no. |           |
| 2023-09-28    | 36" Single | 22-016      |           |



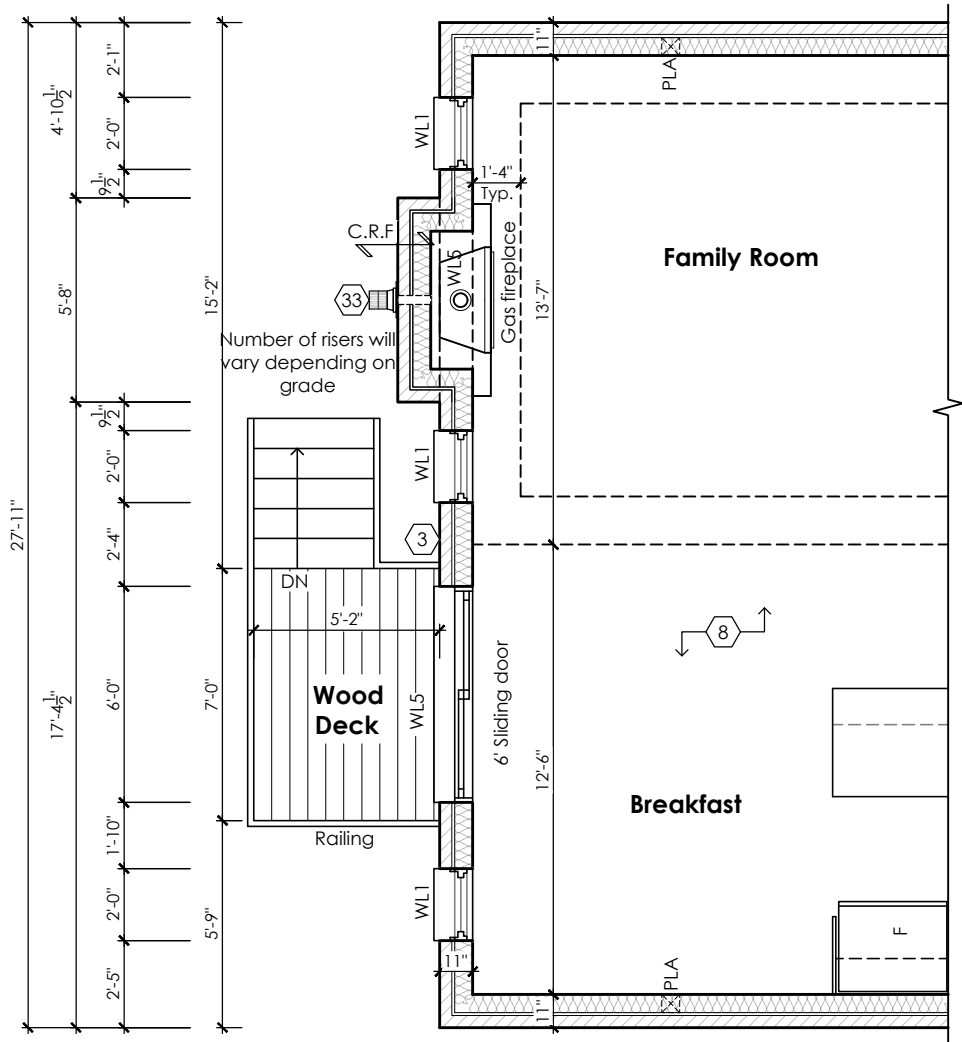
www.greenparkgroup.ca

project name  
Trinigroup Developments Inc.



Partial Basement Plan For Deck Condition  
Elevation '1', '2' and '3'

Deck and guard construction shall  
comply with attached details.



Partial Ground Floor Plan For Deck Condition  
Elevation 1, 2 and 3

CITY OF RICHMOND HILL  
BUILDING DIVISION  
08/21/2024  
REVISED  
Per: KER



Villa 6  
Compliance Package A1

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Deck Plans  
Elevations 1, 2 and 3

|               |            |             |           |
|---------------|------------|-------------|-----------|
| scale         | by         | area        | sheet no. |
| 3/16" = 1'-0" | DO         | -           | 9-2       |
| date          | type       | project no. |           |
| 2023-09-28    | 36" Single | 22-016      |           |



www.greenparkgroup.ca

project name  
Trinigroup Developments Inc.

SB-12 Calculations  
Villa 6 - Walkout Condition

| Elevation  | Wall Area                 | Window Area             | Percentage |
|------------|---------------------------|-------------------------|------------|
| Front      | 623.3 sq ft (57.9 sq m)   | 72.8 sq ft (6.8 sq m)   | 11.67%     |
| Left side  | 1284.7 sq ft (119.4 sq m) | 63.4 sq ft (5.9 sq m)   | 4.94%      |
| Right side | 1285.3 sq ft (119.4 sq m) | 58.8 sq ft (5.5 sq m)   | 4.58%      |
| Rear       | 842.7 sq ft (78.3 sq m)   | 145.5 sq ft (13.5 sq m) | 17.26%     |
| Total      | 4035.9 sq ft (374.9 sq m) | 340.5 sq ft (31.6 sq m) | 8.44%      |



Rear Elevation '1', '2' and '3'  
Walkout Condition

CITY OF RICHMOND HILL  
BUILDING DIVISION  
08/21/2024  
REVISED  
Per: KER

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City of Richmond Hill  
Design Review

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14 Aug 2024 By: James Paulidis

Villa 6

Compliance Package A1

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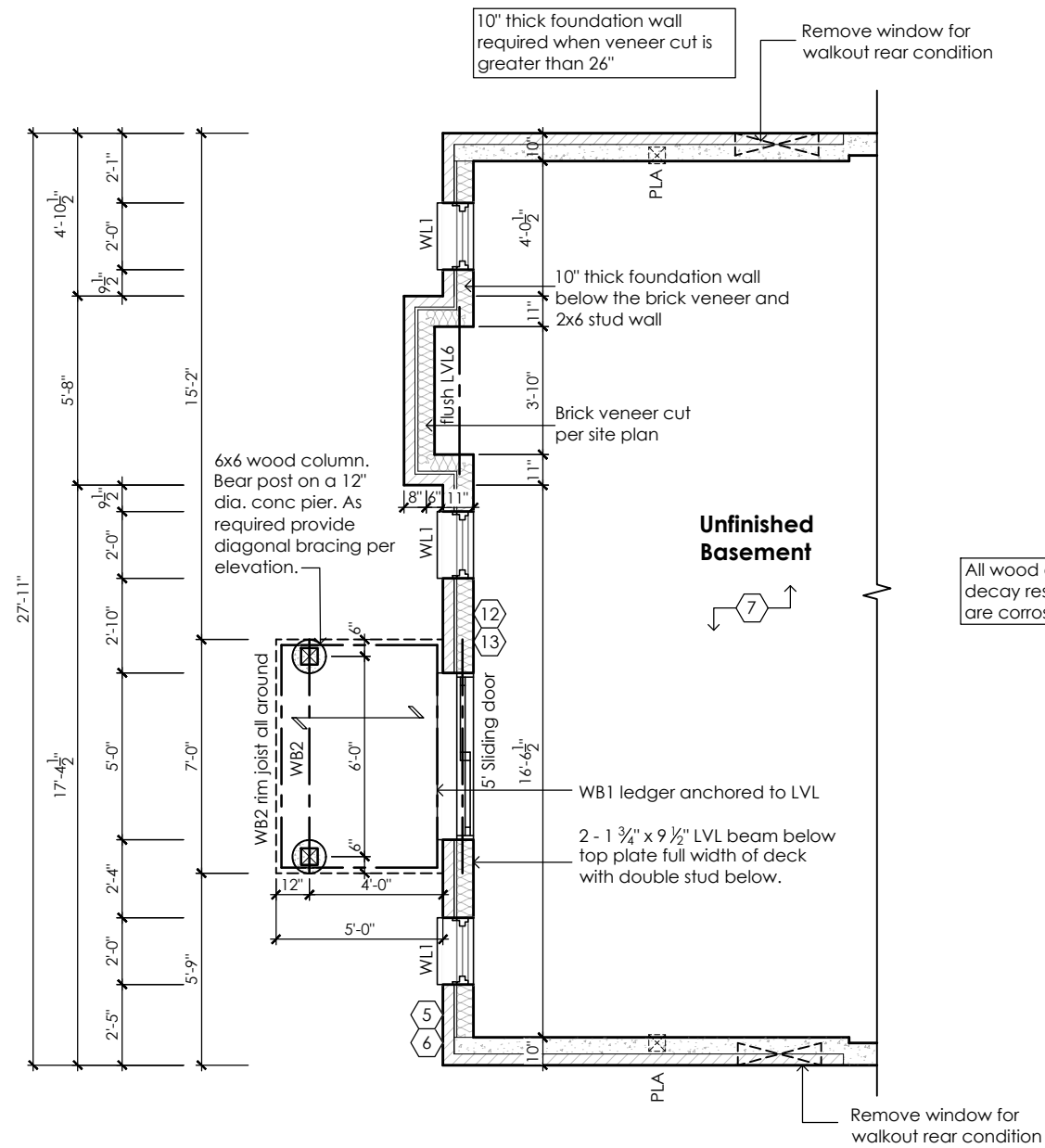
Walkout Basement Elevation  
Elevations 1, 2 and 3

scale 3/16" = 1'-0"  
by DO  
date 2023-09-28  
type 36" Single  
area -  
project no. 22-016  
sheet no. 10-1



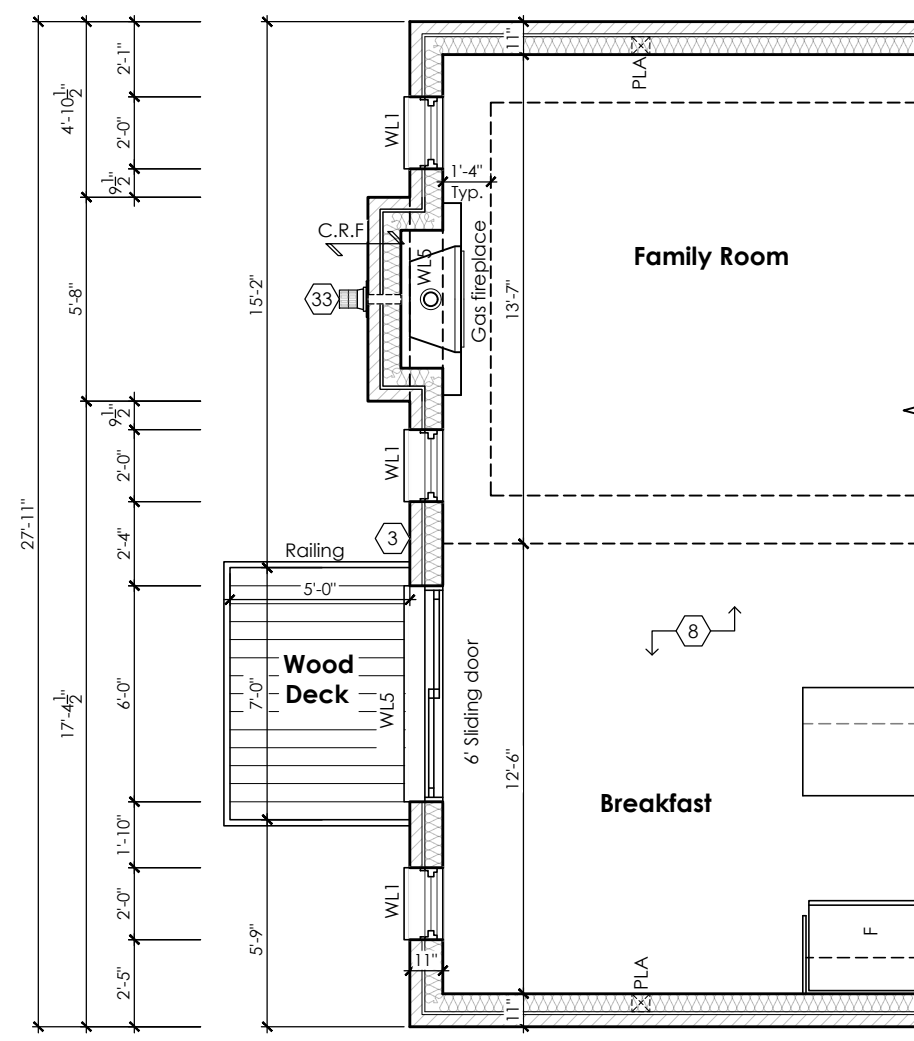
www.greenparkgroup.ca

project name  
Trinigroup Developments Inc.



Partial Basement Plan For Deck Condition  
Elevation '1', '2' and '3'

All wood deck lumber is  
decay resistant and fasteners  
are corrosion resistant



Partial Ground Floor Plan For Deck Condition  
Elevation 1, 2 and 3

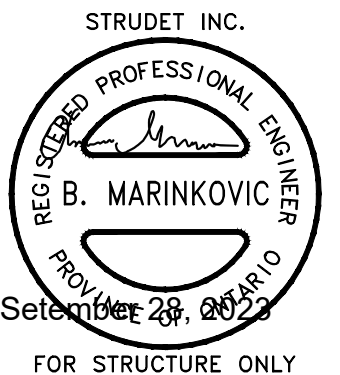
Deck and guard construction shall  
comply with attached details.

CITY OF RICHMOND HILL  
BUILDING DIVISION

08/21/2024

REVISED

Per: KER

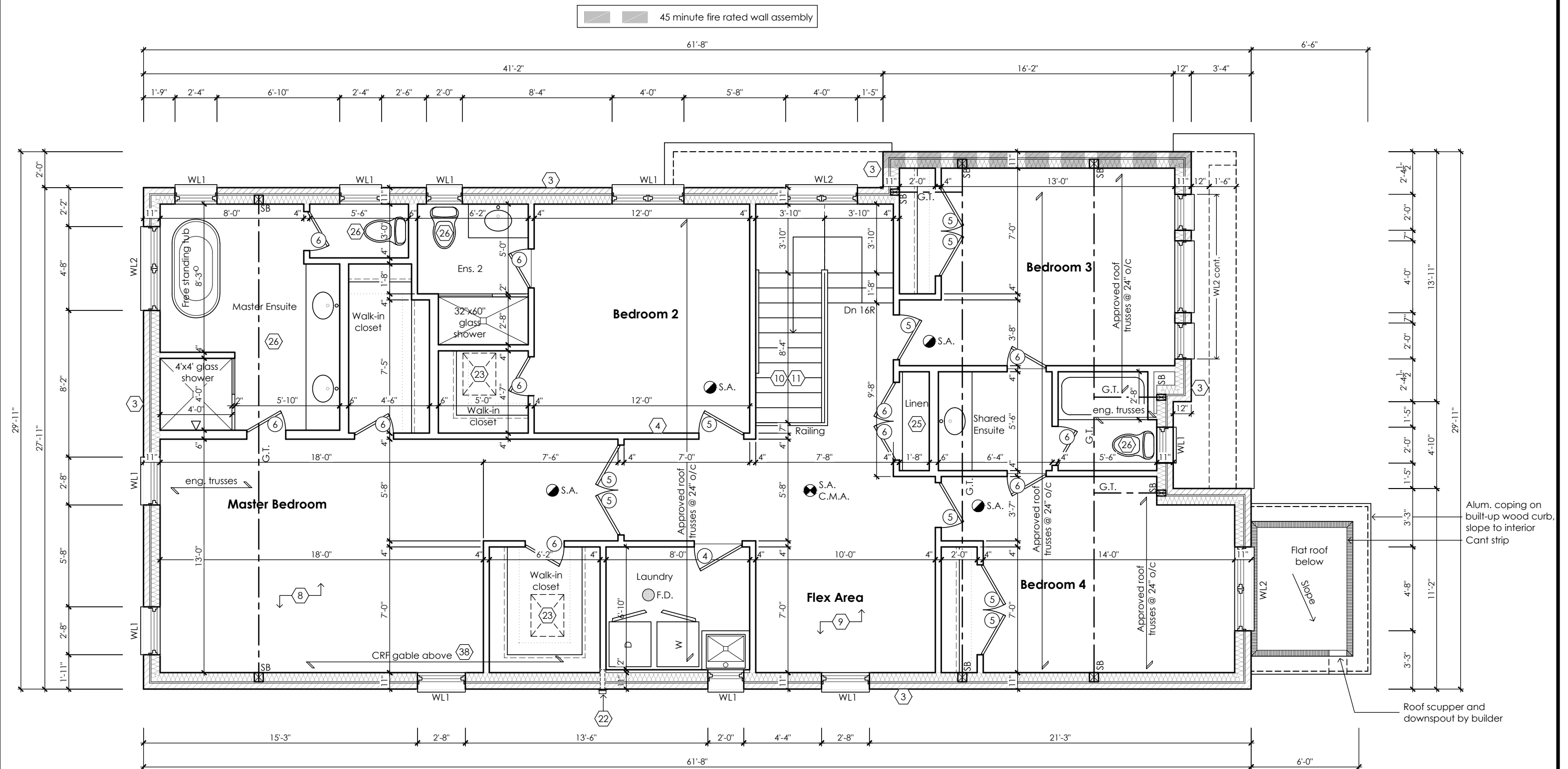


Villa 6

Compliance Package A1

|                                                                                                                                                                    |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |                                                                                       |                          |                                                                                       |      |      |           |                                                                                                                                                                                                                                                     |                                                                                                                                                                                                                                                                                                                                                                                      |                                                                  |  |  |  |                               |                 |                  |                          |                           |                           |                              |                                                                                                                                                                                                |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------|--------------------------|---------------------------------------------------------------------------------------|------|------|-----------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------|--|--|--|-------------------------------|-----------------|------------------|--------------------------|---------------------------|---------------------------|------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
|                                                                                                                                                                    | <p>The undersigned has reviewed and takes responsibility for this design, as well as having the qualifications and requirements mandated by the Ontario Building Code (O.B.C.) to be a Designer.</p> <p><b>Qualification Information</b></p> <table><tr><td>Jamie Mack</td><td>35923</td><td></td></tr><tr><td>Name</td><td>BCIN</td><td>Signature</td></tr></table> <p>Registration Information      <b>Mackitecture</b>      103532</p> | Jamie Mack                                                                            | 35923                    |  | Name | BCIN | Signature | <div><p><b>www.mackitecture.ca</b></p><p>975A Elgin Street West, Suite 353<br/>Cobourg, ON K9A 5J3<br/>Tel: 416-735-8190 Email: info@mackitecture.ca</p></div> | <table><tr><td colspan="4">title<br/><b>Walkout Basement Plans<br/>Elevations 1, 2 and 3</b></td></tr><tr><td>scale<br/><b>3/16" = 1'-0"</b></td><td>by<br/><b>DO</b></td><td>area<br/><b>-</b></td><td rowspan="2">sheet no.<br/><b>10-2</b></td></tr><tr><td>date<br/><b>2023-09-28</b></td><td>type<br/><b>36" Single</b></td><td>project no.<br/><b>22-016</b></td></tr></table> | title<br><b>Walkout Basement Plans<br/>Elevations 1, 2 and 3</b> |  |  |  | scale<br><b>3/16" = 1'-0"</b> | by<br><b>DO</b> | area<br><b>-</b> | sheet no.<br><b>10-2</b> | date<br><b>2023-09-28</b> | type<br><b>36" Single</b> | project no.<br><b>22-016</b> | <div><p><b>www.greenparkgroup.ca</b></p><p>project name<br/><b>Trinigroup Developments Inc.</b></p></div> |
| Jamie Mack                                                                                                                                                         | 35923                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |  |                          |                                                                                       |      |      |           |                                                                                                                                                                                                                                                     |                                                                                                                                                                                                                                                                                                                                                                                      |                                                                  |  |  |  |                               |                 |                  |                          |                           |                           |                              |                                                                                                                                                                                                |
| Name                                                                                                                                                               | BCIN                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           | Signature                                                                             |                          |                                                                                       |      |      |           |                                                                                                                                                                                                                                                     |                                                                                                                                                                                                                                                                                                                                                                                      |                                                                  |  |  |  |                               |                 |                  |                          |                           |                           |                              |                                                                                                                                                                                                |
| title<br><b>Walkout Basement Plans<br/>Elevations 1, 2 and 3</b>                                                                                                   |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |                                                                                       |                          |                                                                                       |      |      |           |                                                                                                                                                                                                                                                     |                                                                                                                                                                                                                                                                                                                                                                                      |                                                                  |  |  |  |                               |                 |                  |                          |                           |                           |                              |                                                                                                                                                                                                |
| scale<br><b>3/16" = 1'-0"</b>                                                                                                                                      | by<br><b>DO</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                | area<br><b>-</b>                                                                      | sheet no.<br><b>10-2</b> |                                                                                       |      |      |           |                                                                                                                                                                                                                                                     |                                                                                                                                                                                                                                                                                                                                                                                      |                                                                  |  |  |  |                               |                 |                  |                          |                           |                           |                              |                                                                                                                                                                                                |
| date<br><b>2023-09-28</b>                                                                                                                                          | type<br><b>36" Single</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      | project no.<br><b>22-016</b>                                                          |                          |                                                                                       |      |      |           |                                                                                                                                                                                                                                                     |                                                                                                                                                                                                                                                                                                                                                                                      |                                                                  |  |  |  |                               |                 |                  |                          |                           |                           |                              |                                                                                                                                                                                                |
| <p>Contractor shall check all dimensions and elevations before commencing with work and report any discrepancies to the Designer. Prints are not to be scaled.</p> |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |                                                                                       |                          |                                                                                       |      |      |           |                                                                                                                                                                                                                                                     |                                                                                                                                                                                                                                                                                                                                                                                      |                                                                  |  |  |  |                               |                 |                  |                          |                           |                           |                              |                                                                                                                                                                                                |





STRUDET INC.



FOR STRUCTURE ONLY

**Villa 6**

Compliance Package A1

CITY OF RICHMOND HILL  
BUILDING DIVISION  
08/21/2024  
REVISED  
Per: KER

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The undersigned has reviewed and takes responsibility for this design, as well as having the qualifications and requirements mandated by the Ontario Building Code (O.B.C.) to be a Designer.

**Qualification Information**

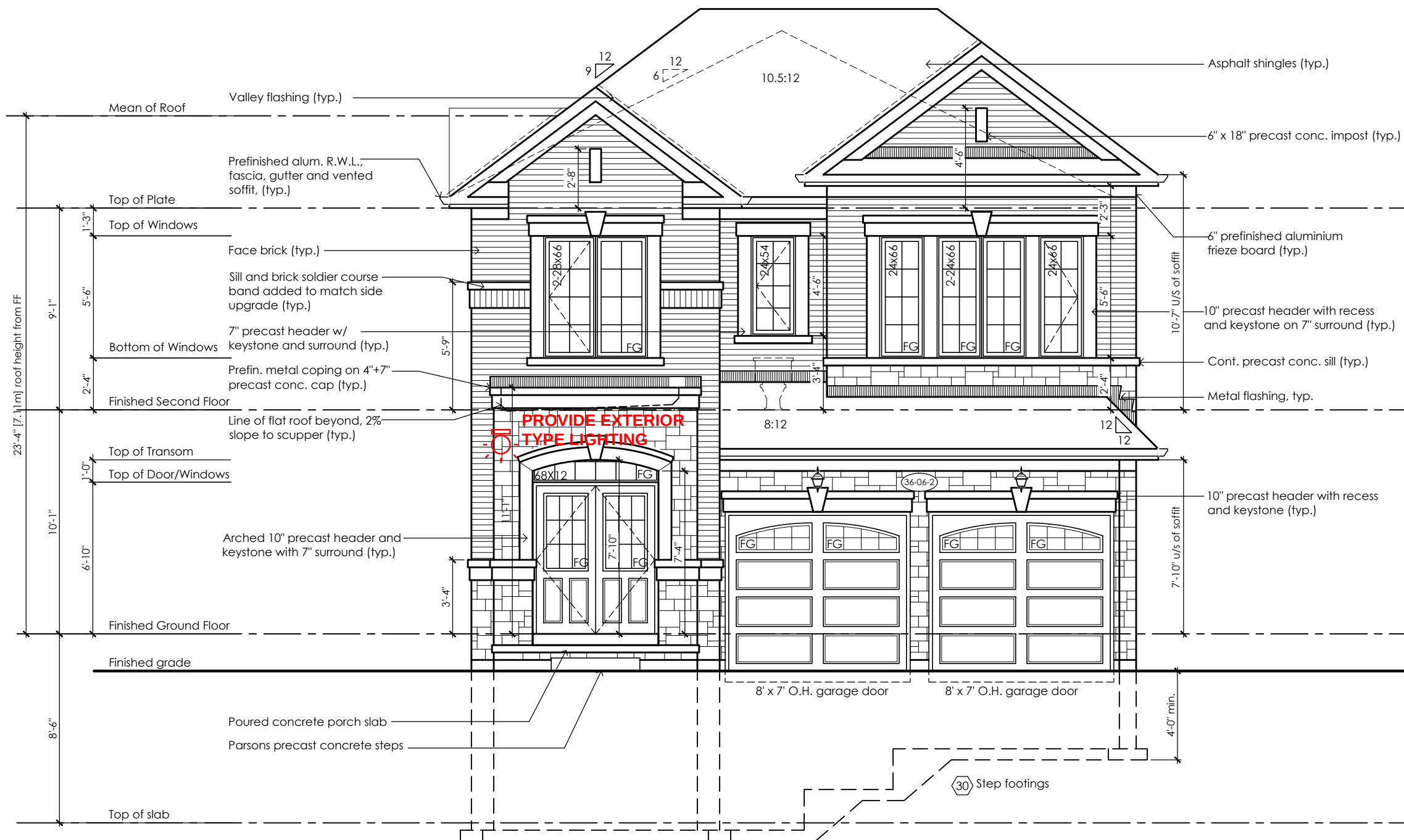
Jamie Mack 35923  
Name BCIN Signature  
Registration Information **Mackitecture** 103532

**www.mackitecture.ca**  
975A Elgin Street West, Suite 353  
Cobourg, ON K9A 5J3  
Tel: 416-735-8190 Email: info@mackitecture.ca

**Second Floor Plan  
Elevation 2**

|                               |                           |                              |                          |
|-------------------------------|---------------------------|------------------------------|--------------------------|
| scale<br><b>3/16" = 1'-0"</b> | by<br><b>DO</b>           | area<br><b>3047 sq ft</b>    | sheet no.<br><b>47-1</b> |
| date<br><b>2024-01-09</b>     | type<br><b>36" Single</b> | project no.<br><b>22-016</b> |                          |

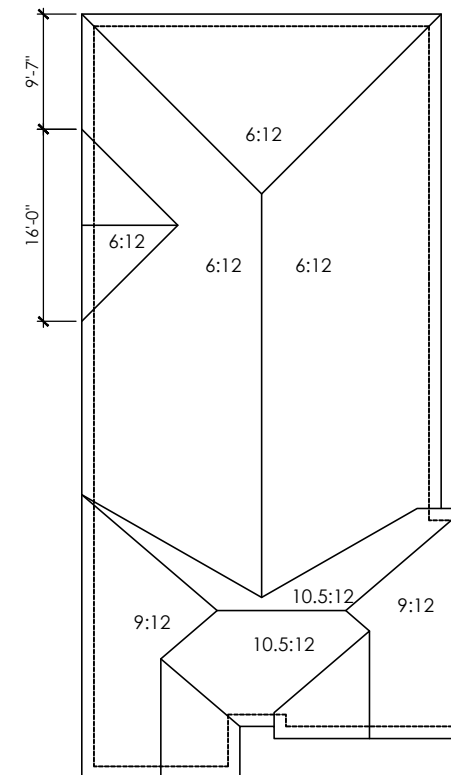
**www.greenparkgroup.ca**  
project name  
**Trinigroup Developments Inc.**



Front Elevation '2'  
For Lot 47

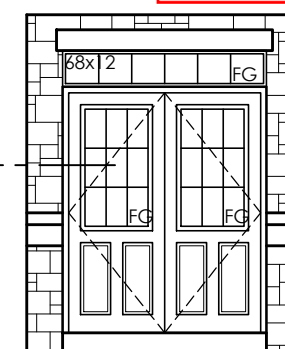
**Changes for Lot 47**

- Second floor sill and brick soldier course band added to match side upgrade
- Refer to site plan for all grading changes



**Roof Plan '2'  
For Lot 47**

Refer to approved truss drawings for roof framing layout and specifications for correct bearing, uplift and anchorage.



Inside Portico Elev. '2'

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**City of Richmond Hill**  
Design Review

☐ Preliminary ☒ Final

14 Aug 2024 By: James Paulidis

CITY OF RICHMOND HILL  
BUILDING DIVISION

08/21/2024

REVISED  
Per: KER

**Villa 6**

Compliance Package A1

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Front Elevation  
Elevation 2

|                        |                    |                       |                          |
|------------------------|--------------------|-----------------------|--------------------------|
| scale<br>3/16" = 1'-0" | by<br>DO           | area<br>3047 sq ft    | sheet no.<br><b>47-2</b> |
| date<br>2024-01-09     | type<br>36" Single | project no.<br>22-016 |                          |

  
**www.greenparkgroup.ca**  
project name  
**Trinigroup Developments Inc.**

Glazed Openings Calculation (OBC 9.10.15.4.)  
Limiting distance: 3'-11" (1.20m)  
Wall area: 1284.7 sq ft (119.35 sq m)  
Permitted glazed openings: 7.0%, 89.9 sq ft (8.35 sq m)  
Provided glazed openings: 5.8%, 75.5 sq ft (6.67 sq m)  
Summary  
Areas calculated with a frame offset of 2,25"  
2 - 15,00 x 16,00: 1,68 sq ft (0,16 sq m)  
2 - 15,00 x 16,00: 1,68 sq ft (0,16 sq m)  
1 - 24,00 x 42,00: 5,08 sq ft (0,47 sq m)  
1 - 24,00 x 42,00: 5,08 sq ft (0,47 sq m)  
1 - 32,00 x 48,00: 8,31 sq ft (0,77 sq m)  
1 - 32,00 x 48,00: 8,31 sq ft (0,77 sq m)  
1 - 32,00 x 48,00: 8,31 sq ft (0,77 sq m)  
2 - 24,00 x 66,00: 16,66 sq ft (1,56 sq m)  
2 - 24,00 x 66,00: 16,66 sq ft (1,56 sq m)

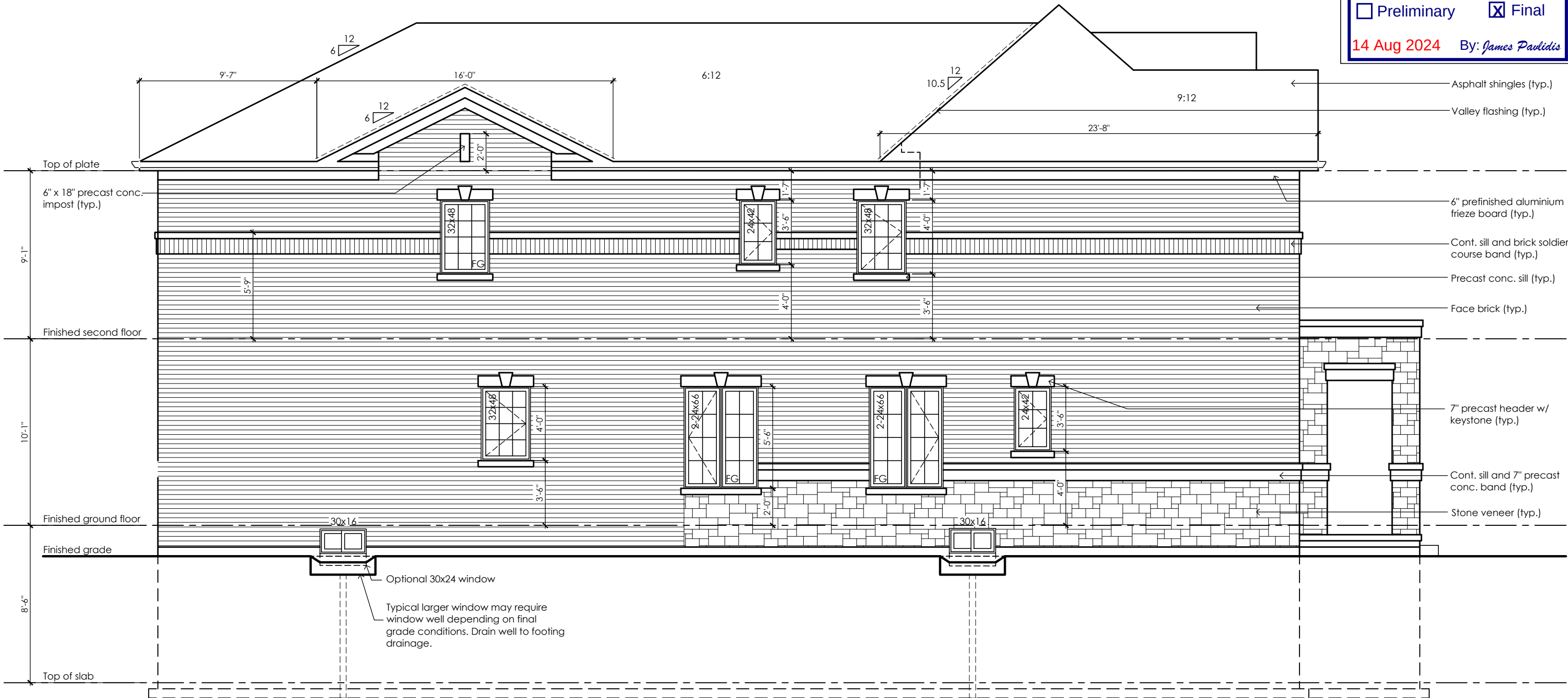
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City of Richmond Hill  
Design Review

☐ Preliminary ☒ Final

14 Aug 2024 By: James Paulidis



Left Side Elevation '2'  
For Lot 47

No unprotected openings permitted within 1.2 metres of the lot line as per 9.10.14 of the Ontario Building Code.

CITY OF RICHMOND HILL  
BUILDING DIVISION

08/21/2024

REVISED

Per: KER

Villa 6  
Compliance Package A1

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Qualification Information

Jamie Mack 35923  
Name BCIN

Registration Information Mackitecture 103532

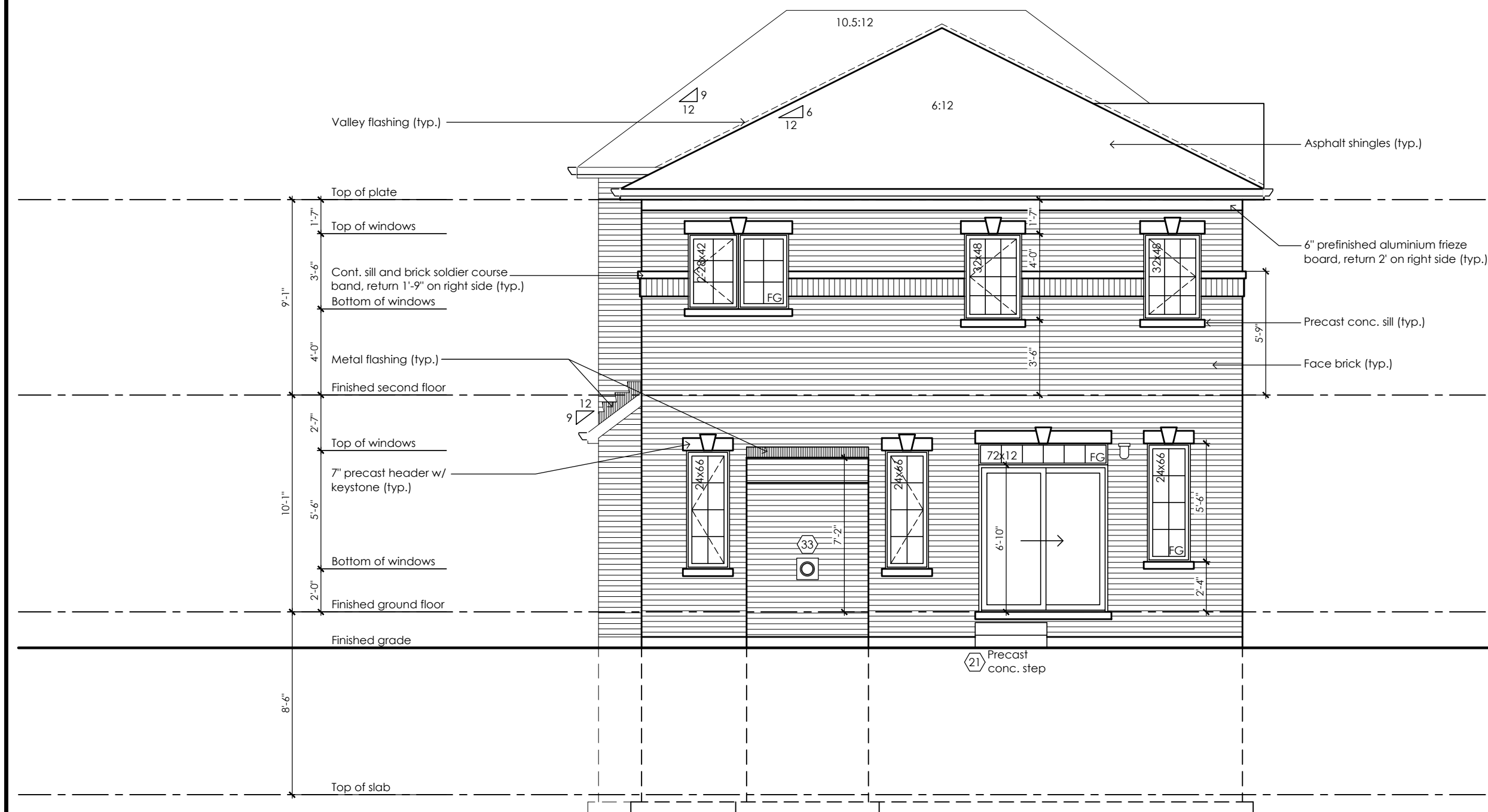
  
www.mackitecture.ca  
975A Elgin Street West, Suite 353  
Cobourg, ON K9A 5J3  
Tel: 416-735-8190 Email: info@mackitecture.ca

Left Side Elevation  
Elevation 2

|                        |                    |                       |                   |
|------------------------|--------------------|-----------------------|-------------------|
| scale<br>3/16" = 1'-0" | by<br>DO           | area<br>3047 sq ft    | sheet no.<br>47-3 |
| date<br>2024-01-09     | type<br>36" Single | project no.<br>22-016 |                   |

  
www.greenparkgroup.ca

Trinigroup Developments Inc.



Rear Upgrade Elevation '2'  
For Lot 47

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CITY OF RICHMOND HILL  
BUILDING DIVISION  
08/21/2024  
REVISED  
Per: \_\_\_\_\_ KER

City of Richmond Hill  
Design Review  
☐ Preliminary ☒ Final  
14 Aug 2024 By: James Paulidis

Villa 6

Compliance Package A1

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**Qualification Information**  
Jamie Mack 35923  
Name BCIN  
Registration Information **Mackitecture** 103532

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Cobourg, ON K9A 5J3  
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Front Elevation  
Elevation 2  
scale 3/16" = 1'-0"  
by DO  
area 3047 sq ft  
date 2024-01-09  
type 36" Single  
project no. 22-016  
sheet no. 47-4

**Greenpark**  
www.greenparkgroup.ca  
project name  
**Trinigroup Developments Inc.**



Glazed Openings Calculation (OBC 9.10.15.4.)  
Limiting distance: 3'-11" (1.20m)  
Wall area: 1303.2 sq ft (121.07 sq m)  
Permitted glazed openings: 7.0%, 91.2 sq ft (8.47 sq m)  
Provided glazed openings: 4.5%, 59.2 sq ft (5.50 sq m)  
Summary  
Areas calculated with a frame offset of 2.25"  
2 - 15,00 x 16,00: 1,68 sq ft (0,16 sq m)  
1 - 24,00 x 42,00: 5,08 sq ft (0,47 sq m)  
1 - 28,00 x 42,00: 6,12 sq ft (0,57 sq m)  
1 - 28,00 x 42,00: 6,12 sq ft (0,57 sq m)  
2 - 24,00 x 48,00: 11,78 sq ft (1,09 sq m)  
2 - 24,00 x 48,00: 11,78 sq ft (1,09 sq m)  
2 - 24,00 x 66,00: 16,66 sq ft (1,55 sq m)

**45 Minute Fire Rated Wall Assemblies** (refer to MMAH SB-2 Section 2.3.)  
For exposing building face with a limiting distance less than 1.2m (3'-11")  
**Stud Wall with Brick Veneer**  
Provide 12.7mm (1/2") type 'x' gypsum board installed so that all edges are supported, taped and filled. Space between wood studs to be filled with preformed mineral fibre insulation with a mass of not less than 1.22 kg / sq m  
**Rim Joist**  
At the rim joist provide 15.9mm (5/8") type 'x' gypsum board between the floor joist and rim joist or continuously along the rim joist when the floor joists are parallel to the rim joist.

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City of Richmond Hill  
Design Review

☐ Preliminary ☒ Final

14 Aug 2024 By: James Paulidis



**Right Side Elevation '2'**  
**For Lot 47**

No unprotected openings permitted within 1.2 metres of the lot line as per 9.10.14 of the Ontario Building Code.

CITY OF RICHMOND HILL  
BUILDING DIVISION  
08/21/2024  
REVISED  
Per: KER

**Villa 6**  
Compliance Package A1

|                                                                                                                                                             |                                                                                                                                                                                                                                                                                                                           |                                                                                                                                             |                                |                 |                           |                              |                          |                                                     |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------|-----------------|---------------------------|------------------------------|--------------------------|-----------------------------------------------------|
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|                                                                                                                                                             |                                                                                                                                                                                                                                                                                                                           |                                                                                                                                             | scale<br><b>3/16" = 1'-0"</b>  | by<br><b>DO</b> | area<br><b>3047 sq ft</b> | project no.<br><b>22-016</b> |                          |                                                     |



Front Elevation '3' Rev.  
Lot 105

Lot Specific Changes  
- Garage roof soffit dropped 14"

CITY OF RICHMOND HILL  
BUILDING DIVISION  
08/21/2024  
REVISED  
Per: KER

City of Richmond Hill  
Design Review  
☐ Preliminary ☒ Final  
14 Aug 2024 By: James Paulidis

## Lot 105 - Villa 6-3 Rev.

Compliance Package A1

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**Qualification Information**

Jamie Mack 35923  
Name BCIN  
Registration Information Mackitecture 103532

**Mackitecture**  
www.mackitecture.ca  
975A Elgin Street West, Suite 353  
Cobourg, ON K9A 5J3  
Tel: 416-735-8190 Email: info@mackitecture.ca

Lot 105 Front Elevation  
Villa 6, Elevation 3 Rev.

|               |            |             |           |
|---------------|------------|-------------|-----------|
| scale         | by         | area        | sheet no. |
| 3/16" = 1'-0" | JM         | 2870 sq ft  | 105-1     |
| date          | type       | project no. |           |
| 2024-03-01    | 36' Single | 22-016      |           |

**Greenpark**  
www.greenparkgroup.ca

project name  
Trinigroup Developments Inc.