



GENERAL NOTES (PART 9 - RESIDENTIAL)

PERMIT NO. **RM#24-00030**

All construction must comply with the Ontario Building Code (OBC) 2012 as amended, including but not limited to the following. As a minimum, the following requirements **shall** be incorporated in the final construction:


1. All footings shall rest on natural undisturbed soil or compacted granular fill with a minimum bearing capacity of 75 KPa (1570 psf) unless known capacity is less and provided for in the foundation design.
2. Step footings shall have a maximum rise of 600 mm (23 5/8") for firm soils, 400 mm (15 3/4") for sand or gravel and a minimum horizontal run of 600 mm (23 5/8").
3. Concrete for exterior steps, garage and carport floors and all exterior flat work shall have a minimum compressive strength of 32 MPa (4650 psi) at 28 days, with air entrainment of 5 to 8%. Concrete floors with no damp proofing shall have a minimum compressive strength of 25 MPa (3000 psi). All other concrete to be 15MPa (2200 psi).
4. Foundations and the soil beneath them shall be protected against freezing during winter construction. Where foundation walls require permanent lateral support, the wall shall be braced or laterally supported before backfilling.
5. When the unsupported height of a foundation wall exceeds 3.0 m (9'-10"), the wall shall be designed by an engineer in accordance with OBC Part 4.
6. Exterior concrete stairs with more than 2 steps shall be supported on unit masonry, concrete walls or piers not less than 150x150 (6"x6") with footings at 1.2 m (4') below grade.
7. Where the top of a foundation wall is reduced in thickness to permit the installation of masonry exterior facing, the reduced section shall be not less than 90 mm (3 1/2") thick and tied to the facing material with metal ties conforming to Sentence 9.20.9.4. (3), spaced not more than 200 mm (7 7/8") o.c. vertically and 900 mm (2'-11") o.c. horizontally. The space between the wall and masonry veneer shall be filled with mortar.
8. Provide continuous lateral support to top flange of all steel beams. Steel beams shall have minimum 90 mm (3 1/2") bearing length. Connections to other steel beams shall have a minimum of 2-M20 (3/4" dia.) A325 steel bolts or a full welded connection (with full shear capacity of beam). Steel beams supported on wood shall be designed by an Engineer.
9. Provide solid blocking support under all point loads and continue down to the foundation. Built-up columns shall comply with OBC 9.23.10.7. For engineered systems, follow manufacturer's specifications for correct blocking and bearing requirements.
10. Refer to the approved engineered layout drawings for engineered floor joist and roof truss systems, including beams and supports. Follow manufacturers specifications for bridging, bracing, bearing and connection requirements for built up beams or joists.
11. Tie the lower ends of roof rafters with continuous horizontal ties to the opposing rafters unless lateral thrust is otherwise specifically designed for.
12. Guards shall be constructed in accordance with Supplementary Standard 7 of the OBC or in conformance with OBC Part 4 (including design loads on guards). Min. guard height to comply with OBC 9.8.8. All guards to be non-climbable.
13. All masonry veneer ties shall be corrosion-resistant, minimum of 0.76 mm (0.03") thick, 22 mm (7/8") wide and be spaced in accordance with Table 9.20.9.5 of the OBC
14. Ceramic floor tile and its supporting floor shall be constructed in accordance to OBC 9.30.6.
15. For insulation values, window and door U-values and efficiency of appliances refer to SB-12 requirements: Prescriptive or Performance design or values specified by Energy Star requirements.
16. Foundation walls enclosing heated spaces shall be insulated to not more than 8" above the basement slab and an approved drainage layer is required on the exterior.
17. Exterior Insulated Finished System (EIFS) over wood framed wall and other moisture sensitive substrates shall consist of dual barrier with drained joints (DB/DJ). They shall be constructed in accordance to OBC 9.27.13 and shall conform to CAN/ULC-S716.1. All other exterior applied stucco finishes shall be constructed in accordance with OBC 9.28.
18. Stairs serving a house or dwelling unit shall have min. headroom of 1950 mm (6'-5"), min. width of 860 mm (2'-10"), max. rise of 200 mm (7 7/8") & min. 125 mm (4 7/8") and a min. run of 255 mm (10"). Tapered stairs shall have a min. average run of 255 mm (10") at the point of 300mm measured from the center of the handrail. The tolerance of stair dimensions shall conform to OBC 9.8.4.4. Secure stair stringers at top and bottom.
19. Basement ceiling height shall be min. 2.1 m. (6'-11") over at least 75% of the area and 1.95 m. (6'-5") under beams and ducts.
20. Every floor level containing a bedroom shall be provided with at least 1 outside window with an operable unobstructed opening having a minimum area of 0.35 sq. m. (3.8 sq. ft.), with no dimension less than 380 mm (15"). Every floor level, requiring travel of more than 1 storey to an exit door, shall be provided with an unobstructed escape window opening of not less than 1 m. (3'-3") in height and 0.55 m (21 5/8") in width with the sill not more than 1 m (3'-3") above the floor and 7 m. (23') above adjacent ground level or that floor shall be provided with a balcony. Except for basement locations, all windows shall have a maximum sill height of 1 m. (3'-3") above the floor.
21. Provide window protection to minimize the hazard to children in accordance with OBC 9.7.1.6.
22. Exterior walls, which are less than 1.2 m (4'-0") from the lot line, shall have no unprotected opening and be constructed with a 3/4 hr. fire resistance rating. These walls shall be rated from the interior. Exterior walls, which are less than 0.6 m (2'-0") from the lot line, shall in addition have non-combustible cladding.
23. All entrance doors, doors between the dwelling unit and the attached garage, patio doors and windows within 2m (6'-7") of adjacent ground level shall conform to OBC Subsections 9.6.8 & 9.7.6 'Resistance to Forced Entry'.
24. Roof vents shall be provided on the basis of 1 sq. ft./300 sq. ft. of insulated ceiling area. Where the roof slope is less than 1 in 6 or in cathedral ceilings, roof vents shall be provided on the basis of 1 sq. ft./150 sq. ft. of insulated ceiling area. Roof vents shall be uniformly distributed to ventilate each roof space with a minimum of 25% of the required vent space to be located at the top and the bottom of the roof.
25. Eave protection is required, beneath the start strip, from the edge of the roof to a minimum distance of 900 mm (3'-0") up the roof slope to not less than 300 mm (12") inside the inner face of the exterior wall on shingled, shake or tile roofs except as provided by 9.26.5.1.(2).
26. Foamed plastic insulation shall be protected with interior finishes according to OBC 9.10.17.10.
27. The wall and ceiling between an attached garage and the dwelling unit shall be constructed and sealed so as to provide an effective barrier to exhaust fumes. Door between the garage and the dwelling unit shall be tight fitting, weather-stripped and equipped with a self closing device.
28. Smoke alarms shall be provided on each floor level and be located within each bedroom. Smoke alarms shall be interconnected and hard wired with no disconnect switch. Smoke alarms are required to have a visual signaling component conforming to NFPA 72.
29. A carbon monoxide detector conforming to CAN/CGA-6.19 or UL 2034 shall be installed on every building containing a fuel burning appliance or an attached garage in conformance with the OBC 9.33.4.
30. In addition to the above carbon monoxide detectors, Town of Richmond Hill By-law No. 245-99 requires that a carbon monoxide detector, equipped with an alarm that is audible within bedrooms when the intervening doors are closed and conforming to CAN/CGA-6.19 or UL 2034, be installed in accordance with the manufacturer's instructions in every dwelling unit. Where the carbon monoxide detector is electrically powered, it must be approved by the Canadian Standards Association and be equipped with a visual indicator indicating that it is in operating condition and have NO switch between the carbon monoxide alarm and the power distribution panel.
31. A mechanical ventilation system is required in every dwelling. An exhaust only' ventilation system is permitted only where forced air heating is used, there is no electric heating or fireplace (other than a direct vent gas fireplace), and where a mechanically vented induced draft or direct vented furnace and hot water tank are used. A ventilation system with a heat recovery ventilator or Part 6 design is required in all other cases.
32. All exterior doors greater than 600mm above grade which do not exit onto a deck shall be permanently adjusted to prevent opening as per 9.6.4.1(2) of the OBC or be guarded as per 9.8.8 of the OBC
33. The main bathroom shall have stud reinforcement to accommodate future installation of grab bars adjacent to water closets and shower or bathtub as per OBC 9.5.2.3.
34. Slopes on roof surfaces shall comply with OBC 9.26.3.1.
35. Windows shall comply with OBC 9.7
36. Exhaust ducts connected to laundry drying equipment shall comply with OBC 6.2.3.8. (7)

VILLA 10
COMPLIANCE PACKAGE "A1"

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

W Architect Inc.
DESIGN CONTROL REVIEW

NOV. 01, 2023

FINAL BY: 
This stamp is only for the purposes of design control and carries no other professional obligations.

AREA CALCULATIONS		ELEV. 1	
GROUND FLOOR AREA		=	1169 Sq. Ft.
SECOND FLOOR AREA		=	1556 Sq. Ft.
TOTAL FLOOR AREA		=	2725 Sq. Ft.
			253.16 Sq. M.
1st FLOOR OPEN AREA	= 0		Sq. Ft.
2nd FLOOR OPEN AREA	= 0		Sq. Ft.
ADD TOTAL OPEN AREAS	=		0 Sq. Ft.
ADD FIN. BASEMENT AREA	=		0 Sq. Ft.
GROSS FLOOR AREA		=	2725 Sq. Ft.
			253.16 Sq. M.
GROUND FLOOR COVERAGE		=	1169 Sq. Ft.
GARAGE COVERAGE / AREA		=	396 Sq. Ft.
PORCH COVERAGE / AREA		=	57 Sq. Ft.
TOTAL COVERAGE W/ PORCH		=	1622 Sq. Ft.
		=	150.69 Sq. m.
TOTAL COVERAGE W/O PORCH		=	1565 Sq. Ft.
		=	145.39 Sq. m.

AREA CALCULATIONS		ELEV. 2	
GROUND FLOOR AREA		=	1204 Sq. Ft.
SECOND FLOOR AREA		=	1525 Sq. Ft.
TOTAL FLOOR AREA		=	2729 Sq. Ft.
			253.53 Sq. M.
1st FLOOR OPEN AREA	= 0		Sq. Ft.
2nd FLOOR OPEN AREA	= 0		Sq. Ft.
ADD TOTAL OPEN AREAS	=		0 Sq. Ft.
ADD FIN. BASEMENT AREA	=		0 Sq. Ft.
GROSS FLOOR AREA		=	2729 Sq. Ft.
			253.53 Sq. M.
GROUND FLOOR COVERAGE		=	1204 Sq. Ft.
GARAGE COVERAGE / AREA		=	396 Sq. Ft.
PORCH COVERAGE / AREA		=	57 Sq. Ft.
TOTAL COVERAGE W/ PORCH		=	1657 Sq. Ft.
		=	153.94 Sq. m.
TOTAL COVERAGE W/O PORCH		=	1600 Sq. Ft.
		=	148.65 Sq. m.

AREA CALCULATIONS		ELEV. 3	
GROUND FLOOR AREA		=	1182 Sq. Ft.
SECOND FLOOR AREA		=	1530 Sq. Ft.
TOTAL FLOOR AREA		=	2712 Sq. Ft.
			251.45 Sq. M.
1st FLOOR OPEN AREA	= 0		Sq. Ft.
2nd FLOOR OPEN AREA	= 0		Sq. Ft.
ADD TOTAL OPEN AREAS	=		0 Sq. Ft.
ADD FIN. BASEMENT AREA	=		0 Sq. Ft.
GROSS FLOOR AREA		=	2712 Sq. Ft.
			251.45 Sq. M.
GROUND FLOOR COVERAGE		=	1182 Sq. Ft.
GARAGE COVERAGE / AREA		=	396 Sq. Ft.
PORCH COVERAGE / AREA		=	57 Sq. Ft.
TOTAL COVERAGE W/ PORCH		=	1635 Sq. Ft.
		=	151.90 Sq. m.
TOTAL COVERAGE W/O PORCH		=	1578 Sq. Ft.
		=	146.60 Sq. m.

5.		
4.		
3.		
2.		
1.	UPDATED FROM VALLEYCREEK 11	MAR 2023

REVISIONS

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR 28770
NAME SIGNATURE BCIN

GENERAL NOTES

LOT	AREA	BY
-	2,725 SQ.FT.	V.G.

PROJECT NAME
TRINIGROUP

Region Design Inc.
8700 Dufferin St.
Concord, Ontario
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(416) 736-4096
fax (905) 660-0746

REGION
DESIGN
INC.

Contractor shall check all dimensions and elevations before commencing with work and report any discrepancies to the designer. Prints are not to be scaled.

Greenpark.

DATE	MAR 2023	PAGE NO.
SCALE	3/16"=1'-0"	
PROJECT NO.	--	

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CITY OF RICHMOND HILL
BUILDING DIVISION

08/21/2024

REVISED
Per: KER

STRIP FOOTINGS -
FOR SINGLES & SEMIS UP TO 2 STOREY
2" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS
20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.
FOUNDATION WALLS WITH ENGINEERED JOISTS OVER 16' SPANS
24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
FOOTINGS ON ENGINEERED FILL
24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING
BELOW EXTERIOR WALLS.
30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING
BELOW PARTY WALLS.
(REFER TO FOOTING DETAILS ON ENGINEERED FILL)
ASSUME THE LARGER FOOTING SIZE
WHEN TWO CONDITIONS APPLY
ASSUMED 120 KPa (16 p.s.i.) SOIL BEARING CAPACITY OR 90 KPa
ENGINEERED SOIL FILL, TO BE VERIFIED ON SITE, by a soil engineer report

PAD FOOTINGS
120 KPa NATIVE SOIL 90 KPa ENGINEERED FILL SOIL
F1 = 42"x42"x24" CONCRETE PAD F1 = 48"x48"x24" CONCRETE PAD
F2 = 36"x36"x18" CONCRETE PAD F2 = 40"x40"x24" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD F3 = 34"x34"x12" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD
F5 = 16"x16"x8" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD
(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)

WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC.
FDTN. WALL IS REQUIRED.

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC.
FLAT WORK) TO BE 32 MPa WITH 5-8% AIR ENTRAINMENT

BRICK VENEER LINTELS
ML1 = 3-1/2"x3-1/2"x1/4" (100x90x6.0L) + 2-2"x8" SFR. No.2
ML2 = 4"x3-1/2"x5/16" (100x90x8.0L) + 2-2"x8" SFR. No.2
ML3 = 5"x3-1/2"x5/16" (125x90x8.0L) + 2-2"x10" SFR. No.2
ML4 = 6"x3-1/2"x3/8" (150x90x10.0L) + 2-2"x12" SFR. No.2
ML5 = 6"x4"x3/8" (150x100x10.0L) + 2-2"x12" SFR. No.2
ML6 = 5"x3-1/2"x5/16" (125x90x8.0L) + 2-2"x12" SFR. No.2
ML7 = 5"x3-1/2"x5/16" (125x90x8.0L) + 3-2"x10" SFR. No.2
ML8 = 5"x3-1/2"x5/16" (125x90x8.0L) + 3-2"x12" SFR. No.2
ML9 = 6"x4"x3/8" (150x100x10.0L) + 3-2"x12" SFR. No.2

WOOD LINTELS AND BEAMS
MB1 = 2-2"x8" SFR. No.2 (2-38x184 SFR. No.2)
MB2 = 3-2"x8" SFR. No.2 (3-38x184 SFR. No.2)
MB3 = 2-2"x10" SFR. No.2 (2-38x235 SFR. No.2)
MB4 = 3-2"x10" SFR. No.2 (3-38x235 SFR. No.2)
MB5 = 2-2"x12" SFR. No.2 (2-38x286 SFR. No.2)
MB6 = 3-2"x12" SFR. No.2 (3-38x286 SFR. No.2)
MB7 = 5-2"x12" SFR. No.2 (5-38x286 SFR. No.2)
MB8 = 4-2"x10" SFR. No.2 (4-38x235 SFR. No.2)
MB9 = 4-2"x12" SFR. No.2 (4-38x286 SFR. No.2)

LAMINATED VENEER LUMBER (LVL) BEAMS
LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)
LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)
LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)
LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)
LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)
LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)
LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)
LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)
LVL6A = 1-1 3/4" x 11 7/8" (1-45x300)
LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)
LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)
LVL7A = 4-1 3/4" x 11 7/8" (4-45x300)
LVL8 = 2-1 3/4" x 14" (2-45x356)
LVL9 = 3-1 3/4" x 14" (3-45x356)
LVL10 = 2-1 3/4" x 18" (3-45x456)

LOOSE STEEL LINTELS
L1 = 3-1/2"x3-1/2"x1/4" (100x90x6.0L)
L2 = 4"x3-1/2"x5/16" (100x90x8.0L)
L3 = 5"x3-1/2"x5/16" (125x90x8.0L)
L4 = 6"x3-1/2"x3/8" (150x90x10.0L)
L5 = 6"x4"x3/8" (150x100x10.0L)
L6 = 7"x4"x3/8" (175x100x10.0L)

DOOR SCHEDULE
1 = 2'-10" x 6'-8" (865x2033) - INSULATED ENTRANCE DOOR
1a = 2'-8" x 6'-8" (815x2033) - INSULATED FRONT DOORS
2 = 2'-8" x 6'-8" (815x2033) - WOOD & GLASS DOOR
3 = 2'-8" x 6'-8" x 1-3/4" (815x2033x45) - EXTERIOR SLAB DOOR
4 = 2'-8" x 6'-8" x 1-3/8" (815x2033x35) - INTERIOR SLAB DOOR
5 = 2'-6" x 6'-8" x 1-3/8" (760x2033x35) - INTERIOR SLAB DOOR
6 = 2'-2" x 6'-8" x 1-3/8" (660x2033x35) - INTERIOR SLAB DOOR
7 = 1'-6" x 6'-8" x 1-3/8" (460x2033x35) - INTERIOR SLAB DOOR

SPACE CONVENTIONAL FLOOR JOISTS @ 12"
O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF
5'-7', 2 ROWS FOR SPANS GREATER THAN 7'

REFER TO ROOF TRUSS SHOP DRAWINGS FOR
ALL ROOF FRAMING INFORMATION

PLANS NOT DRAWN TO ACTUAL GRADE. REFER
TO FINAL GRADING PLAN.

REFER TO FLOOR FRAMING SHOP DRAWINGS
FOR ENGINEERED FRAMING LAYOUTS

2 - 1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E
STUD WALL GLUED AND NAILED TOGETHER
AND SPACED MAX. @ 4" O.C. FULL HT C/W
SOLID BLOCKING MAX. 8'-0" O.C. VERTICAL
AND 7/16" EXT. OSB SHEATHING.
10" 10"
MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS
20'-2" AND MAXIMUM SUPPORTED LENGTH OF
TRUSS IS 40'-0"
TWO STORY HEIGHT WALL DETAIL

2 - 1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E
STUD WALL GLUED AND NAILED TOGETHER
AND SPACED MAX. @ 4" O.C. FULL HT C/W
SOLID BLOCKING MAX. 8'-0" O.C. VERTICAL
AND 7/16" EXT. OSB SHEATHING.
q" q"
MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS
21'-5" AND MAXIMUM SUPPORTED LENGTH OF
TRUSS IS 40'-0"
TWO STORY HEIGHT WALL DETAIL

SUPPORTED STEEL
ANGLE UP TO 11'-1"
OTHERWISE TO BE
REVIEWED
BY ENGINEER.
BRICK/
STONE
VENEER
INVERTED
3-1/2"x3-1/2"x1/4"
(100x90x6.0)
STEEL ANGLE
MIN. 1'-0"
BRICK/
STONE
VENEER
SUPPORTED STEEL ANGLE
UP TO 11'-1".
OTHERWISE TO BE
REVIEWED BY
ENGINEER.
**INVERTED STEEL
ANGLE DETAIL**

THE MINIMUM THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING Refer to EEDS	
COMPLIANCE PACKAGE "A1"	
COMPONENT	NOTE
CEILING WITH ATTIC SPACE MINIMUM RSI (R) VALUE	10.51 (R60)
CEILING WITHOUT ATTIC SPACE MINIMUM RSI (R) VALUE	5.46 (R31)
EXPOSE FLOOR MINIMUM RSI (R) VALUE	5.46 (R31)
WALLS ABOVE GRADE MINIMUM RSI (R) VALUE	3.81 (R22)
BASEMENT WALLS MINIMUM RSI (R) VALUE	3.52 (R20 BLANKET)
HEATED SLAB OR SLAB ≤ 600mm BELOW GRADE MINIMUM RSI (R) VALUE	1.76 (R10)
WINDOWS & SLIDING GLASS DOORS MAXIMUM U-VALUE	ENERGY RATING = 25, MAX. U=0.28
SPACE HEATING EQUIPMENT MINIMUM AFUE	96%
HVAC MINIMUM EFFICIENCY	75%
HOT WATER TANK	MIN. EF 0.80

OPTIONAL 8'-6" FOUNDATION POUR HEIGHT
- 10" THICK CONCRETE FOUNDATION WALLS (15 MPa)
- BASEMENT FLOOR TO FLOOR HEIGHT
• 9 1/2" FLOOR JOISTS = 9'-2" (2.79m) HEIGHT
• 11 3/8" FLOOR JOISTS = 9'-4" (2.84m) HEIGHT
- BASEMENT STAIRS
• 15 RISERS (EXTRA RISER ADDED TO BASE OF STAIR)

VILLA 10 - ELEV. 1					SB-12
ELEVATION	WALL FT²	(WALL M²)	OPENING FT²	(OPENING M²)	PERCENTAGE
FRONT	675.97	(62.80)	90.60	(8.42)	13.40 %
LEFT SIDE	1101.61	(102.34)	195.33	(18.15)	17.73 %
RIGHT SIDE	1097.22	(101.94)	53.83	(5.00)	4.91 %
REAR	667.54	(62.02)	135.61	(12.60)	20.31 %
TOTAL	3542.34 FT²	(329.10 M²)	475.37 FT²	(44.16M²)	13.42 %

VILLA 10 - ELEV. 2					SB-12
ELEVATION	WALL FT²	(WALL M²)	OPENING FT²	(OPENING M²)	PERCENTAGE
FRONT	675.97	(62.80)	114.55	(10.64)	16.95 %
LEFT SIDE	1101.61	(102.34)	228.93	(21.27)	20.78 %
RIGHT SIDE	1097.22	(101.94)	48.83	(4.54)	4.45 %
REAR	667.59	(62.02)	135.61	(12.60)	20.31 %
TOTAL	3542.39 FT²	(329.10 M²)	527.92 FT²	(49.05M²)	14.90 %

VILLA 10 - ELEV. 3					SB-12
ELEVATION	WALL FT²	(WALL M²)	OPENING FT²	(OPENING M²)	PERCENTAGE
FRONT	685.56	(63.64)	142.58	(13.25)	20.80 %
LEFT SIDE	1101.61	(102.34)	210.33	(19.54)	19.09 %
RIGHT SIDE	1097.22	(101.94)	48.83	(4.54)	4.45 %
REAR	688.50	(63.96)	135.61	(12.60)	19.70 %
TOTAL	3572.89 FT²	(331.93 M²)	537.35 FT²	(49.92M²)	15.04 %

MAX 18"
KEEP HOLES
THROUGH WALL FLASHING
COUNTER FLASHING
EMBEDDED INTO MORTAR
MIN 1% SLOPE
MIN 6"
FINISHED SECOND FLOOR
DECK MEMBRANE / HOT APPLIED
RUBBERIZED ASPHALT ROOFING, OBC 4.26.15
5/8" EXTERIOR GRADE PLYWOOD SHEATHING
2"x2" @ 12" CROSS FURLINGS SLOPED MIN 1%
ROOF JOISTS AS PER ARCHITECTURAL
DRAWINGS
5/8" EXTERIOR GRADE SHEATHING
REFER TO
ARCHITECTURAL
DRAWINGS FOR
LINTEL SIZES
SECTION 11'
SCALE: 3/4"=1'0"
FLAT ROOF ABOVE PORCH

INSPECTION NOTICES - HOUSING

You are required to notify the Inspection Section of the readiness to inspect at the following construction stages:

- Footings (prior to concrete placement)
- Building sewers (laterals)
- Water service pipe (lateral)
- Foundation (prior to backfill)
- Building drains (under slab)
- Plumbing rough-in
- HVAC rough-in
- Air barrier (prior to exterior cladding)
- Structural Framing (exterior cladding completed)
- Insulation (include vapour barrier)
- Solid fuel burning appliances
- Occupancy Permit

Please contact the Inspection Section by one of the following methods:

- E-mail: buildinginspections@richmondhill.ca
- Inspection fax line: 905-771-2528
- Inspection Request Line: 905-771-5465

A minimum of 2 business days is required.
An inspection may be refused if permit documents and a copy of the permit are not present on site.
Please refer to other inspection information on the reverse of the permit card.

REVIEWED

By: **KER** Date: **10/24/2024**

Building Permit #: **RM#24-00030**

All construction shall comply with the Ontario Building Code and all other applicable statutory regulations. The reviewed documents must be kept on site at all times.

Building inspection line: 905-771-5465 (24 hr)
buildinginspections@richmondhill.ca
Building inquiry line 905-771-8810
building@richmondhill.ca

This review does not exempt the owner, designer and the builder from complying with all applicable regulations and by-laws of the City of Richmond Hill and the Ontario Building Code.

Refer to attached general notes and drawings.

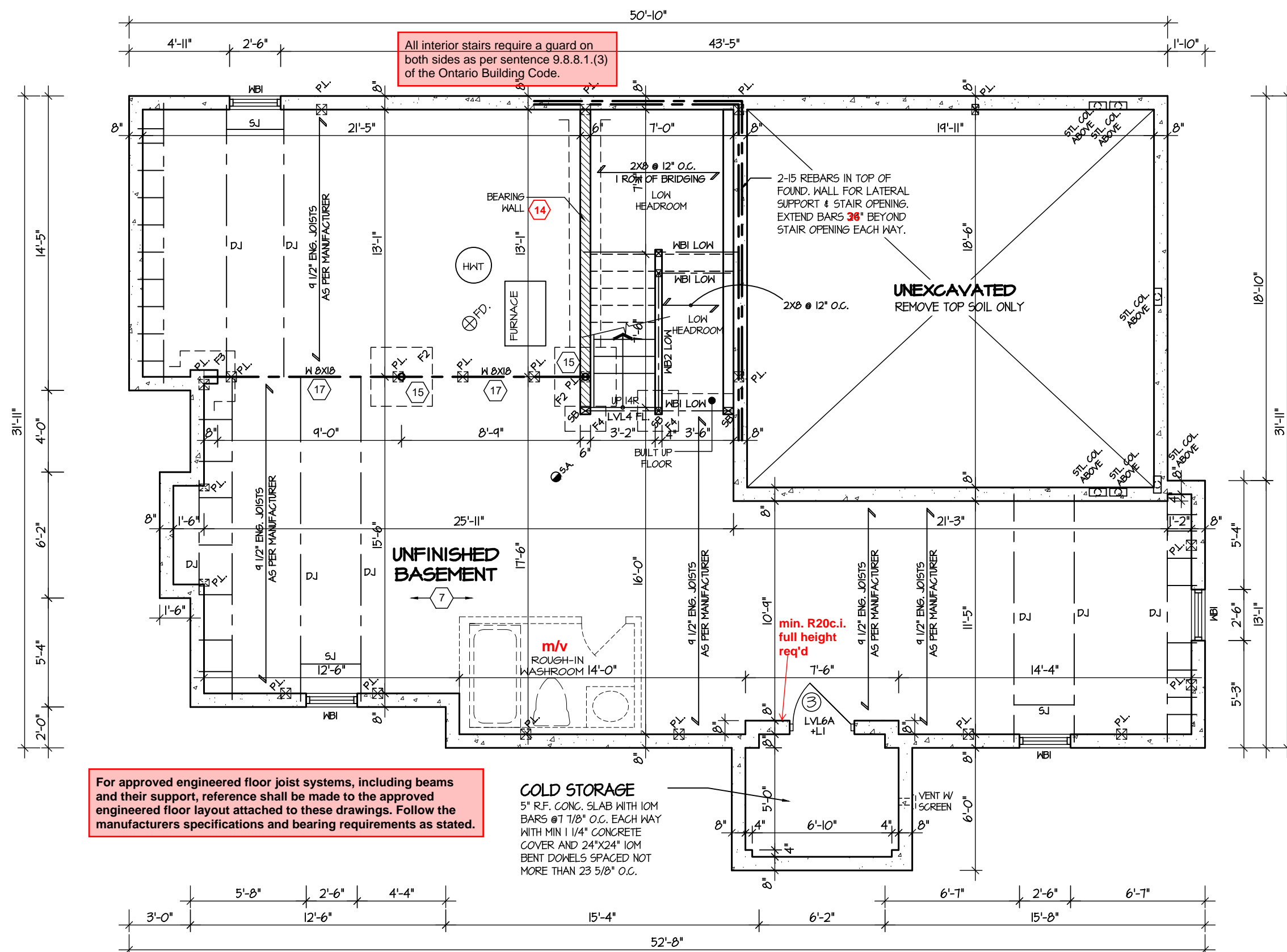
Windows, sliding glass doors and skylights shall comply with OBC 2012, SB-12, 3.1.1.9 for maximum U-Value.

These drawings have been reviewed under Compliance Option: **A1** of the OBC 2012, SB-12.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

VILLA 10
COMPLIANCE PACKAGE "A1"



For approved engineered floor joist systems, including beams and their support, reference shall be made to the approved engineered floor layout attached to these drawings. Follow the manufacturers specifications and bearing requirements as stated.

COLD STORAGE
5\"/>

REFER TO SHEET NO. 0 FOR LINTEL, BEAMS AND DOOR SIZES

SPACE CONVENTIONAL FLOOR JOISTS @ 12\"/>

REFER TO FLOOR FRAMING SHOP DRAWINGS FOR ENGINEERED FRAMING LAYOUTS

ALL SUBFLOORS TO BE 3/4\"/>

BASEMENT PLAN "I"

THE ENGINEER OF RECORD SHALL PROVIDE THE BUILDING INSPECTOR WITH A FIELD REVIEW REPORT



CITY OF RICHMOND HILL
BUILDING DIVISION
08/21/2024
REVISED
Per: **KER**

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1.	UPDATED FROM VALLEYCREEK 11	MAR 2023

REVISIONS

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR
NAME
28770
SIGNATURE
BCIN

SHEET TITLE
**BASEMENT PLAN
ELEVATION 1**

LOT	AREA	BY
-	2,725 SQ.FT.	V.G.

PROJECT NAME
TRINIGROUP

Region Design Inc. 8700 Dufferin St. Concord, Ontario L4K 4S6 (416) 736-4096 fax (905) 660-0746	REGION DESIGN INC.
--	-----------------------------------

Contractor shall check all dimensions and elevations before commencing with work and report any discrepancies to the designer. Prints are not to be scaled.

Greenpark™

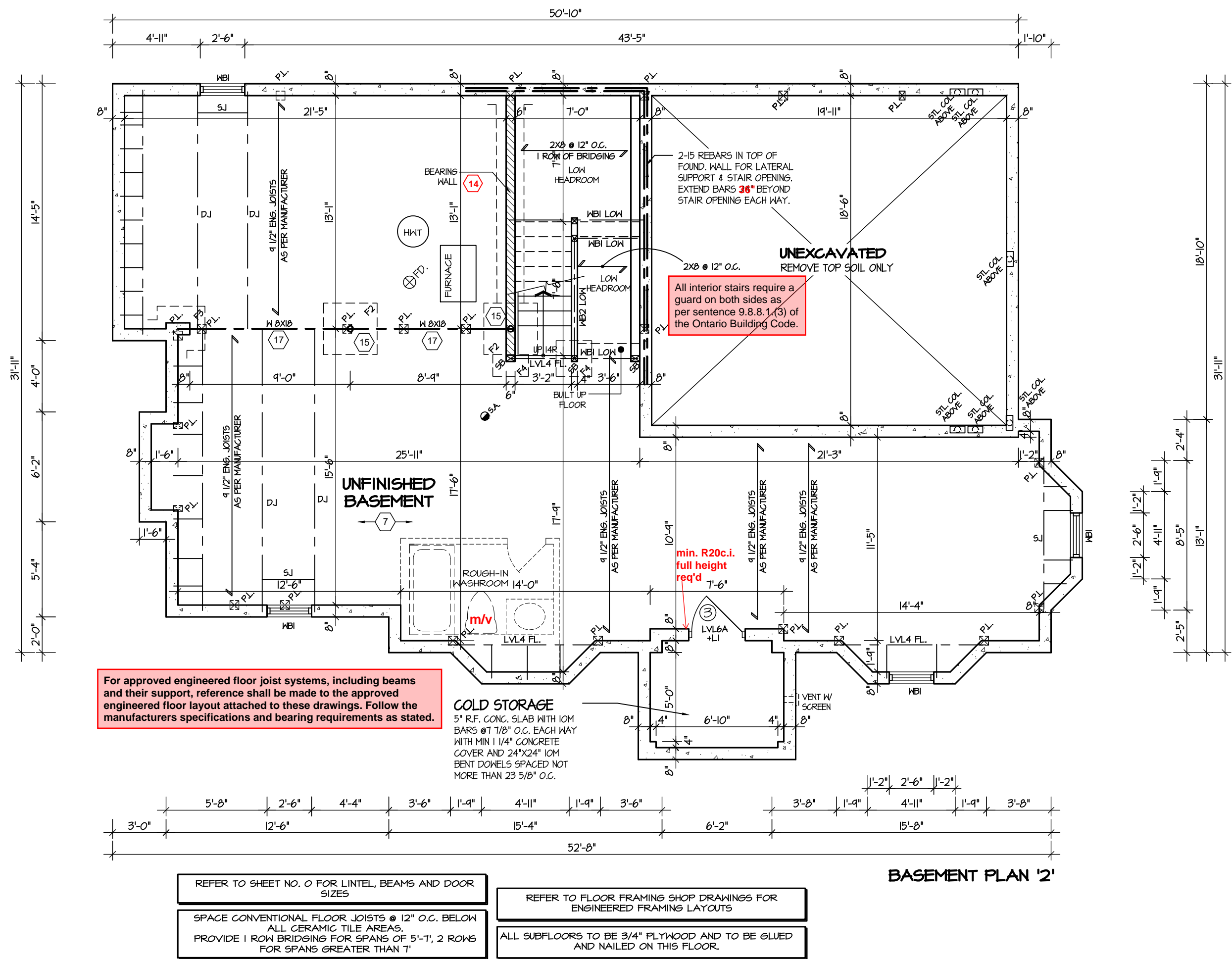
DATE	MAR 2023	PAGE NO.	1
SCALE	3/16"=1'-0"		
PROJECT NO.	--		

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VILLA 10

COMPLIANCE PACKAGE "A1"



CITY OF RICHMOND HILL
BUILDING DIVISION
08/21/2024
REVISED
Per: KER



Greenpark

DATE: MAR 2023
SCALE: 3/16"=1'-0"
PROJECT NO.: --
PAGE NO.: 1-2

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1.	UPDATED FROM VALLEYCREEK 11	MAR 2023

REVISIONS

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QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR
NAME
28770
SIGNATURE
BCIN

SHEET TITLE

BASEMENT PLAN ELEVATION 2

LOT	AREA	BY
-	2,725 SQ.FT.	V.G.

PROJECT NAME

TRINIGROUP

Region Design Inc.
8700 Dufferin St.
Concord, Ontario
L4K 4S6
(416) 736-4096
fax (905) 660-0746

**REGION
DESIGN
INC.**

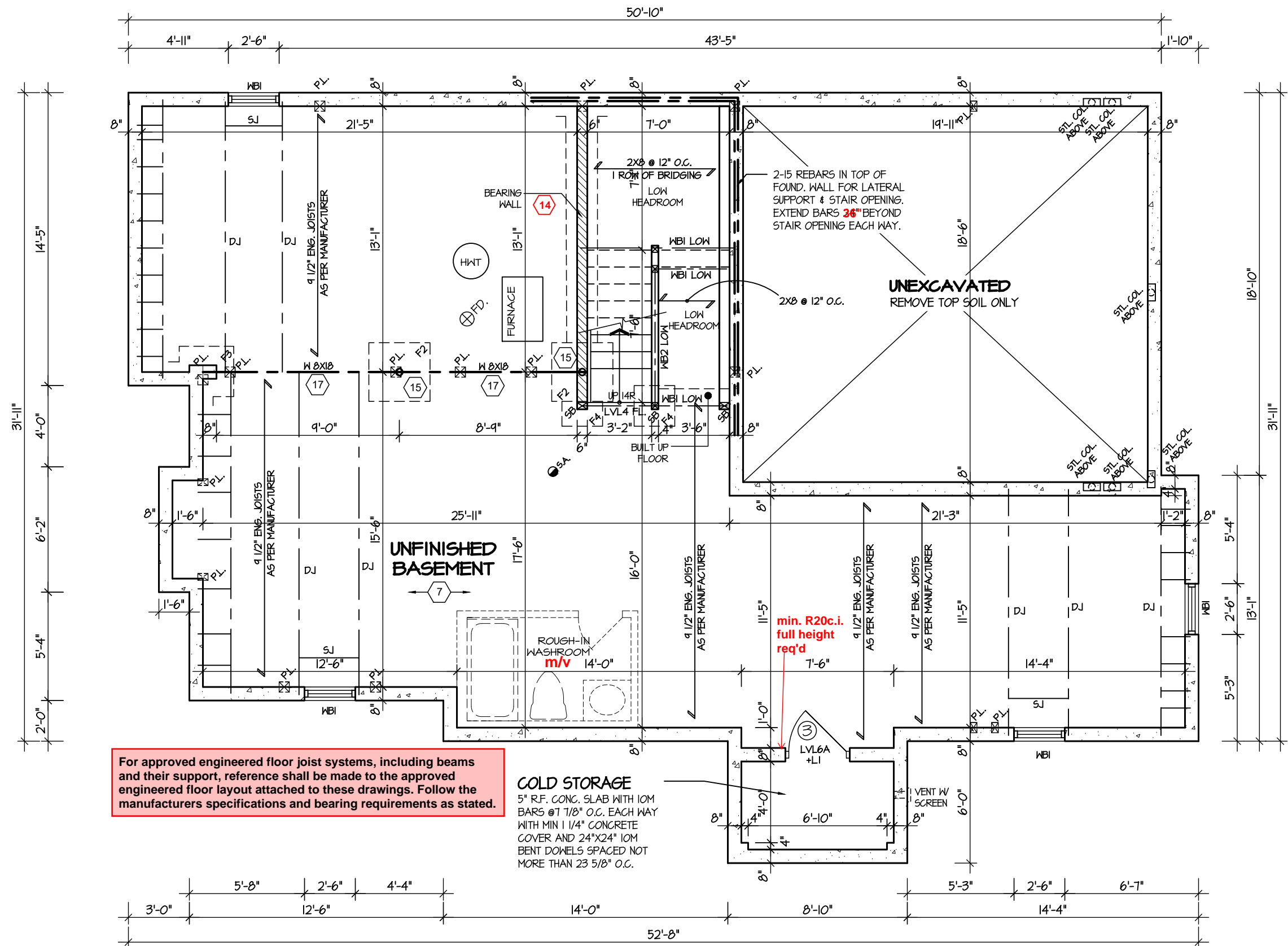
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VILLA 10

COMPLIANCE PACKAGE "A1"



For approved engineered floor joist systems, including beams and their support, reference shall be made to the approved engineered floor layout attached to these drawings. Follow the manufacturers specifications and bearing requirements as stated.

COLD STORAGE
5" R.F. CONC. SLAB WITH 10M BARS @ 7 1/8" O.C. EACH WAY WITH MIN 1 1/4" CONCRETE COVER AND 24"x24" 10M BENT DOWNELS SPACED NOT MORE THAN 23 5/8" O.C.

REFER TO SHEET NO. 0 FOR LINTEL, BEAMS AND DOOR SIZES

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

REFER TO FLOOR FRAMING SHOP DRAWINGS FOR ENGINEERED FRAMING LAYOUTS

ALL SUBFLOORS TO BE 3/4" PLYWOOD AND TO BE GLUED AND NAILED ON THIS FLOOR.

BASEMENT PLAN '3'

CITY OF RICHMOND HILL
BUILDING DIVISION
08/21/2024
REVISED
Per: KER



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Greenpark

DATE: MAR 2023
SCALE: 3/16"=1'-0"
PROJECT NO.: --

PAGE NO.: 1-3

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1.	UPDATED FROM VALLEYCREEK 11	MAR 2023

REVISIONS

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QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR
NAME
SIGNATURE
28770
BCIN

SHEET TITLE
BASEMENT PLAN
ELEVATION 3

LOT: -
AREA: 2,725 SQ.FT.
BY: V.G.

PROJECT NAME
TRINIGROUP

Region Design Inc.
8700 Dufferin St.
Concord, Ontario
L4K 4S6
(416) 736-4096
fax (905) 660-0746

**REGION
DESIGN
INC.**

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COMPLIANCE PACKAGE "A1"



REVISIONS	
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QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

→

PROJECT NAME

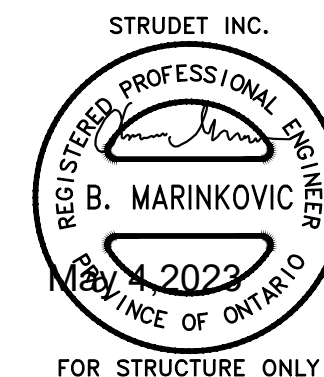
TRINIGROUP

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DATE	MAR 2023	PAGE NO.
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CITY OF RICHMOND HILL
BUILDING DIVISION
08/21/2024
REVISED
Per: KER

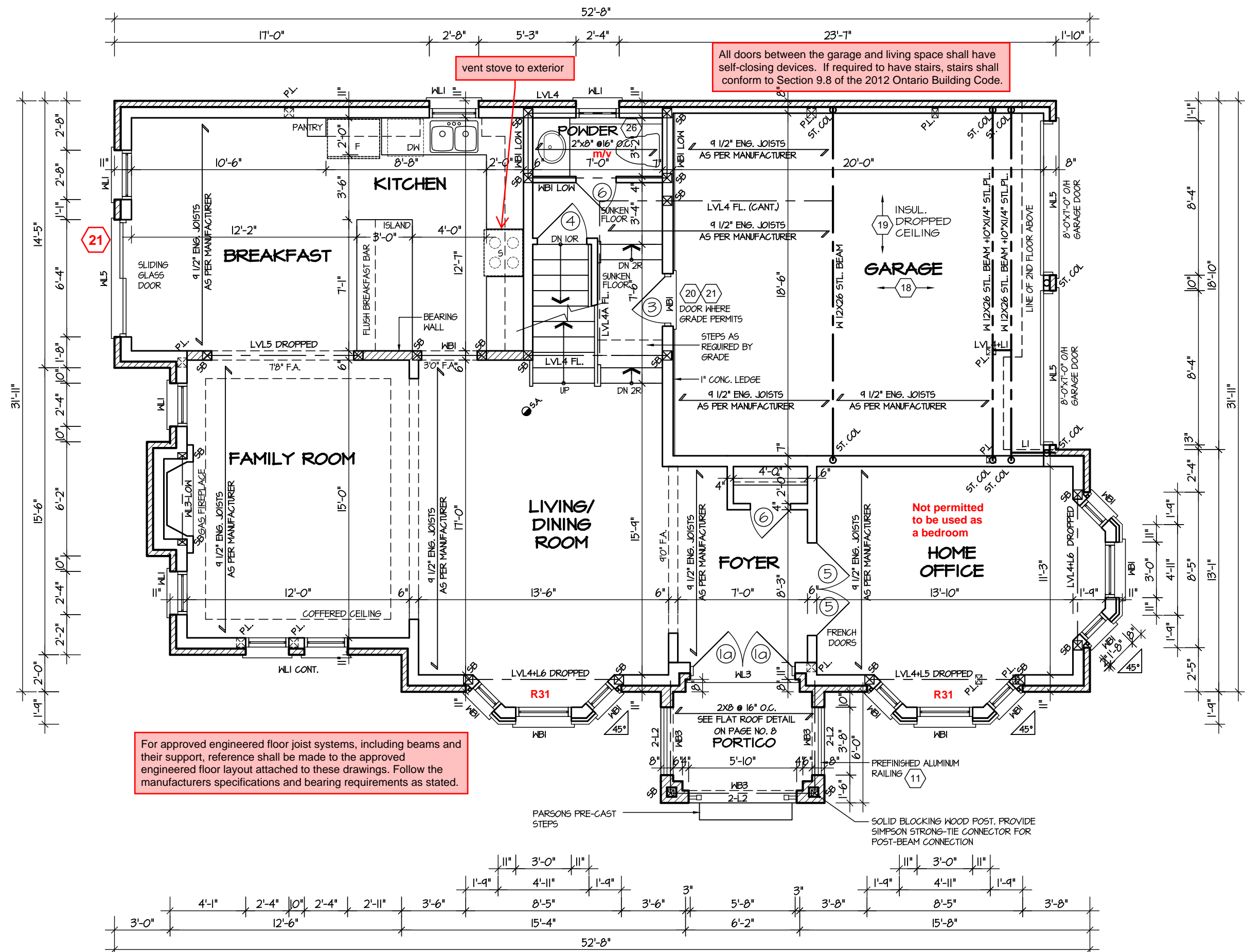


FOR STRUCTURE ONLY

VILLA 10
COMPLIANCE PACKAGE "A1"

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FIRST FLOOR PLAN 2

5.		
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1.	UPDATED FROM VALLEYCREEK 11	MAR 2023

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QUALIFICATION INFORMATION
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VIKAS GAJJAR
NAME
28770
BCIN

SHEET TITLE
FIRST FLOOR PLAN
ELEVATION 2

LOT	AREA	BY
-	2,725 SQ.FT.	V.G.

PROJECT NAME
TRINIGROUP

Region Design Inc.
8700 Dufferin St.
Concord, Ontario
L4K 4S6
(416) 736-4096
fax (905) 660-0746

**REGION
DESIGN
INC.**

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Greenpark™

DATE
MAR 2023

SCALE
3/16"=1'-0"

PROJECT NO.
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2-2

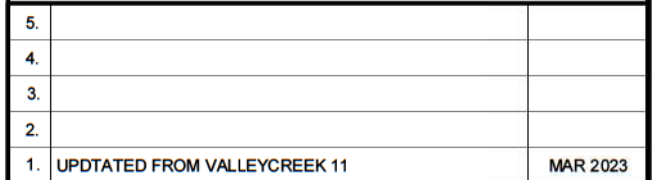
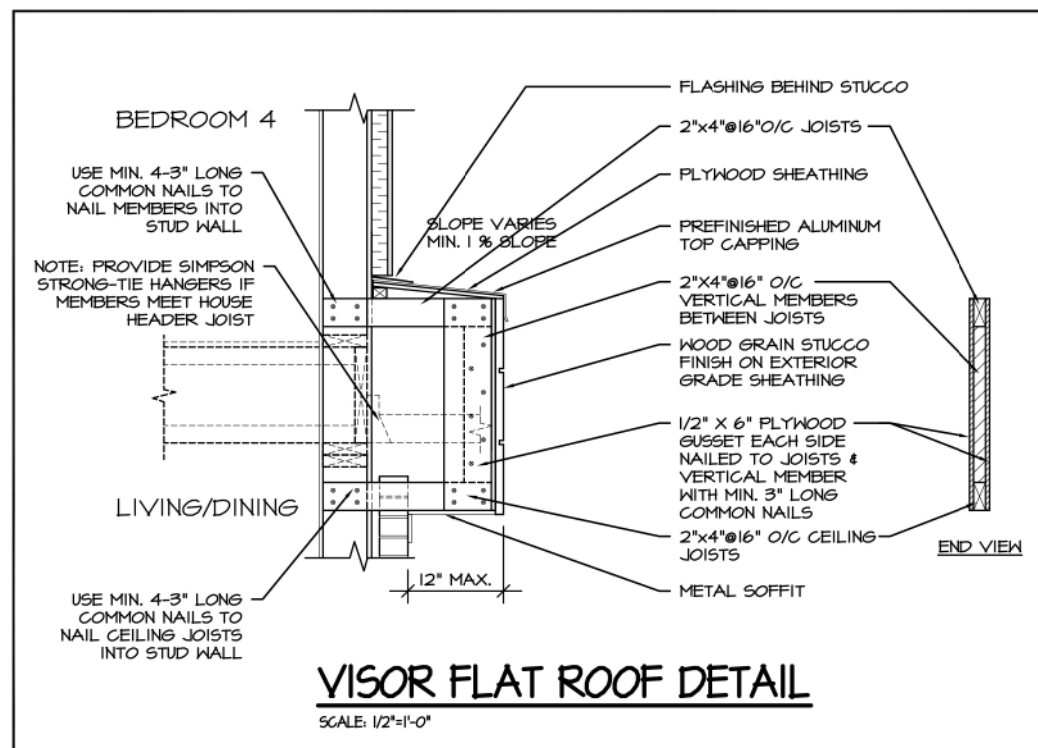
CITY OF RICHMOND HILL
BUILDING DIVISION
08/21/2024

REVISED
Per: KER



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SCALE	3/16"=1'-0"	2-3
PROJECT NO.		

REVISÉ
Per: KER

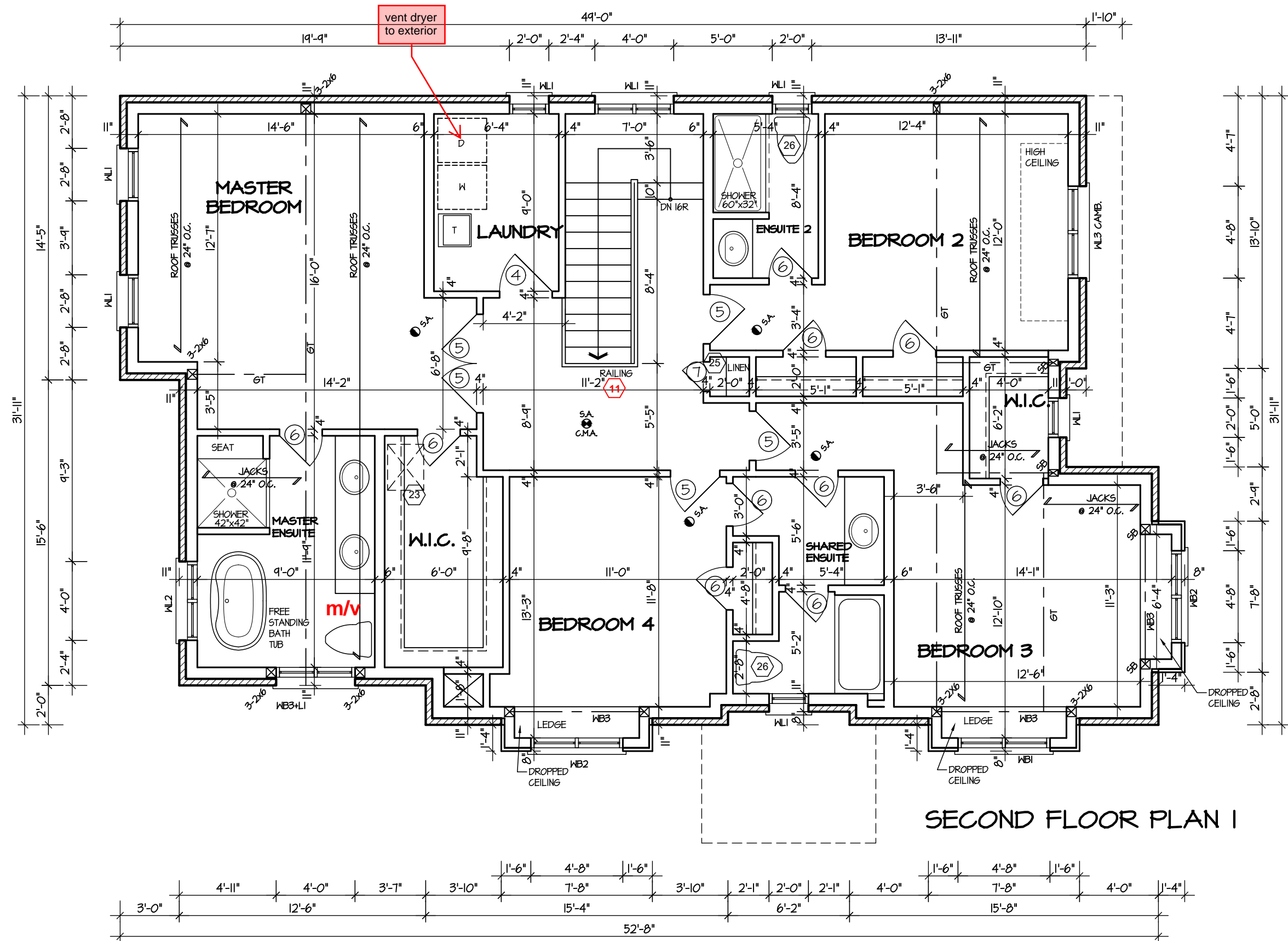
SCALE	3/16"=1'-0"	2-3
PROJECT NO.		

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VILLA 10

COMPLIANCE PACKAGE "A1"



SECOND FLOOR PLAN I

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1.	UPDATED FROM VALLEYCREEK 11	MAR 2023

REVISIONS

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QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR
NAME
28770
SIGNATURE
BCIN

SHEET TITLE
SECOND FLOOR PLAN
STANDARD - ELEV 1

LOT
-
AREA
2,725 SQ.FT.
BY
V.G.

PROJECT NAME
TRINIGROUP

Region Design Inc.
8700 Dufferin St.
Concord, Ontario
L4K 4S6
(416) 736-4096
fax (905) 660-0746

REGION DESIGN INC.

Contractor shall check all dimensions and elevations before commencing with work and report any discrepancies to the designer. Prints are not to be scaled.

Greenpark

DATE
MAR 2023
SCALE
3/16"=1'-0"
PROJECT NO.
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PAGE NO.
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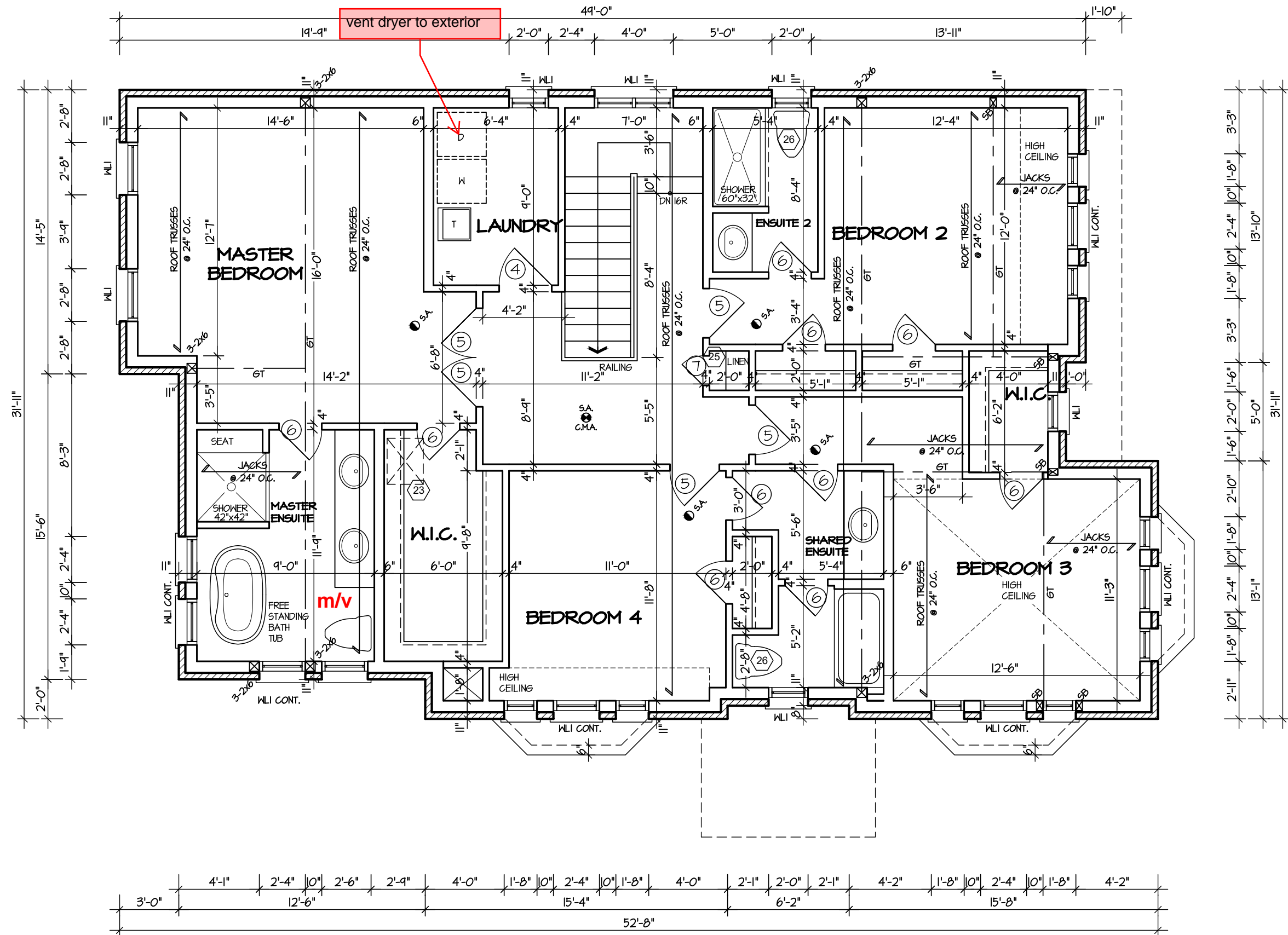


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VILLA 10

COMPLIANCE PACKAGE "A1"



SECOND FLOOR PLAN 2

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1.	UPDATED FROM VALLEYCREEK 11	MAR 2023

REVISIONS

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QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR
NAME
28770
SIGNATURE
BCIN

SHEET TITLE SECOND FLOOR PLAN ELEV 2 - STANDARD		
LOT -	AREA 2,725 SQ.FT.	BY V.G.

PROJECT NAME
TRINIGROUP

Region Design Inc. 8700 Dufferin St. Concord, Ontario L4K 4S6 (416) 736-4096 fax (905) 660-0746	REGION DESIGN INC.
--	-----------------------------------

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DATE MAR 2023	PAGE NO. 3-2
SCALE 3/16"=1'-0"	
PROJECT NO. --	



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VILLA 10

COMPLIANCE PACKAGE "A1"

STRUDET INC.



FOR STRUCTURE ONLY

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1.	UPDATED FROM VALLEYCREEK 11	MAR 2023

REVISIONS

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QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR
NAME
28770
SIGNATURE
BCIN

SHEET TITLE

SECOND FLOOR PLAN ELEVATION 3

LOT - AREA 2,725 SQ.FT. BY V.G.

PROJECT NAME
TRINIGROUP

Region Design Inc.
8700 Dufferin St.
Concord, Ontario
L4K 4S6
(416) 736-4096
fax (905) 660-0746

**REGION
DESIGN
INC.**

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Greenpark.

DATE MAR 2023 PAGE NO.

SCALE 3/16"=1'-0"

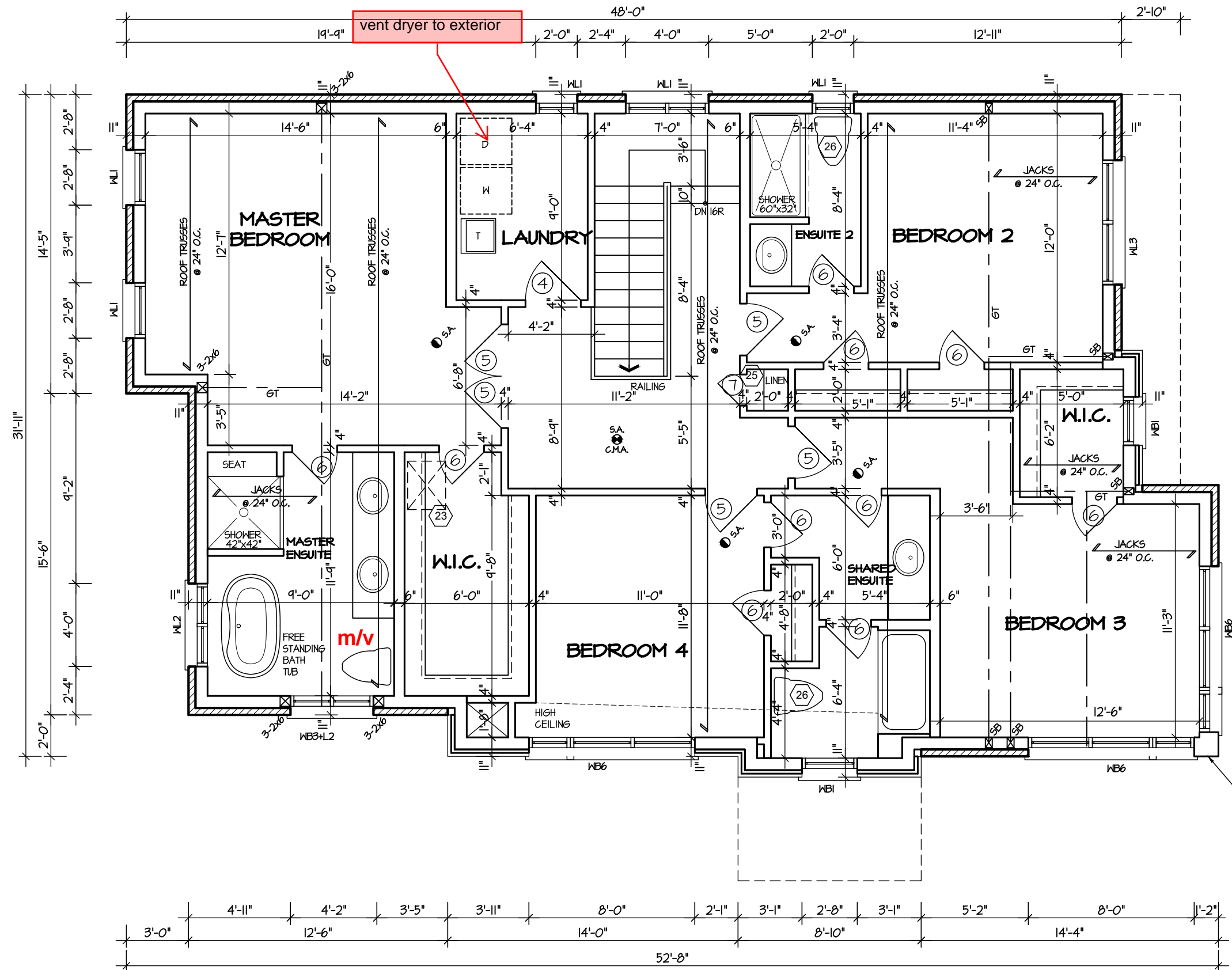
PROJECT NO. --

3-3

CITY OF RICHMOND HILL
BUILDING DIVISION

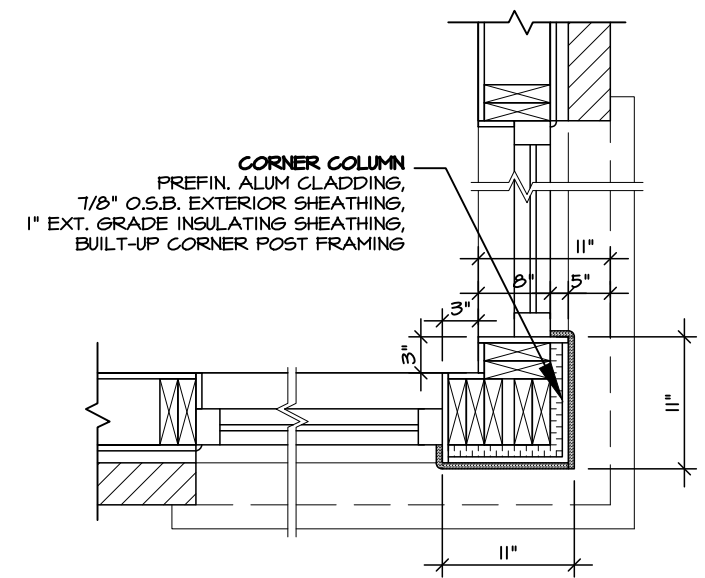
08/21/2024

REVISED
Per: KER



SECOND FLOOR PLAN 3

ALUM. CLAD TRIM
(COLOR TO MATCH WINDOW
FRAME) SEED DETAIL.



ALUM. CLAD CORNER
POST DETAIL

VILLA 10

COMPLIANCE PACKAGE "A1"

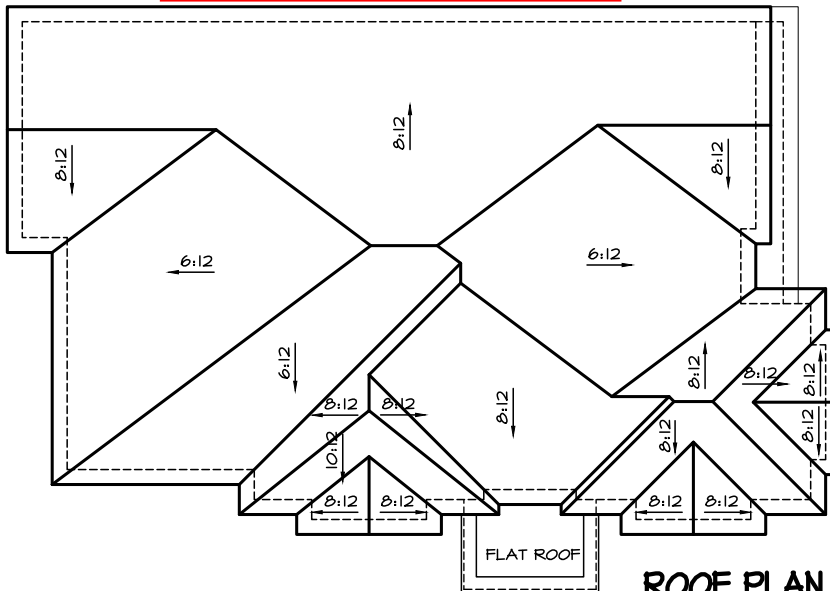
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City of Richmond Hill
Design Review

☐ Preliminary ☒ Final

15 Aug 2024 By: James Poulidis

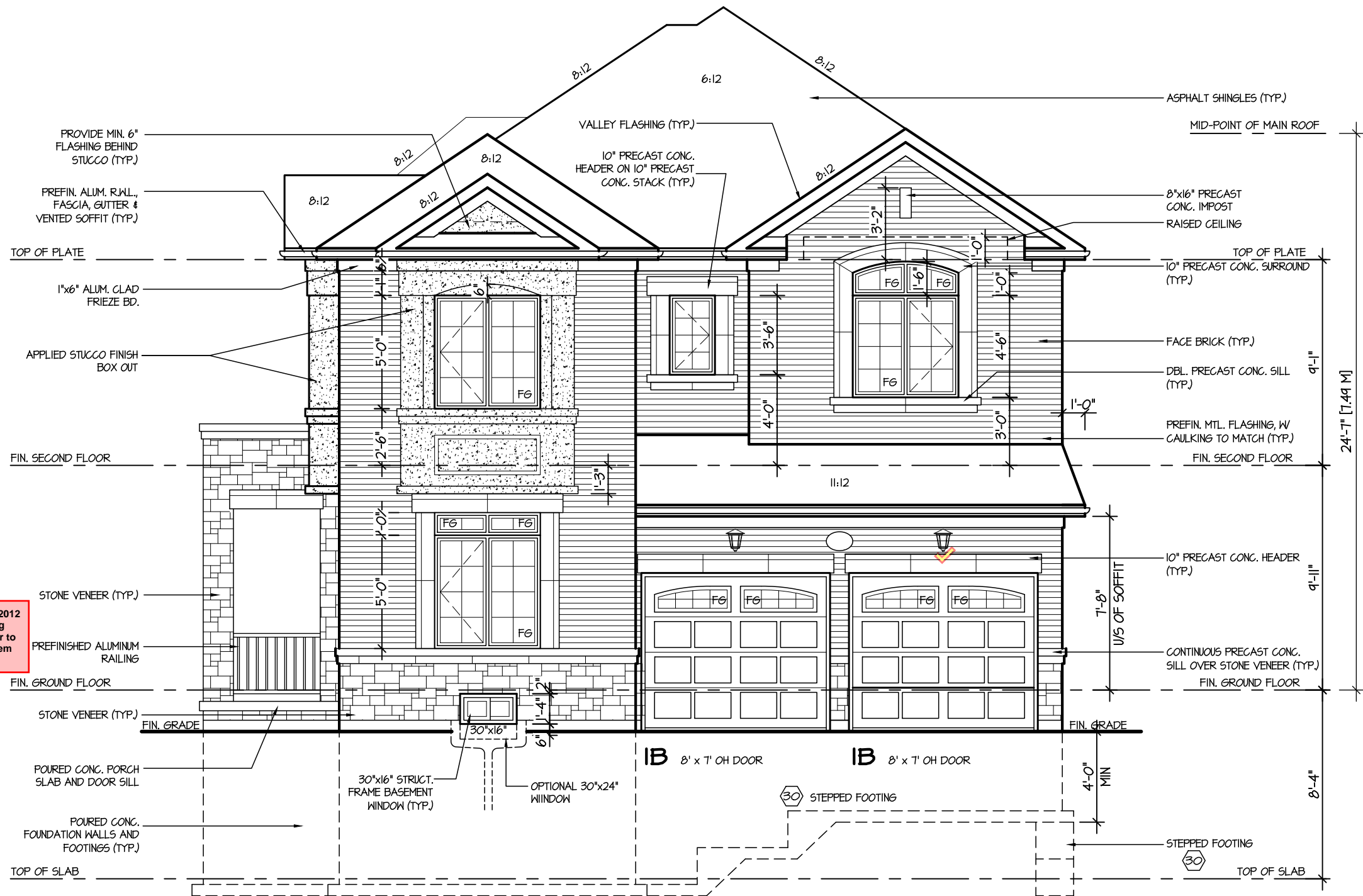
Attic ventilation min. 1 square foot /
300 square foot of ceiling area.
Locate 50% of ventilation near ridge.



ROOF PLAN I
SCALE- N.T.S.

Refer to approved truss
drawings for roof framing layout
and specifications for correct
bearing, uplift and anchorage.

Guards to meet the requirements of OBC 2012
SB-7. Submit CCMC Documents and P.Eng
stamped Shop Drawings for approval prior to
installation if elements of the guards system
contains non P.T Wood material, (typ).



FRONT ELEVATION I

5.		
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1.	UPDATED FROM VALLEYCREEK 11	MAR 2023

REVISIONS

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QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR
NAME
28770
BCIN
SIGNATURE

SHEET TITLE FRONT ELEVATION 1		
LOT -	AREA 2,725 SQ.FT.	BY V.G.
PROJECT NAME TRINIGROUP		

Region Design Inc. 8700 Dufferin St. Concord, Ontario L4K 4S6 (416) 736-4096 fax (905) 660-0746	REGION DESIGN INC.
--	-----------------------------------

Contractor shall check all dimensions and elevations before commencing with work and report any discrepancies to the designer. Prints are not to be scaled.

Greenpark.

DATE MAR 2023	PAGE NO. 4
SCALE 3/16"=1'-0"	
PROJECT NO. --	

CITY OF RICHMOND HILL
BUILDING DIVISION

08/21/2024

REVISED
Per: KER

VILLA 10

COMPLIANCE PACKAGE "A1"

15 Aug 2024 By: James Paulidis

ROOF PLAN 2
SCALE- N.T.S.



REVISIONS

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

SHEET TITLE

FRONT ELEVATION 2

PROJECT NAME	TRINIGROUP
--------------	------------

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DATE	MAR 2023	PAGE NO.
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SCALE	3/16"=1'-0"
PROJECT NO.	--

REVISÉ
Per: KER

VILLA 10

COMPLIANCE PACKAGE "A1"

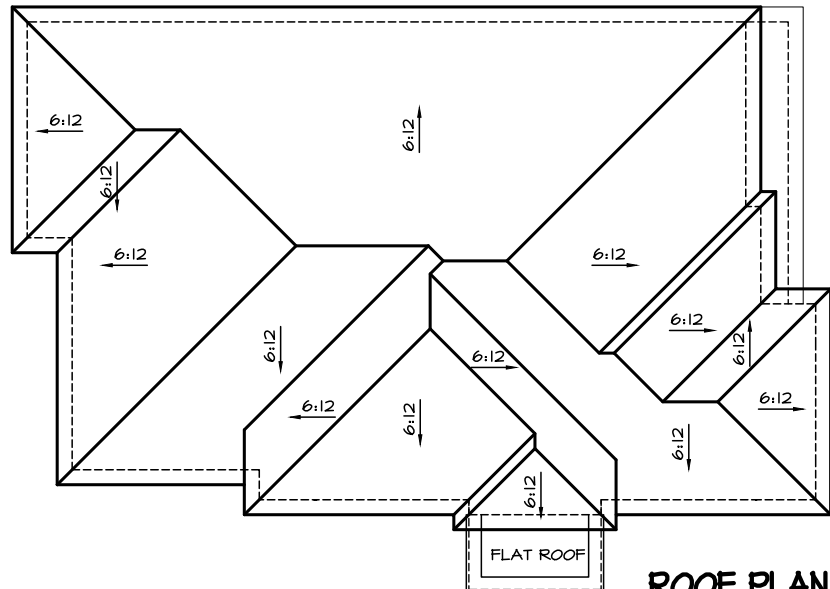
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City of Richmond Hill
Design Review

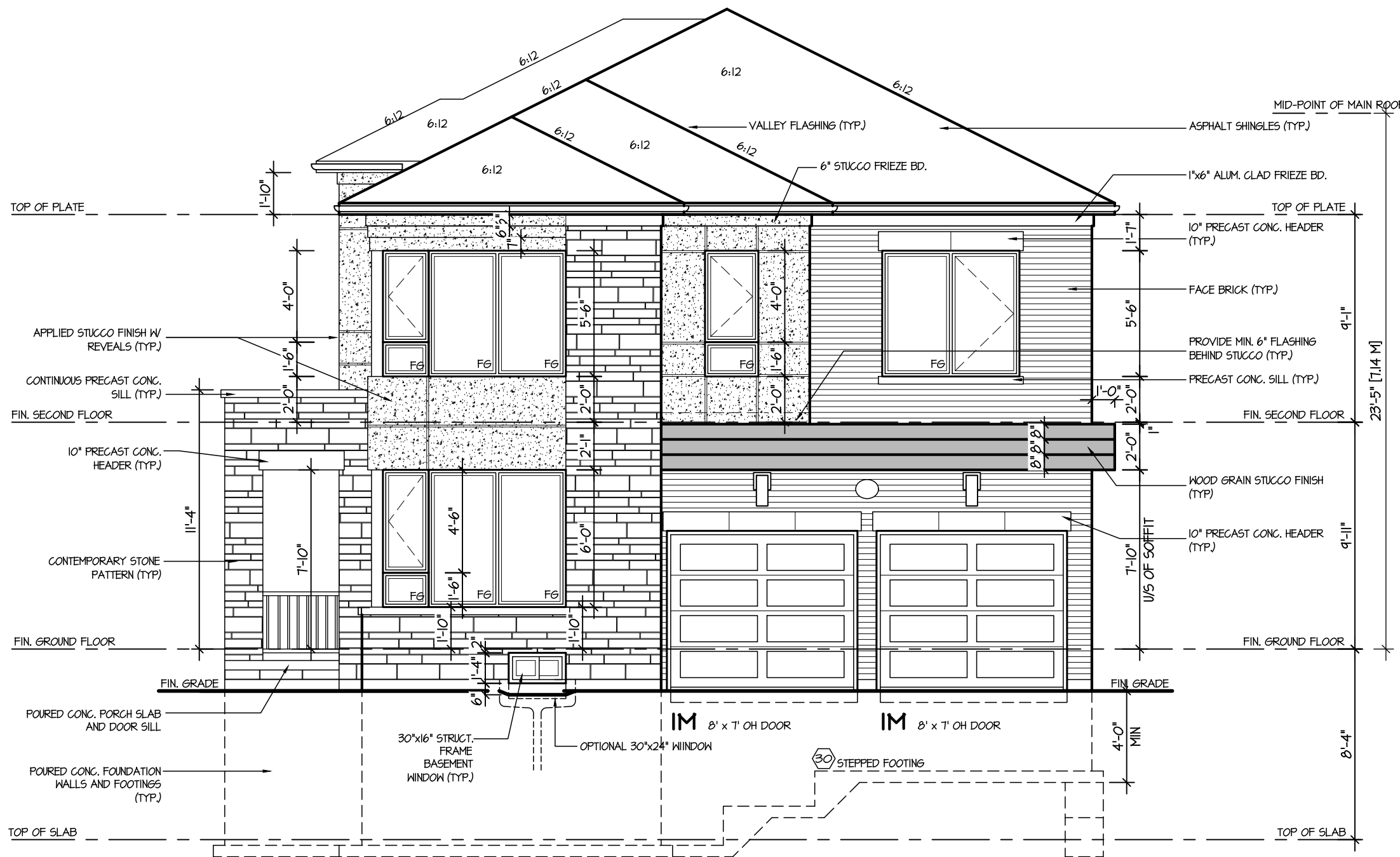
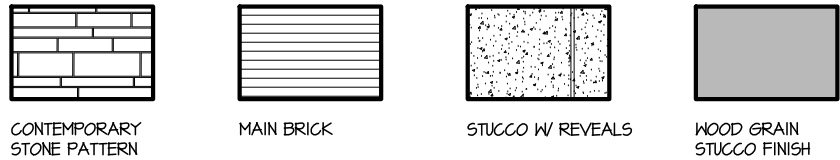
☐ Preliminary ☒ Final

15 Aug 2024 By: James Poulidis

Refer to approved truss drawings for roof framing layout and specifications for correct bearing, uplift and anchorage.



ROOF PLAN 3
SCALE- N.T.S.



FRONT ELEVATION 3

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3.		
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1.	UPDATED FROM VALLEYCREEK 11	MAR 2023

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VIKAS GAJJAR
NAME
28770
SIGNATURE
BCIN

SHEET TITLE
FRONT ELEVATION 3

LOT - AREA 2,725 SQ.FT. BY V.G.

PROJECT NAME
TRINIGROUP

Region Design Inc.
8700 Dufferin St.
Concord, Ontario
L4K 4S6
(416) 736-4096
fax (905) 660-0746



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DATE MAR 2023
SCALE 3/16"=1'-0"
PROJECT NO. --
PAGE NO. 4-3

CITY OF RICHMOND HILL
BUILDING DIVISION

08/21/2024

REVISED
Per: KER

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City of Richmond Hill
Design Review

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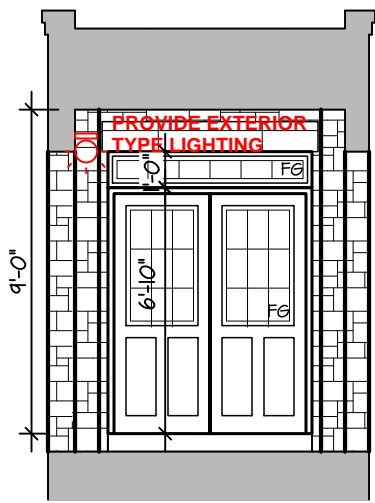
15 Aug 2024 By: James Poulidis

VILLA 10

COMPLIANCE PACKAGE "A1"



FLANKAGE ELEVATION I



INSIDE PORTICO
ELEVATION I

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4.		
3.		
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1.	UPDATED FROM VALLEYCREEK 11	MAR 2023

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VIKAS GAJJAR
NAME
28770
BCIN

SHEET TITLE		
LEFT ELEVATION ELEVATION 1		
LOT	AREA	BY
-	2,725 SQ.FT.	V.G

Region Design Inc. 8700 Dufferin St. Concord, Ontario L4K 4S6 (416) 736-4096 fax (905) 660-0746	REGION DESIGN INC.
--	-----------------------------------

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Greenpark

DATE	MAR 2023	PAGE NO.
SCALE	3/16"=1'-0"	
PROJECT NO.	--	

5

CITY OF RICHMOND HILL
BUILDING DIVISION

08/21/2024

REVISED
Per: KER

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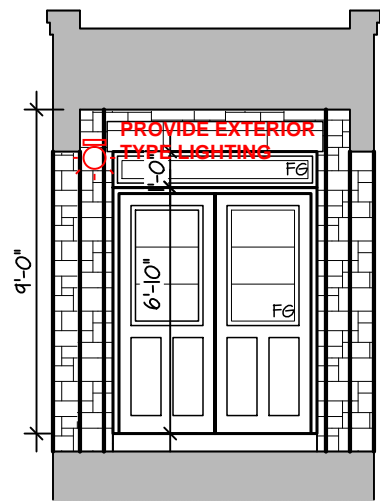
City of Richmond Hill
Design Review

☐ Preliminary ☒ Final

15 Aug 2024 By: James Poulidis

VILLA 10

COMPLIANCE PACKAGE "A1"



INSIDE PORTICO
ELEVATION 2

5.		
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NAME
28770
BCIN

SHEET TITLE		
LEFT ELEVATION ELEVATION 2		
LOT	AREA	BY
-	2,725 SQ.FT.	V.G.

PROJECT NAME
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Region Design Inc. 8700 Dufferin St. Concord, Ontario L4K 4S6 (416) 736-4096 fax (905) 660-0746	REGION DESIGN INC.
--	-----------------------------------

Contractor shall check all dimensions and elevations before commencing with work and report any discrepancies to the designer. Prints are not to be scaled.

Greenpark

DATE	MAR 2023	PAGE NO.
SCALE	3/16"=1'-0"	5-2
PROJECT NO.	--	

CITY OF RICHMOND HILL
BUILDING DIVISION

08/21/2024

REVISED
Per: KER

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May 4, 2023

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

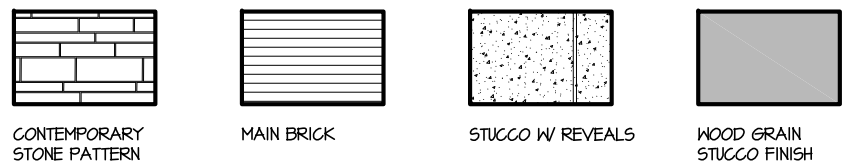
City of Richmond Hill
Design Review

☐ Preliminary ☒ Final

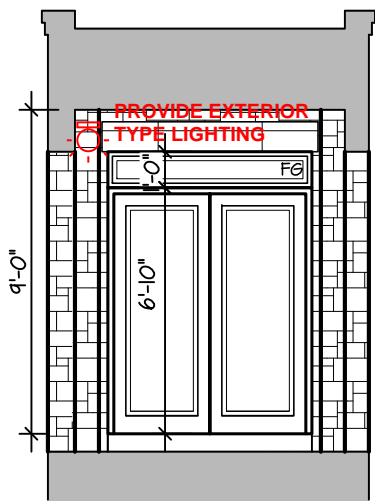
15 Aug 2024 By: James Poulidis

VILLA 10

COMPLIANCE PACKAGE "A1"



FLANKAGE ELEVATION 3



INSIDE PORTICO
ELEVATION 3

5.		
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1.	UPDATED FROM VALLEYCREEK 11	MAR 2023

REVISIONS

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR
NAME
28770
BCIN

SHEET TITLE LEFT ELEVATION ELEVATION 2		
LOT -	AREA 2,725 SQ.FT.	BY V.G.

PROJECT NAME
TRINIGROUP

Region Design Inc.
8700 Dufferin St.
Concord, Ontario
L4K 4S6
(416) 736-4096
fax (905) 660-0746

**REGION
DESIGN
INC.**

Contractor shall check all dimensions and elevations before commencing with work and report any discrepancies to the designer. Prints are not to be scaled.

Greenpark.

DATE MAR 2023	PAGE NO. 5-3
SCALE 3/16"=1'-0"	
PROJECT NO. --	

CITY OF RICHMOND HILL
BUILDING DIVISION

08/21/2024

REVISED
Per: KER

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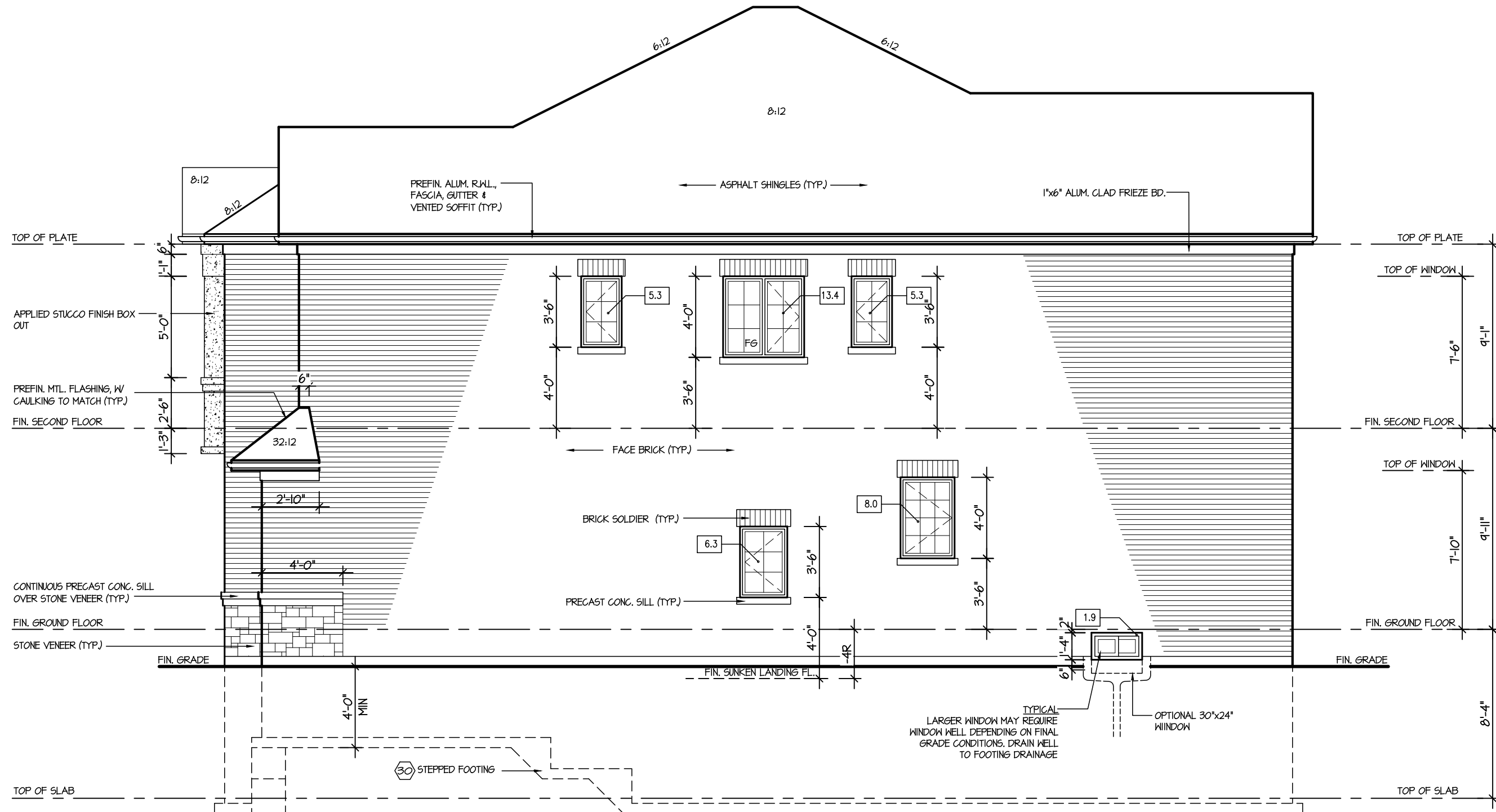
City of Richmond Hill
Design Review

☐ Preliminary ☒ Final

15 Aug 2024 By: James Poulidis

VILLA 10

COMPLIANCE PACKAGE "A1"



ALLOWABLE GLAZING			
WALL AREA	=	1047	Sq. Ft.
ALLOWABLE GLAZED AREA @ 7% 1.2 M SIDE YARD	=	76.19	Sq. Ft.
ACTUAL GLAZED AREA	=	40.2	Sq. Ft.
WITH OPTIONAL 30"x24" BASEMENT WINDOWS, ACTUAL GLAZED AREA	=	41.6	Sq. Ft.

RIGHT SIDE ELEVATION I

No unprotected openings permitted within 1.2 metres of the lot line as per 9.10.14 of the Ontario Building Code.

CITY OF RICHMOND HILL
BUILDING DIVISION

08/21/2024

REVISED
Per: KER

Greenpark

DATE MAR 2023

SCALE 3/16"=1'-0"

PROJECT NO. --

PAGE NO.

6

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1.	UPDATED FROM VALLEYCREEK 11	MAR 2023

REVISIONS

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QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR
NAME
28770
BCIN

SHEET TITLE
RIGHT ELEVATION
ELEVATION 1

LOT - AREA 2,725 SQ.FT. BY V.G.

PROJECT NAME
TRINIGROUP

Region Design Inc.
8700 Dufferin St.
Concord, Ontario
L4K 4S6
(416) 736-4096
fax (905) 660-0746

**REGION
DESIGN
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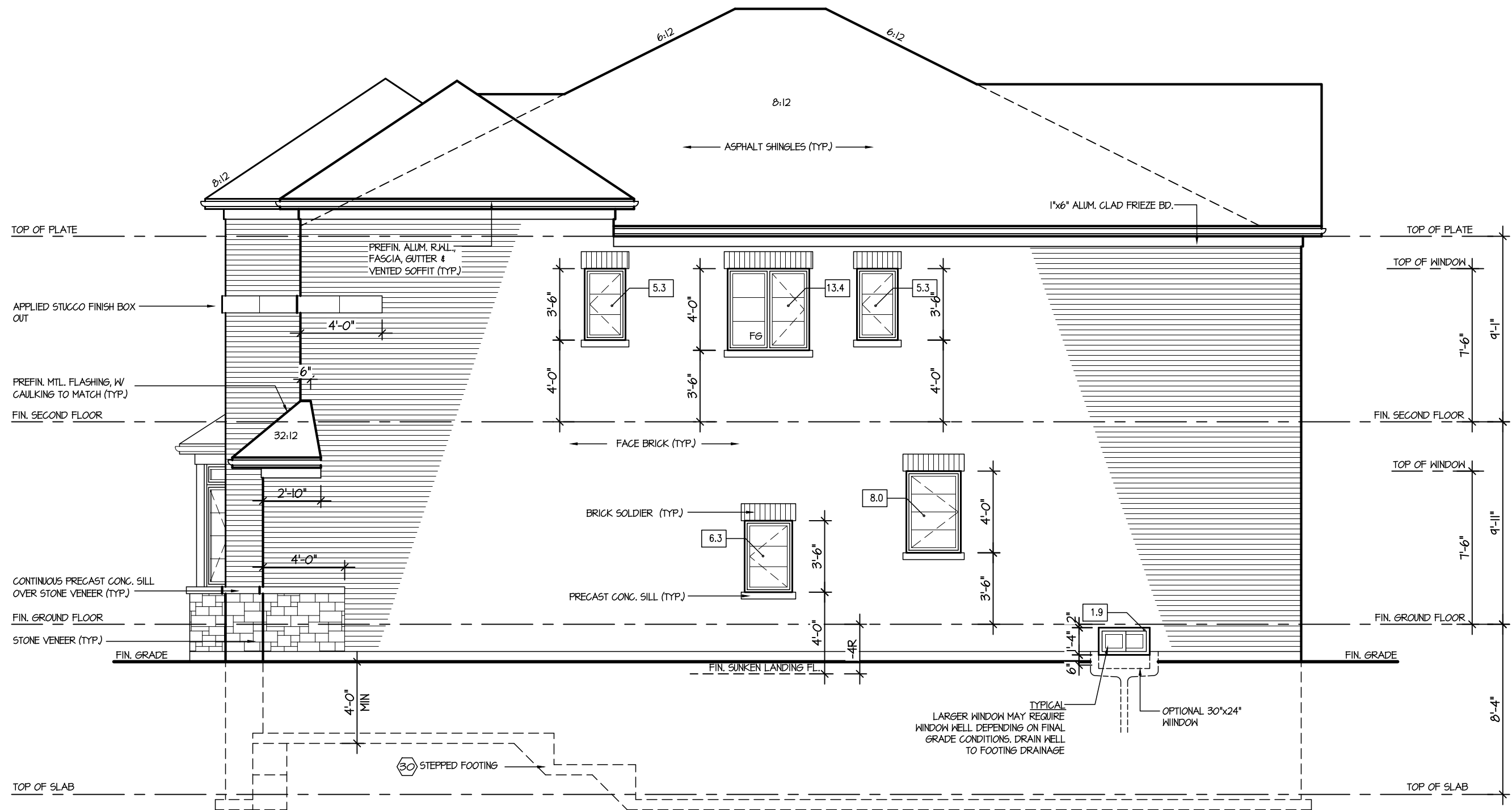
VILLA 10

COMPLIANCE PACKAGE "A1"

City of Richmond Hill
Design Review

☐ Preliminary ☒ Final

15 Aug 2024 By: James Poulidis



ALLOWABLE GLAZING			
WALL AREA	=	1091	Sq. Ft.
ALLOWABLE GLAZED AREA @ 1 & 1/2 M SIDE YARD	=	16.14	Sq. Ft.
ACTUAL GLAZED AREA	=	42.3	Sq. Ft.
WITH OPTIONAL 30"x24" BASEMENT WINDOWS ACTUAL GLAZED AREA	=	40.4	Sq. Ft.

RIGHT SIDE ELEVATION 2

No unprotected openings permitted within 1.2 metres of the lot line as per 9.10.14 of the Ontario Building Code.

CITY OF RICHMOND HILL
BUILDING DIVISION

08/21/2024

REVISED
Per: KER

Greenpark

DATE MAR 2023

SCALE 3/16"=1'-0"

PROJECT NO. --

PAGE NO.

6-2

REVISIONS

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR
NAME SIGNATURE 28770
BCIN

SHEET TITLE

RIGHT ELEVATION
ELEVATION 2

LOT - AREA 2,725 SQ.FT. BY V.G.

PROJECT NAME TRINIGROUP

Region Design Inc.
8700 Dufferin St.
Concord, Ontario
L4K 4S6
(416) 736-4096
fax (905) 660-0746

**REGION
DESIGN
INC.**

Contractor shall check all dimensions and elevations before commencing with work and report any discrepancies to the designer. Prints are not to be scaled.

M:\PROJECTS\TRINIGROUP\STANDARD\VILLA 10\VILLA 10 MASTER.DWG

9:48:44 AM

May 4, 2023

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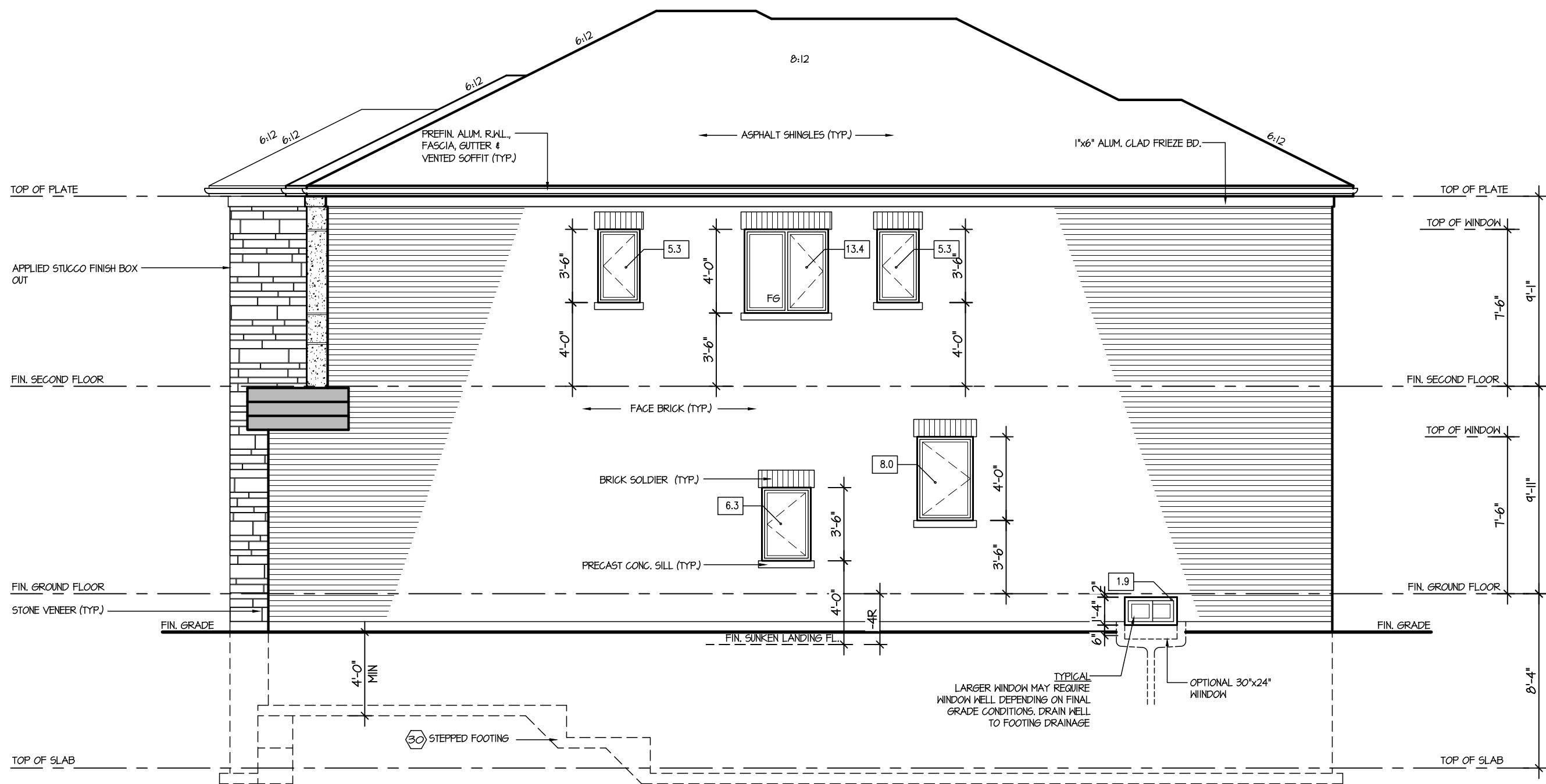
VILLA 10

COMPLIANCE PACKAGE "A1"

City of Richmond Hill
Design Review

☐ Preliminary ☒ Final

15 Aug 2024 By: James Poulidis



ALLOWABLE GLAZING			
WALL AREA	=	1091	Sq. Ft.
ALLOWABLE GLAZED AREA @ 1 & 1/2 M SIDE YARD	=	76.74	Sq. Ft.
ACTUAL GLAZED AREA	=	42.3	Sq. Ft.
WITH OPTIONAL 30"X24" BASEMENT WINDOWS, ACTUAL GLAZED AREA	=	40.4	Sq. Ft.

RIGHT SIDE ELEVATION 3

No unprotected openings permitted within 1.2 metres of the lot line as per 9.10.14 of the Ontario Building Code.

CITY OF RICHMOND HILL
BUILDING DIVISION

08/21/2024

REVISED
Per: KER

Greenpark

DATE MAR 2023

SCALE 3/16"=1'-0"

PROJECT NO. --

PAGE NO.

6-3

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1.	UPDATED FROM VALLEYCREEK 11	MAR 2023

REVISIONS

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR
NAME
28770
SIGNATURE
BCIN

SHEET TITLE		
RIGHT ELEVATION ELEVATION 3		
LOT	AREA	BY
-	2,725 SQ.FT.	V.G.

PROJECT NAME
TRINIGROUP

Region Design Inc. 8700 Dufferin St. Concord, Ontario L4K 4S6 (416) 736-4096 fax (905) 660-0746	REGION DESIGN INC.
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Contractor shall check all dimensions and elevations before commencing with work and report any discrepancies to the designer. Prints are not to be scaled.

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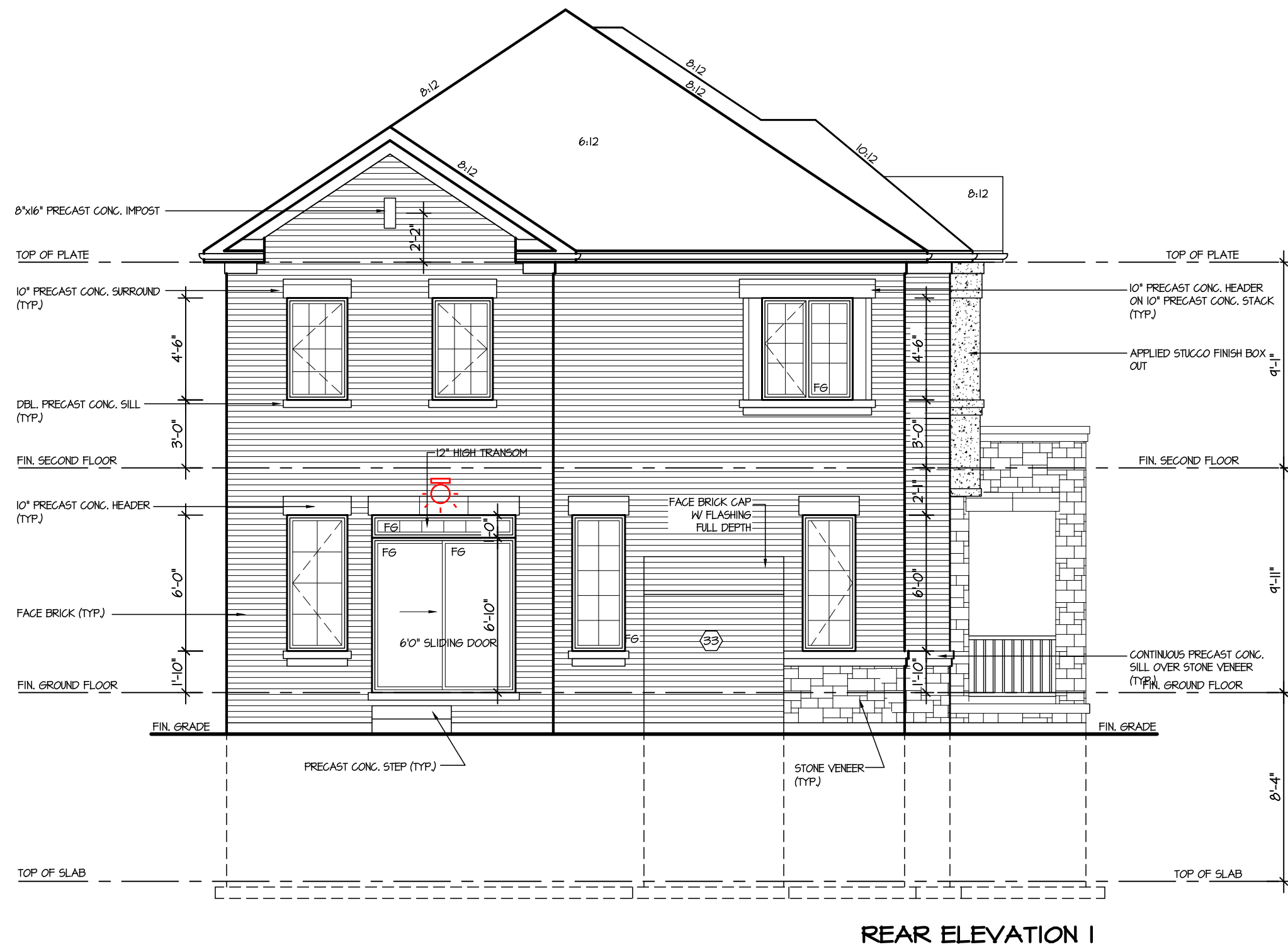
City of Richmond Hill
Design Review

☐ Preliminary ☒ Final

15 Aug 2024 By: James Poulidis

VILLA 10

COMPLIANCE PACKAGE "A1"



REAR ELEVATION I

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1.	UPDATED FROM VALLEYCREEK 11	MAR 2023

REVISIONS

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR
NAME
SIGNATURE
28770
BCIN

SHEET TITLE
REAR ELEVATION 1

LOT
-
AREA
2,725 SQ.FT.
BY
V.G.

PROJECT NAME
TRINIGROUP

Region Design Inc.
8700 Dufferin St.
Concord, Ontario
L4K 4S6
(416) 736-4096
fax (905) 660-0746

**REGION
DESIGN
INC.**

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Greenpark.

DATE
MAR 2023
SCALE
3/16"=1'-0"
PROJECT NO.
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PAGE NO.
7

CITY OF RICHMOND HILL
BUILDING DIVISION

08/21/2024

REVISED
Per: KER

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

City of Richmond Hill
Design Review

☐ Preliminary ☒ Final

15 Aug 2024 By: James Poulidis

VILLA 10

COMPLIANCE PACKAGE "A1"



REAR ELEVATION 2

5.		
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1.	UPDATED FROM VALLEYCREEK 11	MAR 2023

REVISIONS

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR
NAME
28770
SIGNATURE
BCIN

SHEET TITLE
REAR ELEVATION 2

LOT - AREA 2,725 SQ.FT. BY V.G.

PROJECT NAME
TRINIGROUP

Region Design Inc.
8700 Dufferin St.
Concord, Ontario
L4K 4S6
(416) 736-4096
fax (905) 660-0746

**REGION
DESIGN
INC.**

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DATE MAR 2023
SCALE 3/16"=1'-0"

PROJECT NO. --

7-2

CITY OF RICHMOND HILL
BUILDING DIVISION

08/21/2024

REVISED
Per: KER

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May 4, 2023

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City of Richmond Hill
Design Review

☐ Preliminary ☒ Final

15 Aug 2024 By: James Poulidis

VILLA 10

COMPLIANCE PACKAGE "A1"



REAR ELEVATION 3

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1.	UPDATED FROM VALLEYCREEK 11	MAR 2023

REVISIONS

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR
NAME
28770
SIGNATURE
BCIN

SHEET TITLE

REAR ELEVATION 2

LOT	AREA	BY
-	2,725 SQ.FT.	V.G.

PROJECT NAME
TRINIGROUP

Region Design Inc. 8700 Dufferin St. Concord, Ontario L4K 4S6 (416) 736-4096 fax (905) 660-0746	REGION DESIGN INC.
--	-----------------------------------

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DATE	MAR 2023	PAGE NO.
SCALE	3/16"=1'-0"	7-2
PROJECT NO.	--	

CITY OF RICHMOND HILL
BUILDING DIVISION

08/21/2024

REVISED
Per: KER

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9:48:48 AM

May 4, 2023

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

VILLA 10

COMPLIANCE PACKAGE "A1"



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1.	UPDTATED FROM VALLEYCREEK 11	MAR 2023

REVISIONS

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QUALIFICATION INFORMATION
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VIKAS GAJJAR
NAME
SIGNATURE
28770
BCIN

SHEET TITLE
CROSS SECTION

LOT	AREA	BY
-	2,725 SQ.FT.	V.G.

PROJECT NAME
TRINIGROUP

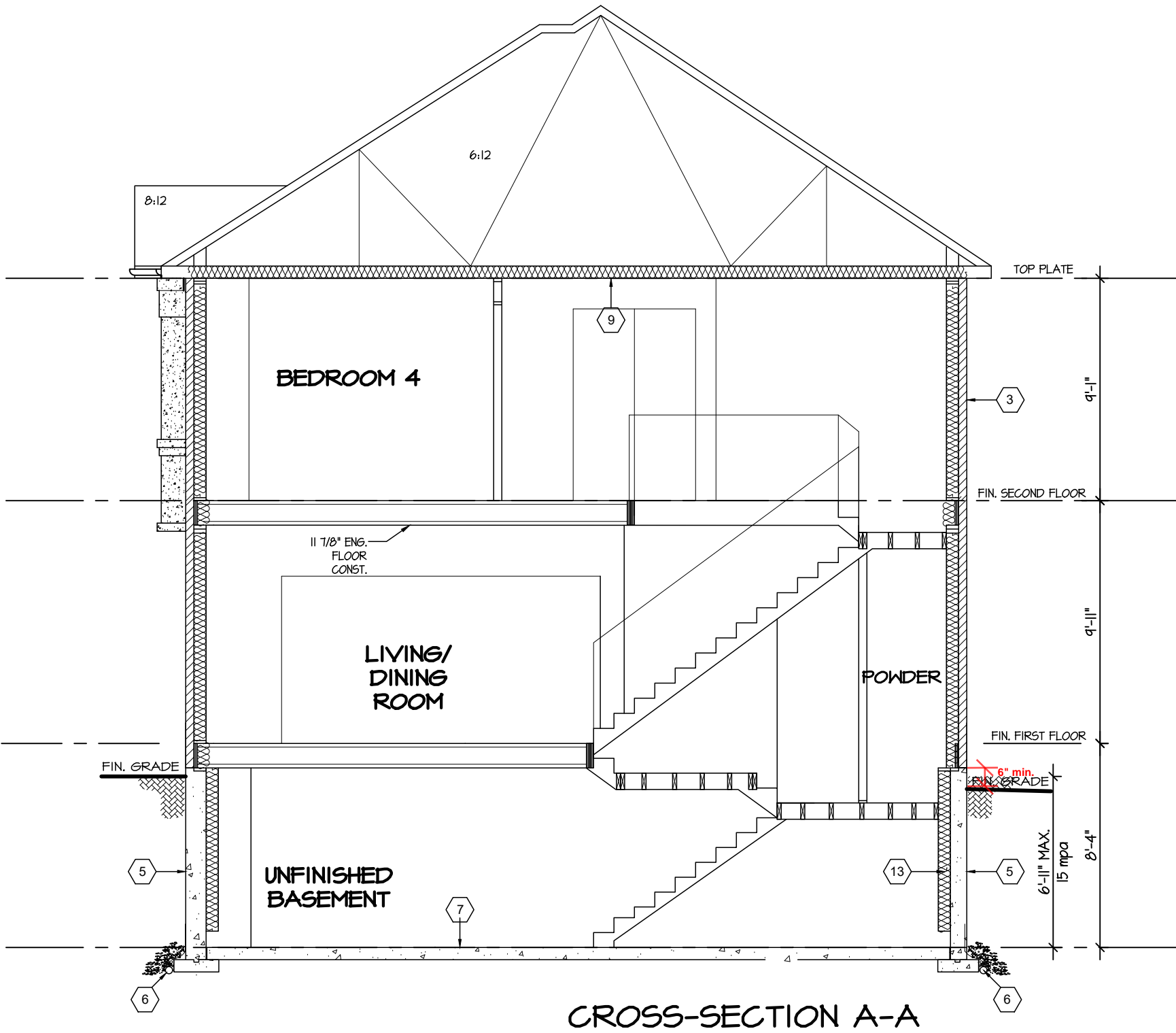
Region Design Inc.
8700 Dufferin St.
Concord, Ontario
L4K 4S6
(416) 736-4096
fax (905) 660-0746

**REGION
DESIGN
INC.**

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DATE	MAR 2023	PAGE NO.
SCALE	3/16"=1'-0"	8
PROJECT NO.	--	



CITY OF RICHMOND HILL
BUILDING DIVISION
08/21/2024
REVISED
Per: KER

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

REVISED
Per: KER

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City of Richmond Hill
Design Review

☐ Preliminary ☒ Final

15 Aug 2024 By: James Poulidis

VILLA 10

COMPLIANCE PACKAGE "A1"



REAR ELEVATION I

5.		
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1.	UPDATED FROM VALLEYCREEK 11	MAR 2023

REVISIONS

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR
NAME
28770
BCIN

SHEET TITLE REAR ELEVATION 1 DECK CONDITION		
LOT -	AREA 2,725 SQ.FT.	BY V.G.
PROJECT NAME TRINIGROUP		

Region Design Inc. 8700 Dufferin St. Concord, Ontario L4K 4S6 (416) 736-4096 fax (905) 660-0746	REGION DESIGN INC.
--	-----------------------------------

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DATE MAR 2023	PAGE NO. 10
SCALE 3/16"=1'-0"	
PROJECT NO. --	

CITY OF RICHMOND HILL
BUILDING DIVISION

08/21/2024

REVISED
Per: KER

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May 4, 2023

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City of Richmond Hill
Design Review

☐ Preliminary ☒ Final

15 Aug 2024 By: James Poulidis

VILLA 10

COMPLIANCE PACKAGE "A1"



REAR ELEVATION 2

5.		
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1.	UPDATED FROM VALLEYCREEK 11	MAR 2023

REVISIONS

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR
NAME
28770
SIGNATURE
BCIN

SHEET TITLE REAR ELEVATION 2 DECK CONDITION		
LOT -	AREA 2,725 SQ.FT.	BY V.G.

PROJECT NAME TRINIGROUP		
----------------------------	--	--

Region Design Inc. 8700 Dufferin St. Concord, Ontario L4K 4S6 (416) 736-4096 fax (905) 660-0746	REGION DESIGN INC.
--	-----------------------------------

Contractor shall check all dimensions and elevations before commencing with work and report any discrepancies to the designer. Prints are not to be scaled.

Greenpark.

DATE MAR 2023	PAGE NO. 10-2
SCALE 3/16"=1'-0"	
PROJECT NO. --	

CITY OF RICHMOND HILL
BUILDING DIVISION
08/21/2024
REVISED
Per: KER

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City of Richmond Hill
Design Review

☐ Preliminary ☒ Final

15 Aug 2024 By: James Poulidis

VILLA 10

COMPLIANCE PACKAGE "A1"



REAR ELEVATION 3

CITY OF RICHMOND HILL
BUILDING DIVISION

08/21/2024

REVISED
Per: KER

Greenpark

DATE MAR 2023 PAGE NO.

SCALE 3/16"=1'-0"

PROJECT NO.

10-3

REVISIONS

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR 28770
NAME SIGNATURE BCIN

SHEET TITLE
REAR ELEVATION 3
DECK CONDITION

LOT - AREA 2,725 SQ.FT. BY V.G.

PROJECT NAME
TRINIGROUP

Region Design Inc.
8700 Dufferin St.
Concord, Ontario
L4K 4S6
(416) 736-4096
fax (905) 660-0746

**REGION
DESIGN
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