



**GENERAL NOTES (PART 9 - RESIDENTIAL)**

PERMIT NO. **RM#24-00016**

All construction must comply with the Ontario Building Code (OBC) 2012 as amended, including but not limited to the following. As a minimum, the following requirements **shall** be incorporated in the final construction:

1. All footings shall rest on natural undisturbed soil or compacted granular fill with a minimum bearing capacity of 75 KPa (1570 psf) unless known capacity is less and provided for in the foundation design.

2. Step footings shall have a maximum rise of 600 mm (23 5/8") for firm soils, 400 mm (15 3/4") for sand or gravel and a minimum horizontal run of 600 mm (23 5/8").

3. Concrete for exterior steps, garage and carport floors and all exterior flat work shall have a minimum compressive strength of 32 MPa (4650 psi) at 28 days, with air entrainment of 5 to 8%. Concrete floors with no damp proofing shall have a minimum compressive strength of 25 MPa (3000 psi). All other concrete to be 15MPa (2200 psi).

4. Foundations and the soil beneath them shall be protected against freezing during winter construction. Where foundation walls require permanent lateral support, the wall shall be braced or laterally supported before backfilling.

5. When the unsupported height of a foundation wall exceeds 3.0 m (9'-10"), the wall shall be designed by an engineer in accordance with OBC Part 4.

6. Exterior concrete stairs with more than 2 steps shall be supported on unit masonry, concrete walls or piers not less than 150x150 (6"x6") with footings at 1.2 m (4') below grade.

7. Where the top of a foundation wall is reduced in thickness to permit the installation of masonry exterior facing, the reduced section shall be not less than 90 mm (3 1/2") thick and tied to the facing material with metal ties conforming to Sentence 9.20.9.4. (3), spaced not more than 200 mm (7 7/8") o.c. vertically and 900 mm (2'-11") o.c. horizontally. The space between the wall and masonry veneer shall be filled with mortar.

8. Provide continuous lateral support to top flange of all steel beams. Steel beams shall have minimum 90 mm (3 1/2") bearing length. Connections to other steel beams shall have a minimum of 2-M20 (3/4" dia.) A325 steel bolts or a full welded connection (with full shear capacity of beam). Steel beams supported on wood shall be designed by an Engineer.

9. Provide solid blocking support under all point loads and continue down to the foundation. Built-up columns shall comply with OBC 9.23.10.7. For engineered systems, follow manufacturer's specifications for correct blocking and bearing requirements.

10. Refer to the approved engineered layout drawings for engineered floor joist and roof truss systems, including beams and supports. Follow manufacturers specifications for bridging, bracing, bearing and connection requirements for built up beams or joists.

11. Tie the lower ends of roof rafters with continuous horizontal ties to the opposing rafters unless lateral thrust is otherwise specifically designed for.

12. Guards shall be constructed in accordance with Supplementary Standard 7 of the OBC or in conformance with OBC Part 4 (including design loads on guards). Min. guard height to comply with OBC 9.8.8. All guards to be non-climbable.

13. All masonry veneer ties shall be corrosion-resistant, minimum of 0.76 mm (0.03") thick, 22 mm (7/8") wide and be spaced in accordance with Table 9.20.9.5 of the OBC

14. Ceramic floor tile and its supporting floor shall be constructed in accordance to OBC 9.30.6.

15. For insulation values, window and door U-values and efficiency of appliances refer to SB-12 requirements: Prescriptive or Performance design or values specified by Energy Star requirements.

16. Foundation walls enclosing heated spaces shall be insulated to not more than 8" above the basement slab and an approved drainage layer is required on the exterior.

17. Exterior Insulated Finished System (EIFS) over wood framed wall and other moisture sensitive substrates shall consist of dual barrier with drained joints (DB/DJ). They shall be constructed in accordance to OBC 9.27.13 and shall conform to CAN/ULC-S716.1. All other exterior applied stucco finishes shall be constructed in accordance with OBC 9.28.

18. Stairs serving a house or dwelling unit shall have min. headroom of 1950 mm (6'-5"), min. width of 860 mm (2'-10"), max. rise of 200 mm (7 7/8") & min. 125 mm (4 7/8") and a min. run of 255 mm (10"). Tapered stairs shall have a min. average run of 255 mm (10") at the point of 300mm measured from the center of the handrail. The tolerance of stair dimensions shall conform to OBC 9.8.4.4. Secure stair stringers at top and bottom.
19. Basement ceiling height shall be min. 2.1 m (6'-11") over at least 75% of the area and 1.95 m. (6'-5") under beams and ducts.

20. Every floor level containing a bedroom shall be provided with at least 1 outside window with an operable unobstructed opening having a minimum area of 0.35 sq. m. (3.8 sq. ft.), with no dimension less than 380 mm (15"). Every floor level, requiring travel of more than 1 storey to an exit door, shall be provided with an unobstructed escape window opening of not less than 1 m. (3'-3") in height and 0.55 m (21 5/8") in width with the sill not more than 1 m (3'-3") above the floor and 7 m. (23') above adjacent ground level or that floor shall be provided with a balcony. Except for basement locations, all windows shall have a maximum sill height of 1 m. (3'-3") above the floor.

21. Provide window protection to minimize the hazard to children in accordance with OBC 9.7.1.6.

22. Exterior walls, which are less than 1.2 m (4'-0") from the lot line, shall have no unprotected opening and be constructed with a 3/4 hr. fire resistance rating. These walls shall be rated from the interior. Exterior walls, which are less than 0.6 m (2'-0") from the lot line, shall in addition have non-combustible cladding.

23. All entrance doors, doors between the dwelling unit and the attached garage, patio doors and windows within 2m (6'-7") of adjacent ground level shall conform to OBC Subsections 9.6.8 & 9.7.6 'Resistance to Forced Entry'.

24. Roof vents shall be provided on the basis of 1 sq. ft./300 sq. ft. of insulated ceiling area. Where the roof slope is less than 1 in 6 or in cathedral ceilings, roof vents shall be provided on the basis of 1 sq. ft./150 sq. ft. of insulated ceiling area. Roof vents shall be uniformly distributed to ventilate each roof space with a minimum of 25% of the required vent space to be located at the top and the bottom of the roof.

25. Eave protection is required, beneath the start strip, from the edge of the roof to a minimum distance of 900 mm (3'-0") up the roof slope to not less than 300 mm (12") inside the inner face of the exterior wall on shingled, shake or tile roofs except as provided by 9.26.5.1.(2).

26. Foamed plastic insulation shall be protected with interior finishes according to OBC 9.10.17.10.

27. The wall and ceiling between an attached garage and the dwelling unit shall be constructed and sealed so as to provide an effective barrier to exhaust fumes. Door between the garage and the dwelling unit shall be tight fitting, weather-stripped and equipped with a self closing device.

28. Smoke alarms shall be provided on each floor level and be located within each bedroom. Smoke alarms shall be interconnected and hard wired with no disconnect switch. Smoke alarms are required to have a visual signaling component conforming to NFPA 72.

29. A carbon monoxide detector conforming to CAN/CGA-6.19 or UL 2034 shall be installed on every building containing a fuel burning appliance or an attached garage in conformance with the OBC 9.33.4.

30. In addition to the above carbon monoxide detectors, Town of Richmond Hill By-law No. 245-99 requires that a carbon monoxide detector, equipped with an alarm that is audible within bedrooms when the intervening doors are closed and conforming to CAN/CGA-6.19 or UL 2034, be installed in accordance with the manufacturer's instructions in every dwelling unit. Where the carbon monoxide detector is electrically powered, it must be approved by the Canadian Standards Association and be equipped with a visual indicator indicating that it is in operating condition and have NO switch between the carbon monoxide alarm and the power distribution panel.

31. A mechanical ventilation system is required in every dwelling. An exhaust only' ventilation system is permitted only where forced air heating is used, there is no electric heating or fireplace (other than a direct vent gas fireplace), and where a mechanically vented induced draft or direct vented furnace and hot water tank are used. A ventilation system with a heat recovery ventilator or Part 6 design is required in all other cases.

32. All exterior doors greater than 600mm above grade which do not exit onto a deck shall be permanently adjusted to prevent opening as per 9.6.4.1(2) of the OBC or be guarded as per 9.8.8 of the OBC

33. The main bathroom shall have stud reinforcement to accommodate future installation of grab bars adjacent to water closets and shower or bathtub as per OBC 9.5.2.3.

34. Slopes on roof surfaces shall comply with OBC 9.26.3.1.

35. Windows shall comply with OBC 9.7

36. Exhaust ducts connected to laundry drying equipment shall comply with OBC 6.2.3.8. (7)

## STRIP FOOTINGS -

## FOR SINGLES &amp; SEMIS UP TO 2 STOREY

8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS  
20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.  
24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.

FOUNDATION WALLS WITH ENGINEERED JOISTS OVER 16' SPANS  
24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.

## FOOTINGS ON ENGINEERED FILL

24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING  
BELOW EXTERIOR WALLS.  
30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING  
BELOW PARTY WALLS.

(REFER TO FOOTING DETAILS ON ENGINEERED FILL)

ASSUME THE LARGER FOOTING SIZE  
WHEN TWO CONDITIONS APPLY

ASSUMED 120 KPa (18 p.s.i.) SOIL BEARING CAPACITY OR 90 KPa  
ENGINEERED SOIL FILL, TO BE VERIFIED ON SITE, **by a soil engineer report**

## PAD FOOTINGS

120 KPa NATIVE SOIL

90 KPa ENGINEERED FILL SOIL

F1 = 42"x42"x~~24~~" CONCRETE PAD F1 = 48"x48"x~~20~~" CONCRETE PAD  
F2 = 36"x36"x~~16~~" CONCRETE PAD F2 = 40"x40"x~~20~~" CONCRETE PAD  
F3 = 30"x30"x~~13~~" CONCRETE PAD F3 = 34"x34"x~~17~~" CONCRETE PAD  
F4 = 24"x24"x~~12~~" CONCRETE PAD F4 = 28"x28"x~~12~~" CONCRETE PAD  
F5 = 16"x16"x8" CONCRETE PAD F5 = 18"x18"x~~8~~" CONCRETE PAD  
(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)

## BRICK VENEER LINTELS

WL1 = 3'-1/2"x3'-1/2"x1/4" L (90x90x6.0L) + 2-2"x8" SPR. No.2  
WL2 = 4"x3'-1/2"x5/16" L (100x90x8.0L) + 2-2"x8" SPR. No.2  
WL3 = 5"x3'-1/2"x5/16" L (125x90x8.0L) + 2-2"x10" SPR. No.2  
WL4 = 6"x3'-1/2"x3/8" L (150x90x10.0L) + 2-2"x12" SPR. No.2  
WL5 = 6"x4"x3/8" L (150x100x10.0L) + 2-2"x12" SPR. No.2  
WL6 = 5"x3'-1/2"x5/16" L (125x90x8.0L) + 2-2"x12" SPR. No.2  
WL7 = 5"x3'-1/2"x5/16" L (125x90x8.0L) + 3-2"x10" SPR. No.2  
WL8 = 5"x3'-1/2"x5/16" L (125x90x8.0L) + 3-2"x12" SPR. No.2  
WL9 = 6"x4"x3/8" L (150x100x10.0L) + 3-2"x12" SPR. No.2

## LINTELS AND BEAMS

WB1 = 2-2"x8" SPR. No.2 (2-38x184 SPR. No.2)  
WB2 = 3-2"x8" SPR. No.2 (3-38x184 SPR. No.2)  
WB3 = 2-2"x10" SPR. No.2 (2-38x235 SPR. No.2)  
WB4 = 3-2"x10" SPR. No.2 (3-38x235 SPR. No.2)  
WB5 = 2-2"x12" SPR. No.2 (2-38x286 SPR. No.2)  
WB6 = 3-2"x12" SPR. No.2 (3-38x286 SPR. No.2)  
WB7 = 5-2"x12" SPR. No.2 (5-38x286 SPR. No.2)  
WB11 = 4-2"x10" SPR. No.2 (4-38x235 SPR. No.2)  
WB12 = 4-2"x12" SPR. No.2 (4-38x286 SPR. No.2)

## LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)  
LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)  
LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)  
LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)  
LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)  
LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)  
LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)  
LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)  
LVL6A = 1-1 3/4" x 11 7/8" (1-45x300)  
LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)  
LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)  
LVL7A = 4-1 3/4" x 11 7/8" (4-45x300)  
LVL8 = 2-1 3/4" x 14" (2-45x356)  
LVL9 = 3-1 3/4" x 14" (3-45x356)  
LVL10 = 2-1 3/4" x 18" (3-45x456)

LVL BEAMS SHALL BE VERSA-LAM 2.0E (Fb=2800psi MIN) OR  
EQUIVALENT.

## GLUE-LAMINATED LUMBER BEAMS

GLU1 = 3 1/8" X 11 7/8" (80 X 300)  
GLU2 = 5 1/8" X 11 7/8" (130 X 300)

## LOOSE STEEL LINTELS

L1 = 3'-1/2"x3'-1/2"x1/4" L (90x90x6.0L)  
L2 = 4"x3'-1/2"x5/16" L (100x90x8.0L)  
L3 = 5"x3'-1/2"x5/16" L (125x90x8.0L)  
L4 = 6"x3'-1/2"x3/8" L (150x90x10.0L)  
L5 = 6"x4"x3/8" L (150x100x10.0L)  
L6 = 7"x4"x3/8" L (175x100x10.0L)

## DOOR SCHEDULE

NOS	WIDTH	HEIGHT 8'-4" CEILING	HEIGHT 10' OR MORE CEILING	TYPE
1	2'-10"	6'-8"	8'-0"	INSULATED ENTRANCE DOOR
1a	2'-8"	6'-8"	8'-0"	INSULATED FRONT DOORS
2	2'-8"	6'-8"	8'-0"	WOOD & GLASS DOOR
3	2'-8"	6'-8"	8'-0"	EXTERIOR SLAB DOOR
4	2'-8"	6'-8"	8'-0"	INTERIOR SLAB DOOR
5	2'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR
6	2'-2"	6'-8"	8'-0"	INTERIOR SLAB DOOR
7	1'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR

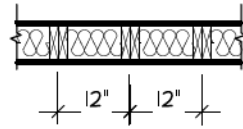
SPACE CONVENTIONAL FLOOR JOISTS @ 12"  
O.C. BELOW ALL CERAMIC TILE AREAS.  
PROVIDE 1 ROW BRIDGING FOR SPANS OF  
5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

REFER TO ROOF TRUSS SHOP DRAWINGS FOR  
ALL ROOF FRAMING INFORMATION

PLANS NOT DRAWN TO ACTUAL GRADE. REFER  
TO FINAL GRADING PLAN.

REFER TO FLOOR FRAMING SHOP DRAWINGS  
FOR ENGINEERED FRAMING LAYOUTS

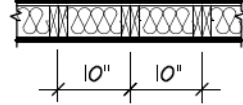
2-2"x6" STUD WALL NAILED TOGETHER AND  
SPACED @12" O.C. FULL HT C/W SOLID  
BLOCKING 4'-0" O.C. VERTICAL AND 7/16"  
EXT. PLYWOOD SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL  
FOR THIS DETAIL IS 18'-0"

## TWO STORY HEIGHT WALL DETAIL

2 - 1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E  
STUD WALL, GLUED AND NAILED TOGETHER  
AND SPACED MAX. @10" O.C. FULL HT C/W  
SOLID BLOCKING MAX. 8'-0" O.C. VERTICAL  
AND 7/16" EXT. OSB SHEATHING.



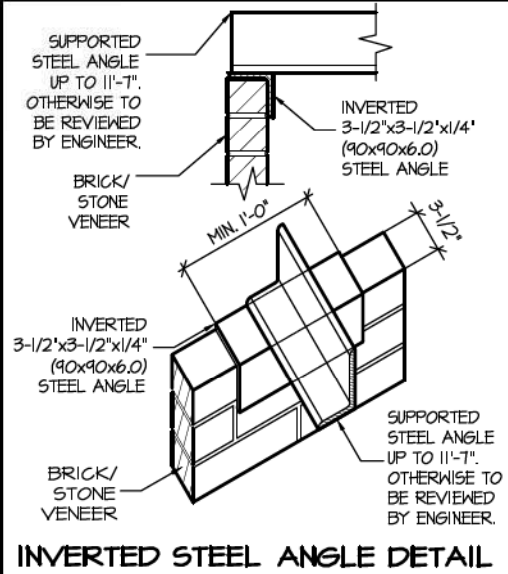
NOTE: MAXIMUM HEIGHT OF WALL FOR THIS  
DETAIL IS 20'-2" AND MAXIMUM WIDTH  
IS 40'-0"

## TWO STORY HEIGHT WALL DETAIL

THE MINIMUM THERMAL PERFORMANCE OF BUILDING  
ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE  
FOLLOWING **Refer to EEDS**

## COMPLIANCE PACKAGE "A1"

COMPONENT	NOTE
CEILING WITH ATTIC SPACE MINIMUM RSI (R) VALUE	10.51 (R60)
CEILING WITHOUT ATTIC SPACE MINIMUM RSI (R) VALUE	5.46 (R31)
EXPOSE FLOOR MINIMUM RSI (R) VALUE	5.46 (R31)
WALLS ABOVE GRADE MINIMUM RSI (R) VALUE	3.81 (R22)
BASEMENT WALLS MINIMUM RSI (R) VALUE	3.52 (R20 BLANKET)
HEATED SLAB OR SLAB ≤ 600mm BELOW GRADE MINIMUM RSI (R) VALUE	1.76 (R10)
WINDOWS & SLIDING GLASS DOORS MAXIMUM U-VALUE	ENERGY RATING = 25, MAX. U=0.28
SPACE HEATING EQUIPMENT MINIMUM AFUE	96%
HRV MINIMUM EFFICIENCY	75%
HOT WATER TANK	MIN. EF 0.80



## AREA CALCULATIONS

	ELEV. 1
GROUND FLOOR AREA	= 1523 Sq. Ft.
SECOND FLOOR AREA	= 1692 Sq. Ft.
TOTAL FLOOR AREA	= 3215 Sq. Ft.
	298.68 Sq. M.
1ST FLOOR OPEN AREA	= 0 Sq. Ft.
2ND FLOOR OPEN AREA	= 15 Sq. Ft.
ADD TOTAL OPEN AREAS	= 15 Sq. Ft.
ADD FIN. BASEMENT AREA	= 0 Sq. Ft.
GROSS FLOOR AREA	= 3230 Sq. Ft.
	300.08 Sq. M.
GROUND FLOOR COVERAGE	= 1523 Sq. Ft.
GARAGE COVERAGE / AREA	= 417 Sq. Ft.
PORCH COVERAGE / AREA	= 63 Sq. Ft.
TOTAL COVERAGE W/ PORCH	= 2003 Sq. Ft.
	186.08 Sq. m.
TOTAL COVERAGE W/O PORCH	= 1940 Sq. Ft.
	180.23 Sq. m.

## AREA CALCULATIONS

	ELEV. 2
GROUND FLOOR AREA	= 1517 Sq. Ft.
SECOND FLOOR AREA	= 1706 Sq. Ft.
TOTAL FLOOR AREA	= 3223 Sq. Ft.
	299.43 Sq. M.
1ST FLOOR OPEN AREA	= 0 Sq. Ft.
2ND FLOOR OPEN AREA	= 15 Sq. Ft.
ADD TOTAL OPEN AREAS	= 15 Sq. Ft.
ADD FIN. BASEMENT AREA	= 0 Sq. Ft.
GROSS FLOOR AREA	= 3238 Sq. Ft.
	300.82 Sq. M.
GROUND FLOOR COVERAGE	= 1517 Sq. Ft.
GARAGE COVERAGE / AREA	= 417 Sq. Ft.
PORCH COVERAGE / AREA	= 164 Sq. Ft.
TOTAL COVERAGE W/ PORCH	= 2098 Sq. Ft.
	194.91 Sq. m.
TOTAL COVERAGE W/O PORCH	= 1934 Sq. Ft.
	179.67 Sq. m.

## AREA CALCULATIONS

	ELEV. 3
GROUND FLOOR AREA	= 1517 Sq. Ft.
SECOND FLOOR AREA	= 1692 Sq. Ft.
TOTAL FLOOR AREA	= 3209 Sq. Ft.
	298.13 Sq. M.
1ST FLOOR OPEN AREA	= 0 Sq. Ft.
2ND FLOOR OPEN AREA	= 15 Sq. Ft.
ADD TOTAL OPEN AREAS	= 15 Sq. Ft.
ADD FIN. BASEMENT AREA	= 0 Sq. Ft.
GROSS FLOOR AREA	= 3224 Sq. Ft.
	299.52 Sq. M.
GROUND FLOOR COVERAGE	= 1517 Sq. Ft.
GARAGE COVERAGE / AREA	= 417 Sq. Ft.
PORCH COVERAGE / AREA	= 63 Sq. Ft.
TOTAL COVERAGE W/ PORCH	= 1997 Sq. Ft.
	185.53 Sq. m.
TOTAL COVERAGE W/O PORCH	= 1934 Sq. Ft.
	179.67 Sq. m.

THE ENGINEER OF RECORD SHALL  
PROVIDE THE BUILDING INSPECTOR  
WITH A FIELD REVIEW REPORT

STRUDET INC.



FOR STRUCTURE ONLY

CITY OF RICHMOND HILL  
BUILDING DIVISION

08/20/2024

REVISED  
Per: KER

It is the builder's complete responsibility to  
ensure that all plans submitted for approval  
fully comply with the Architectural Guidelines  
and all applicable regulations and requirements  
including zoning provisions and any provisions  
in the subdivision agreement. The Control  
Architect is not responsible in any way for  
examining or approving site (lotting) plans or  
working drawings with respect to any zoning or  
building code or permit matter or that any  
house can be properly built or located on its lot.

This is to certify that these plans comply  
with the applicable Architectural Design  
Guidelines approved by the City of  
Richmond Hill.

W Architect Inc.

DESIGN CONTROL REVIEW

NOV. 01, 2023

FINAL By: *Alt*  
This stamp is only for the purposes of design  
control and carries no other professional obligations.

CAROL 12

COMPLIANCE PACKAGE "A1"

5.		
4.		
3.		
2.		
1.	BASED ON ROSEWOOD 12 FROM RUSSELL GARDENS II	DEC 2022
REVISIONS		

The undersigned has reviewed and takes responsibility for this  
design, and has the qualifications and meets the requirements set  
out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR  
NAME

SIGNATURE

28770  
BCIN

REGION DESIGN INC.  
8700 DUFFERIN ST.  
CONCORD, ONTARIO  
L4K 4S6  
P (416) 736-4096  
F (905) 660-0746

REGION  
DESIGN  
INC.

SHEET TITLE

AREA CHARTS

SCALE  
3/16"=1'-0"  
DATE  
DEC. 2022

BY  
MB  
TYPE

AREA  
3,212  
PROJECT  
03-03-22

PAGE No.  
0

Greenpark.

PROJECT NAME

TRINIGROUP

This review does not exempt the owner, designer and the builder from complying with all applicable regulations and by-laws of the City of Richmond Hill and the Ontario Building Code.

Refer to attached general notes and drawings.

Windows, sliding glass doors and skylights shall comply with OBC 2012, SB-12, 3.1.1.9 for maximum U-Value.

These drawings have been reviewed under Compliance Option: **A1** of SB-12 of the 2012 O.B.C.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

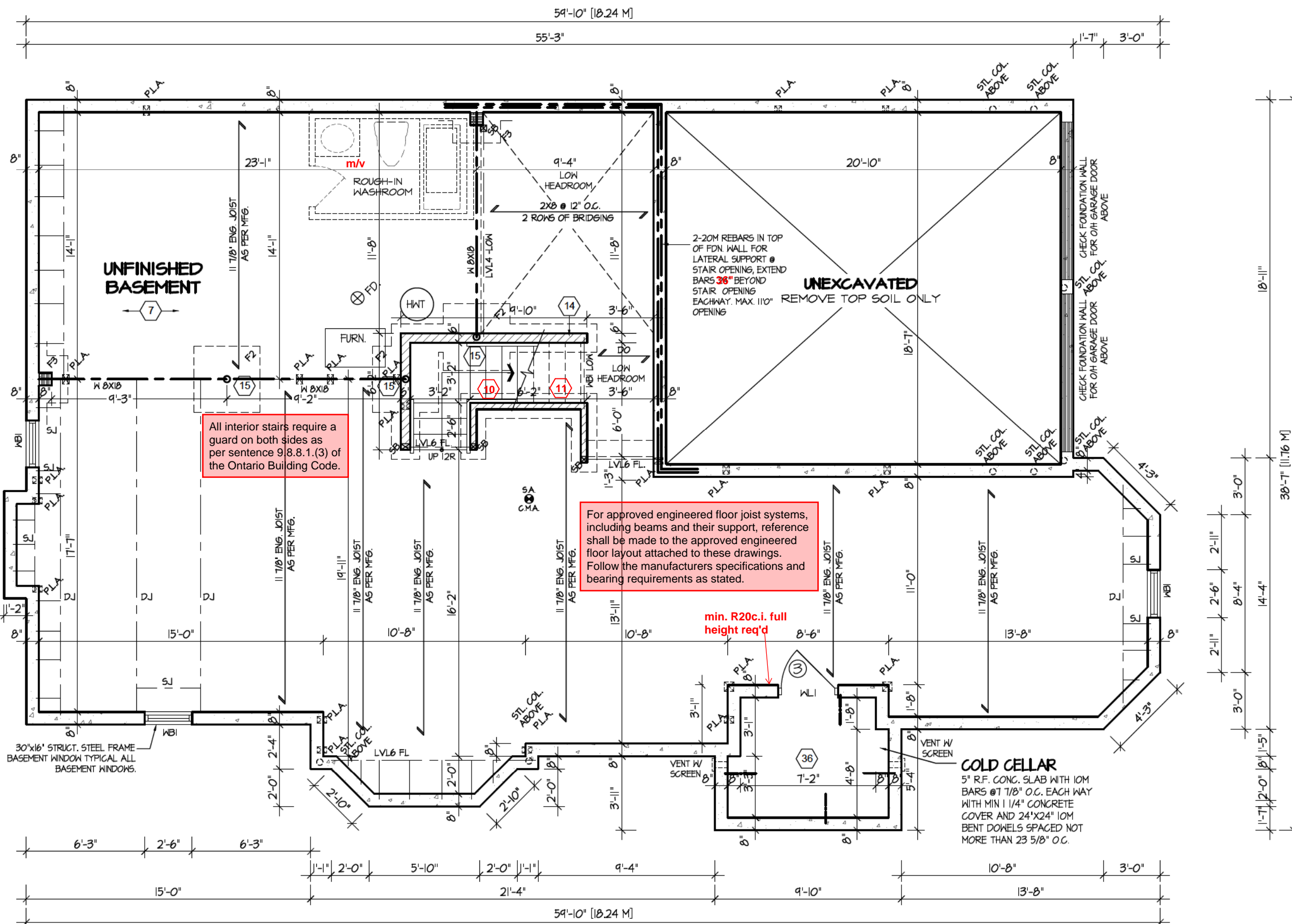
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Richmond Hill.

CITY OF RICHMOND HILL  
BUILDING DIVISION  
08/20/2024  
REVISÉ  
Per: **KER**

**CAROL 12**  
COMPLIANCE PACKAGE "A1"

**Greenpark**

PROJECT NAME  
**TRINIGROUP**



**BASEMENT FLOOR PLAN 'I'**

REFER TO SHEET NO. 0 FOR LINTEL, BEAMS AND DOOR SIZES

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

REFER TO FLOOR FRAMING SHOP DRAWINGS FOR ENGINEERED FRAMING LAYOUTS

ALL SUBFLOORS TO BE 3/4" PLYWOOD AND TO BE GLUED AND NAILED ON THIS FLOOR.

THE ENGINEER OF RECORD SHALL PROVIDE THE BUILDING INSPECTOR WITH A FIELD REVIEW REPORT STATING REBAR, BEAMS AND CONCRETE HAVE BEEN PROVIDED IN ACCORDANCE WITH THE APPROVED BUILDING PERMIT PLANS AND THE CANADIAN FOUNDATION ENGINEERING MANUAL



FOR STRUCTURE ONLY

5.		
4.		
3.		
2.		
1.	BASED ON ROSEWOOD 12 FROM RUSSELL GARDENS II	DEC 2022
REVISIONS		

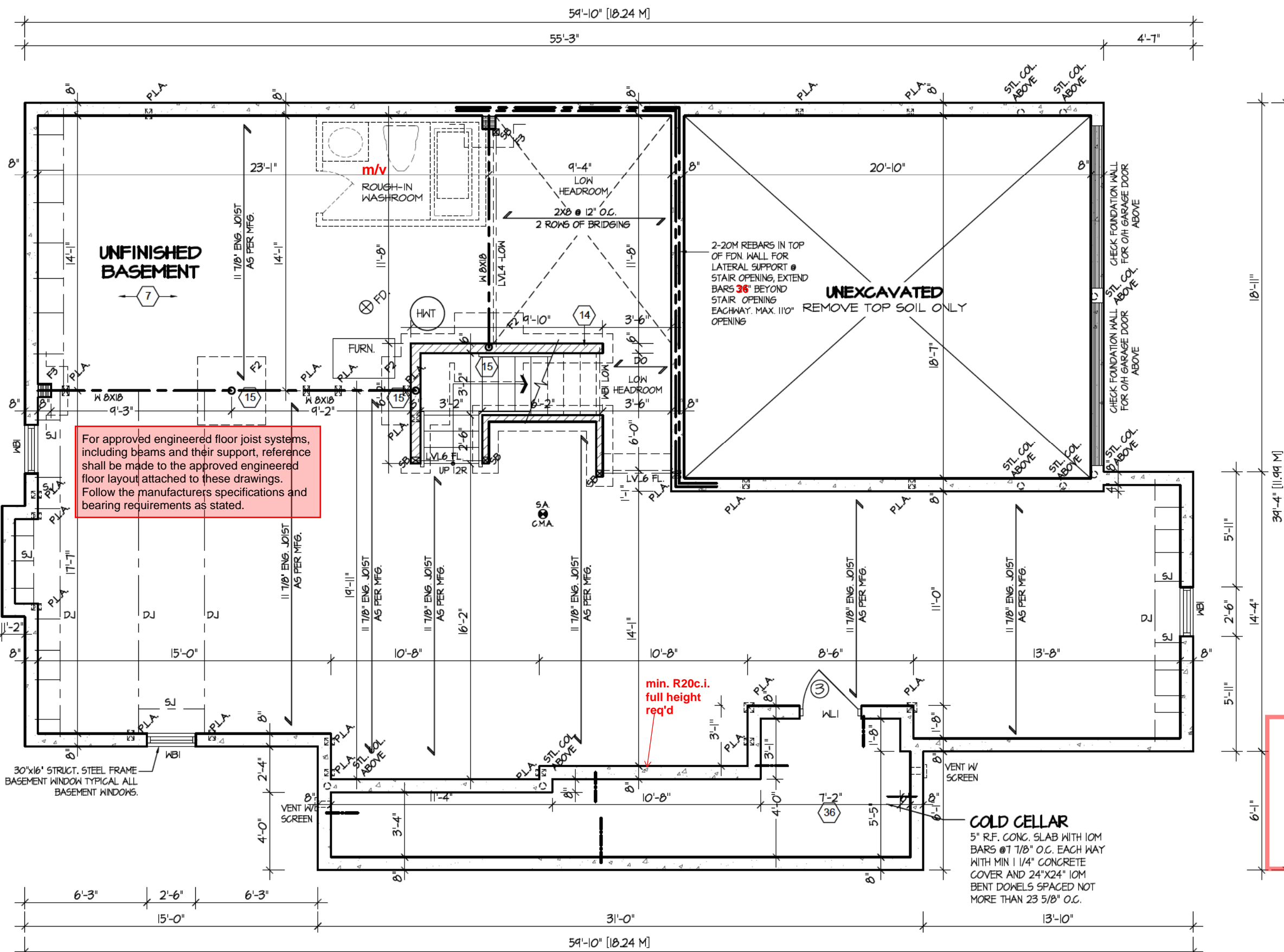
The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.  
**QUALIFICATION INFORMATION**  
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code  
VIKAS GAJJAR  
NAME  
28770  
BCIN  
SIGNATURE

REGION DESIGN INC.  
8700 DUFFERIN ST.  
CONCORD, ONTARIO  
L4K 4S6  
P (416) 736-4096  
F (905) 660-0746

**REGION DESIGN INC.**

SHEET TITLE  
**BASEMENT PLAN ELEV. 1**  
SCALE  
3/16"=1'-0"  
DATE  
DEC. 2022  
BY  
MB  
TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.  
AREA  
3,212  
PAGE No.  
1  
PROJECT  
03-03-22



**BASEMENT FLOOR PLAN '2'**

REFER TO SHEET NO. 0 FOR LINTEL, BEAMS AND DOOR SIZES

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-1", 2 ROWS FOR SPANS GREATER THAN 7'

REFER TO FLOOR FRAMING SHOP DRAWINGS FOR ENGINEERED FRAMING LAYOUTS

ALL SUBFLOORS TO BE 3/4" PLYWOOD AND TO BE GLUED AND NAILED ON THIS FLOOR.

CITY OF RICHMOND HILL  
BUILDING DIVISION

08/20/2024

REVISED  
Per: KER

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Richmond Hill.

STRUDET INC.



FOR STRUCTURE ONLY

**CAROL 12**

COMPLIANCE PACKAGE "A1"

5.		
4.		
3.		
2.		
1.	BASED ON ROSEWOOD 12 FROM RUSSELL GARDENS II	DEC 2022
REVISIONS		

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.  
**QUALIFICATION INFORMATION**  
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code  
VIKAS GAJJAR  
NAME  
28770  
BCIN  
SIGNATURE

REGION DESIGN INC.  
8700 DUFFERIN ST.  
CONCORD, ONTARIO  
L4K 4S6  
P (416) 736-4096  
F (905) 660-0746

**REGION  
DESIGN  
INC.**

SHEET TITLE  
**BASEMENT PLAN  
ELEV. 2**

SCALE  
3/16"=1'-0"  
DATE  
DEC. 2022

BY  
MB  
TYPE

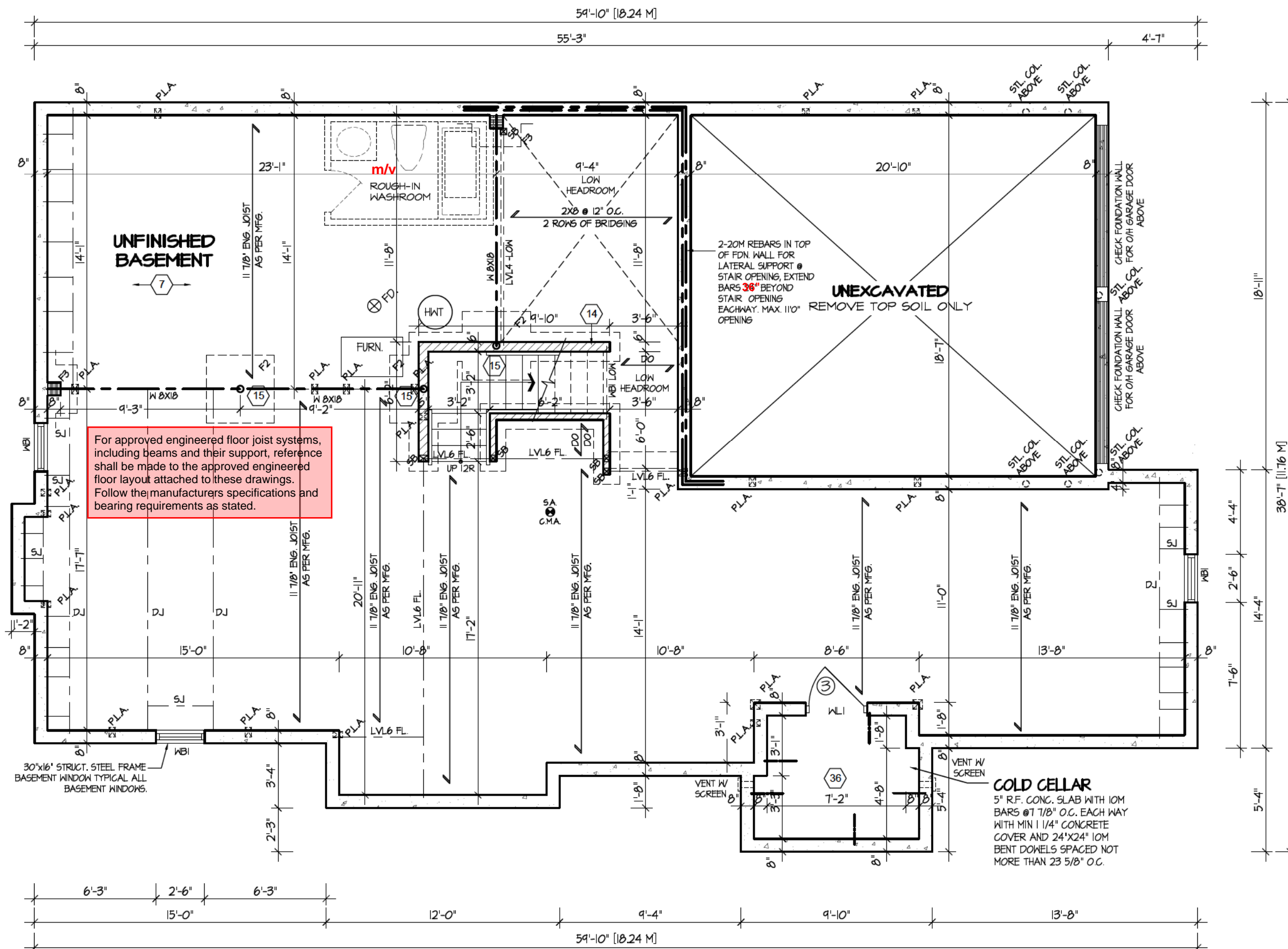
CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

AREA  
3,212  
PROJECT  
03-03-22

PAGE No.  
1-2

**Greenpark**

PROJECT NAME  
TRINIGROUP



**BASEMENT FLOOR PLAN '3'**

REFER TO SHEET NO. 0 FOR LINTEL, BEAMS AND DOOR SIZES

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

REFER TO FLOOR FRAMING SHOP DRAWINGS FOR ENGINEERED FRAMING LAYOUTS

ALL SUBFLOORS TO BE 3/4" PLYWOOD AND TO BE GLUED AND NAILED ON THIS FLOOR.

STRUDET INC.



FOR STRUCTURE ONLY

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Richmond Hill.

CITY OF RICHMOND HILL  
BUILDING DIVISION

08/20/2024

REVISED  
Per: KER

**CAROL 12**

COMPLIANCE PACKAGE "A1"

REVISIONS	DATE
1. BASED ON ROSEWOOD 12 FROM RUSSELL GARDENS II	DEC 2022

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

**QUALIFICATION INFORMATION**  
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR  
NAME

28770  
BCIN

SIGNATURE

REGION DESIGN INC.  
8700 DUFFERIN ST.  
CONCORD, ONTARIO  
L4K 4S6  
P (416) 736-4096  
F (905) 660-0746

**REGION  
DESIGN  
INC.**

SHEET TITLE  
**BASEMENT PLAN  
ELEV. 3**

SCALE  
3/16"=1'-0"

DATE  
DEC. 2022

BY  
MB

TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

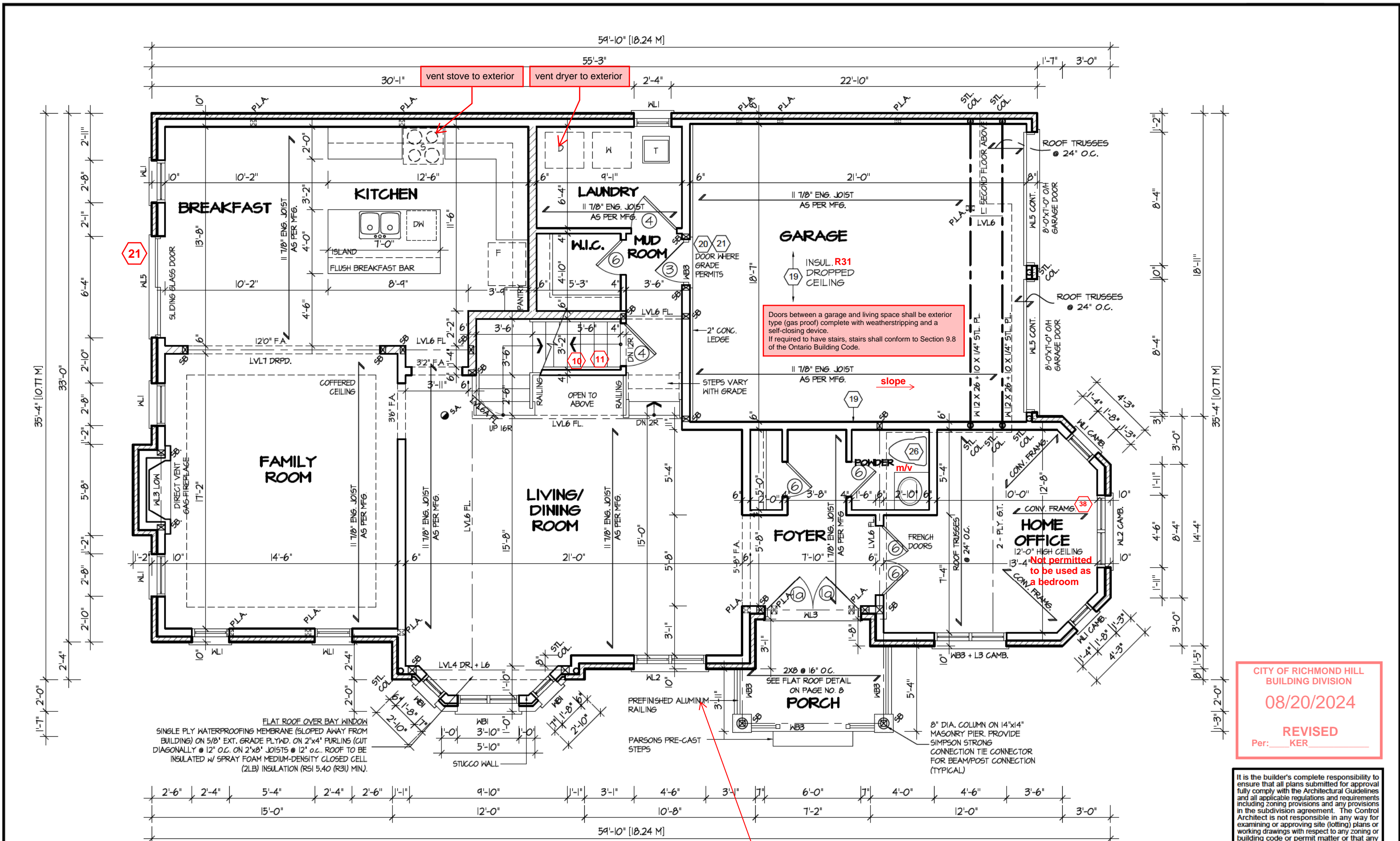
AREA  
3,212

PAGE No.  
1-3

PROJECT  
03-03-22

**Greenpark.**

PROJECT NAME  
TRINIGROUP



FIRST FLOOR PLAN '1'

For approved engineered floor joist systems, including beams and their support, reference shall be made to the approved engineered floor layout attached to these drawings. Follow the manufacturers specifications and bearing requirements as stated.

Guards to meet the requirements of OBC 2012 SB-7. Submit CCMC Documents and P.Eng stamped Shop Drawings for approval prior to installation if elements of the guards system contains non P.T Wood material.

CITY OF RICHMOND HILL  
BUILDING DIVISION  
08/20/2024  
REVISED  
Per: KER

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Richmond Hill.



CAROL 12  
COMPLIANCE PACKAGE "A1"

5.		
4.		
3.		
2.		
1.	BASED ON ROSEWOOD 12 FROM RUSSELL GARDENS II	DEC 2022
REVISIONS		

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.  
QUALIFICATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code  
VIKAS GAJJAR  
NAME  
28770  
BCIN  
SIGNATURE

REGION DESIGN INC.  
8700 DUFFERIN ST.  
CONCORD, ONTARIO  
L4K 4S6  
P (416) 736-4096  
F (905) 660-0746

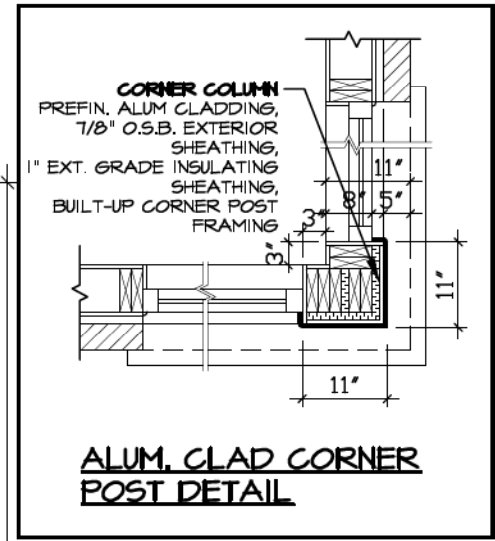
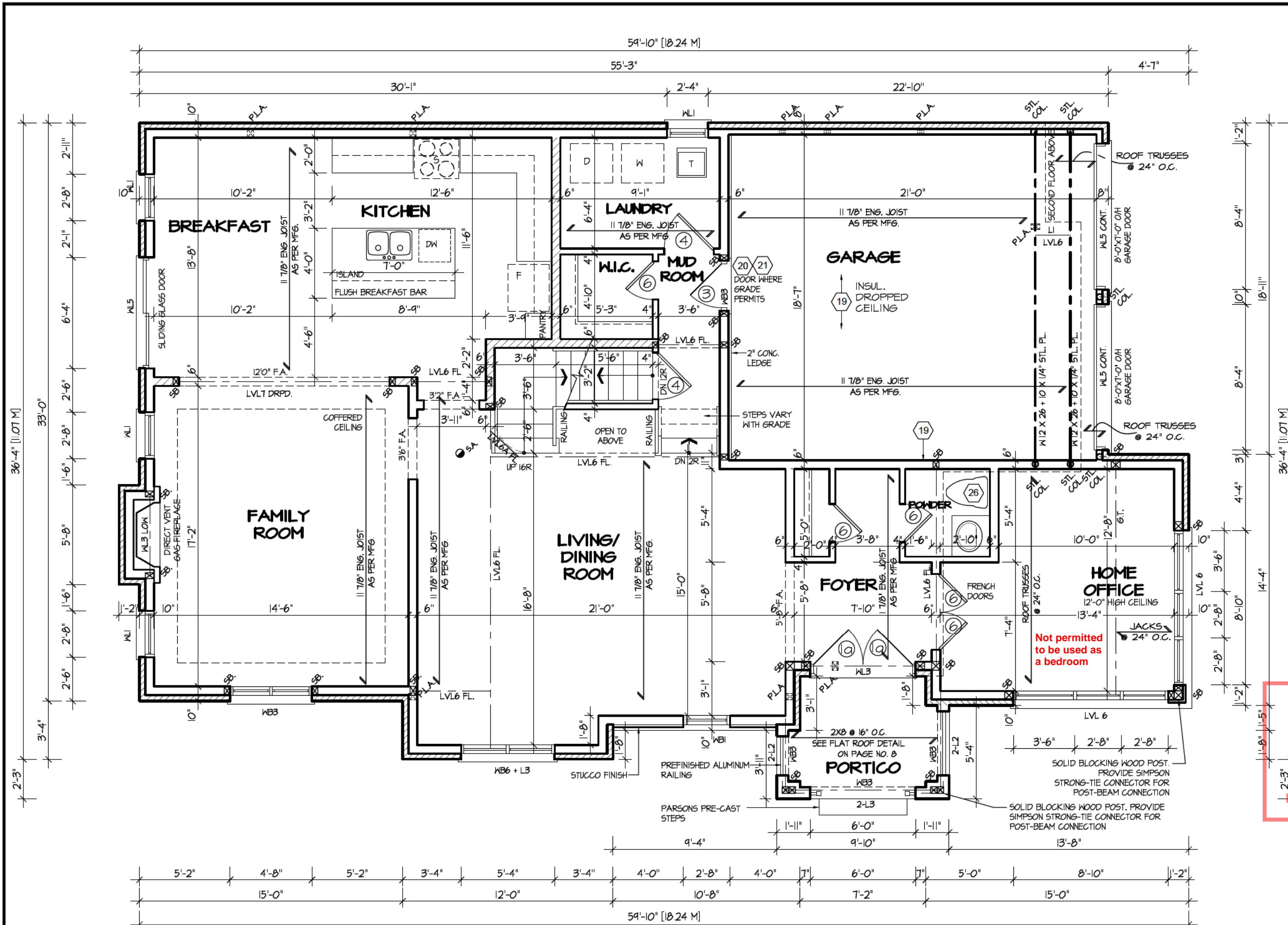
REGION  
DESIGN  
INC.

SHEET TITLE  
FIRST FLOOR PLAN  
ELEV. 1  
SCALE  
3/16"=1'-0"  
DATE  
DEC. 2022  
BY  
MB  
TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.  
AREA  
3,212  
PAGE No.  
2  
PROJECT  
03-03-22

Greenpark  
PROJECT NAME  
TRINIGROUP





CITY OF RICHMOND HILL  
BUILDING DIVISION  
08/20/2024  
REVISED  
Per: KER

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Richmond Hill.

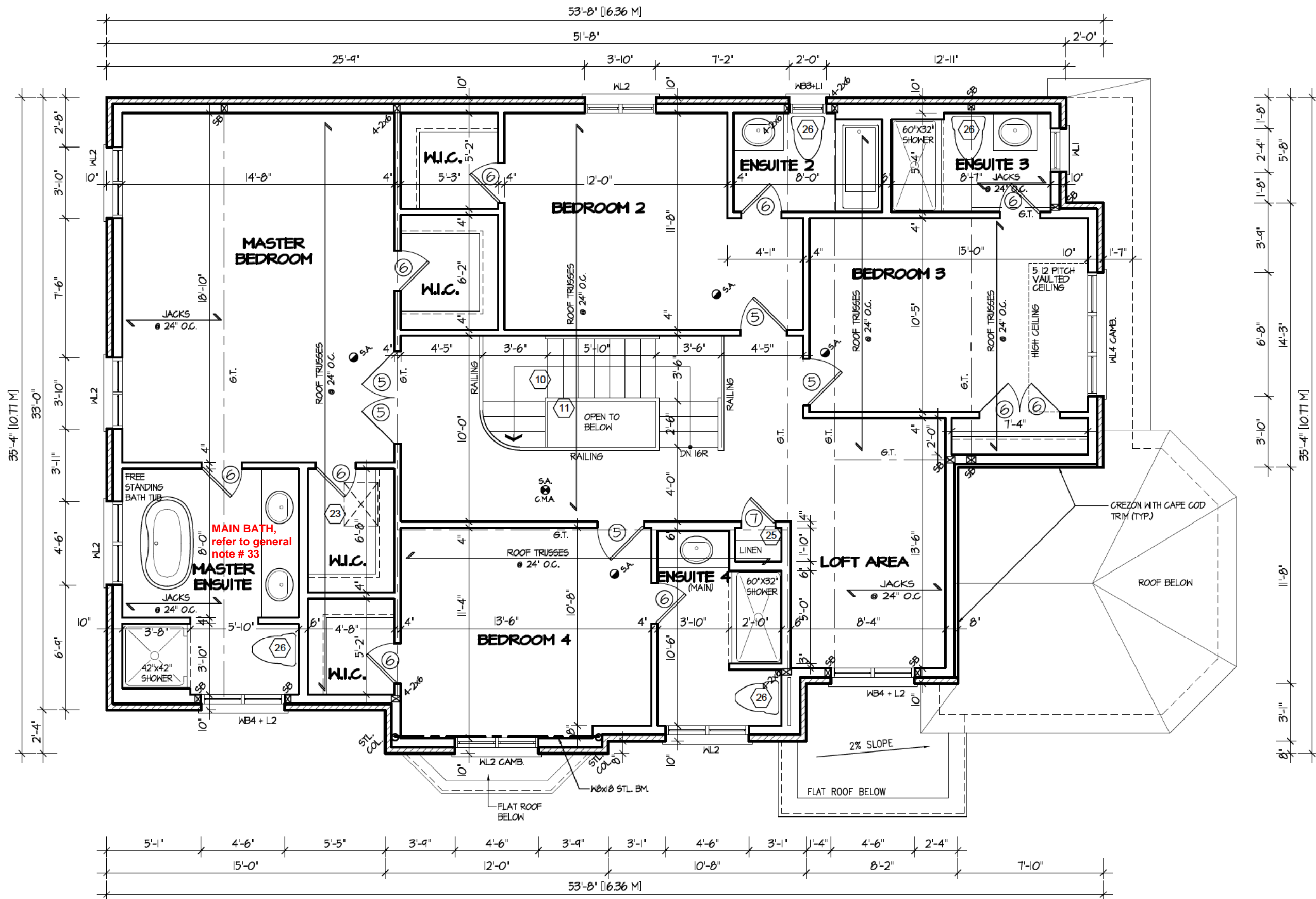
FIRST FLOOR PLAN '3'

For approved engineered floor joist systems, including beams and their support, reference shall be made to the approved engineered floor layout attached to these drawings. Follow the manufacturers specifications and bearing requirements as stated.



CAROL 12  
COMPLIANCE PACKAGE "A1"

5.			<p>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</p> <p>QUALIFICATION INFORMATION</p> <p>Required unless design is exempt under Division C, Subsection 3.2.5 of the building code</p> <p>VIKAS GAJJAR NAME</p> <p> 28770 SIGNATURE BCIN</p>	<p>REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4096 F (905) 660-0746</p>	<p><b>REGION DESIGN INC.</b></p>	SHEET TITLE		<p>CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.</p>			
4.						FIRST FLOOR PLAN ELEV. 3					
3.						SCALE	BY	AREA	PAGE No.		PROJECT NAME
2.						3/16"=1'-0"	MB	3,212	2-3		
1.	BASED ON ROSEWOOD 12 FROM RUSSELL GARDENS II	DEC 2022				DATE	TYPE	PROJECT			
REVISIONS									TRINIGROUP		



SECOND FLOOR PLAN "1"



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Richmond Hill.

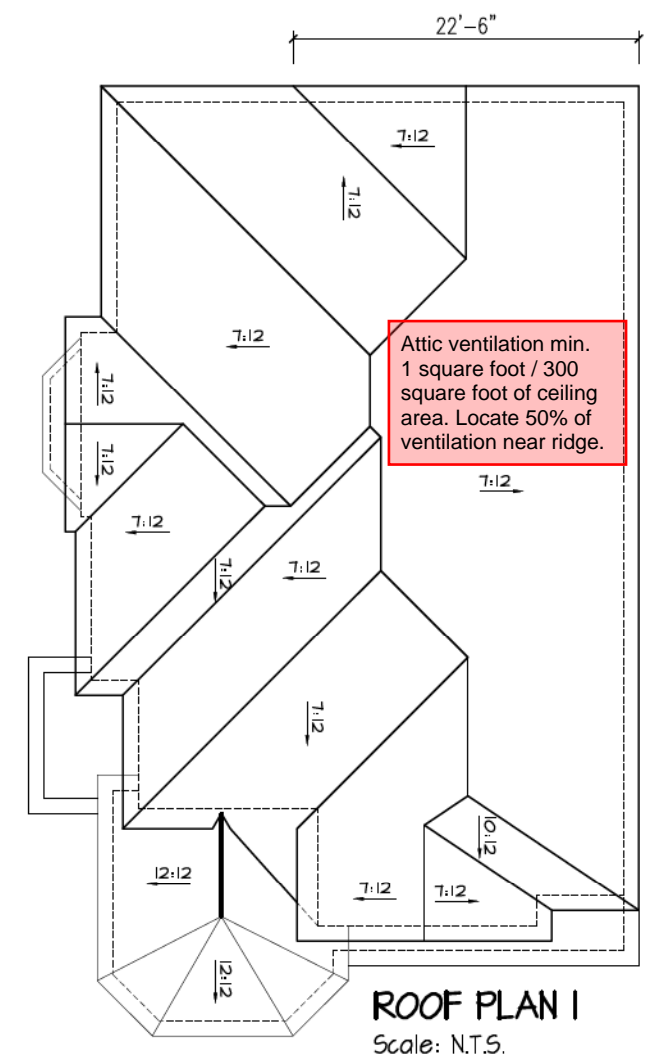
CITY OF RICHMOND HILL  
BUILDING DIVISION  
08/20/2024  
REVISED  
Per: \_\_\_\_\_ KER

CAROL 12  
COMPLIANCE PACKAGE "A1"

5.			<p>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</p> <p>QUALIFICATION INFORMATION</p> <p>Required unless design is exempt under Division C, Subsection 3.2.5 of the building code</p> <p>VIKAS GAJJAR NAME</p> <p> 28770 SIGNATURE BCIN</p>	<p>REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4096 F (905) 660-0746</p>	<p><b>REGION DESIGN INC.</b></p>	SHEET TITLE <b>SECOND FLOOR PLAN ELEV. 1</b>		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.		 <b>PROJECT NAME</b> <b>TRINIGROUP</b>
4.						SCALE 3/16"=1'-0"	BY MB	AREA 3,212	PAGE No. 3	
3.						DATE DEC. 2022	TYPE	PROJECT 03-03-22		
2.										
1.	BASED ON ROSEWOOD 12 FROM RUSSELL GARDENS II	DEC 2022								
REVISIONS										



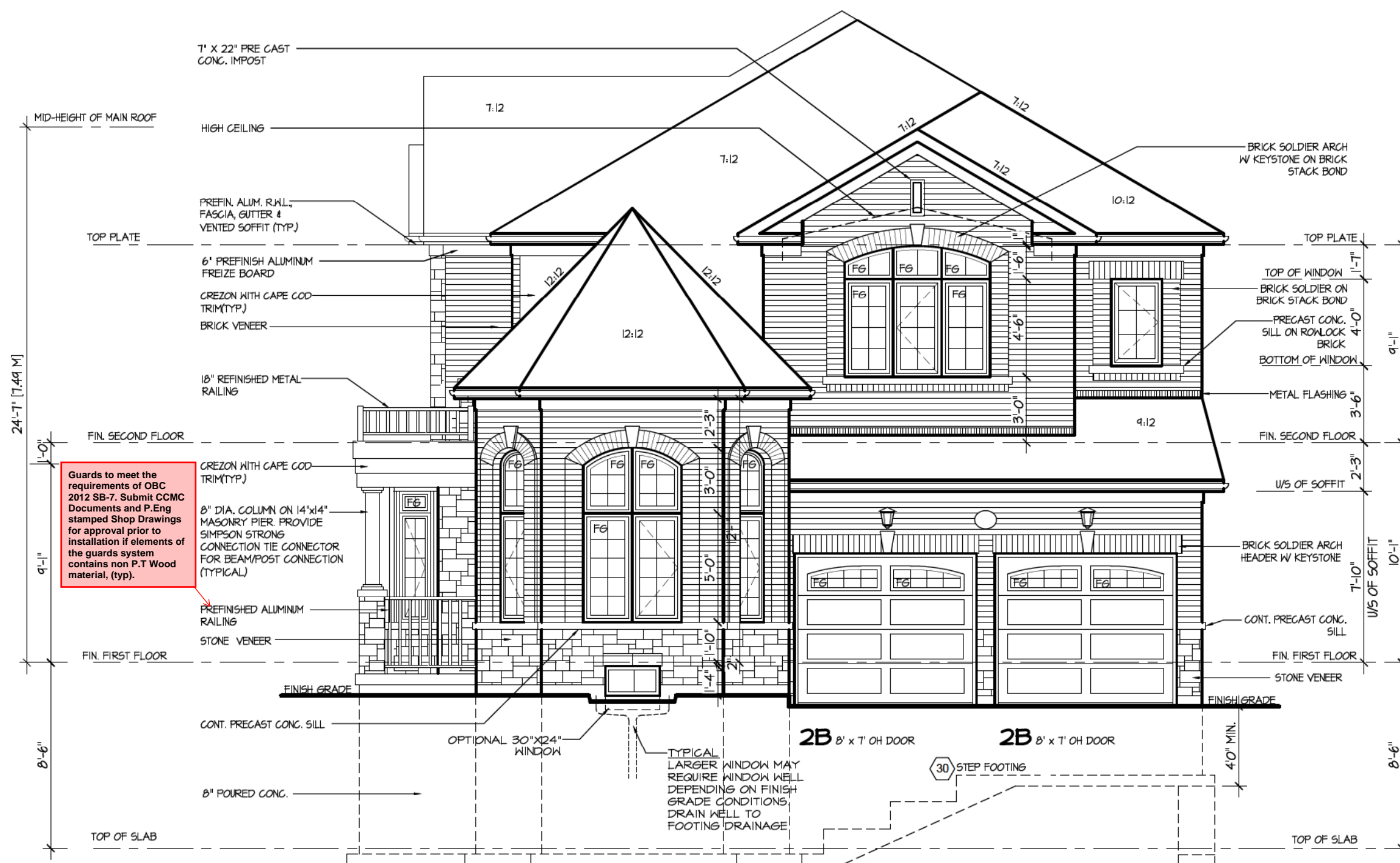




# ROOF PLAN I

Scale: N.T.S.

Refer to approved truss drawings for roof framing layout and specifications for correct bearing, uplift and anchorage.



FRONT ELEVATION I

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Richmond Hill.

CITY OF RICHMOND HILL  
BUILDING DIVISION

08/20/2024

REVISÉ

Per:            KER           

**City of Richmond Hill**  
Design Review

☐ Preliminary      ☒ Final

09 Aug 2024 By: James Paulidis

**CAROL 12**  
COMPLIANCE PACKAGE "A1"

5.			<p>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</p> <p><b>QUALIFICATION INFORMATION</b></p> <p>Required unless design is exempt under Division C, Subsection 3.2.5 of the building code</p> <div><div>VIKAS GAJJAR</div><div></div><div>28770</div></div> <div><div>NAME</div><div>SIGNATURE</div><div>BCIN</div></div>	<p>REGION DESIGN INC.</p> <p>8700 DUFFERIN ST.</p> <p>CONCORD, ONTARIO</p> <p>L4K 4S6</p> <p>P (416) 736-4096</p> <p>F (905) 660-0746</p>	<p><b>REGION DESIGN INC.</b></p>	SHEET TITLE		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.			
4.						FRONT ELEVATION					PROJECT NAME
3.						ELEV. 1					
2.						SCALE	BY	AREA	PAGE No.		
1.	BASED ON ROSEWOOD 12 FROM RUSSELL GARDENS II	DEC 2022				3/16"=1'-0"	MB	3,212	4		
REVISIONS					DATE		TYPE		TRINIGROUP		
					DEC. 2022						

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

## QUALIFICATION INFORMATION

Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR  
NAME

SIGNATURE

28770

BCIN

REGION DESIGN INC.  
8700 DUFFERIN ST.  
CONCORD, ONTARIO  
L4K 4S6  
P (416) 736-4096  
F (905) 660-0746

**R  
D  
I** REGION  
DESIGN  
INC.

SHEET TITLE	FRONT ELEVATION ELEV. 1
-------------	----------------------------

SCALE  
3/16" = 1' 0"

$$3/16 = 1 - 0$$
BY **MD**

TYPE

CONTRACTOR SHALL CHECK ALL  
DIMENSIONS AND ELEVATIONS BEFORE  
COMMENCING WITH WORK AND REPORT  
ANY DISCREPANCIES TO THE DESIGNER.  
PRINTS ARE NOT TO BE SCALED.

AREA	2.212
------	-------

PROJECT  
03-03-22

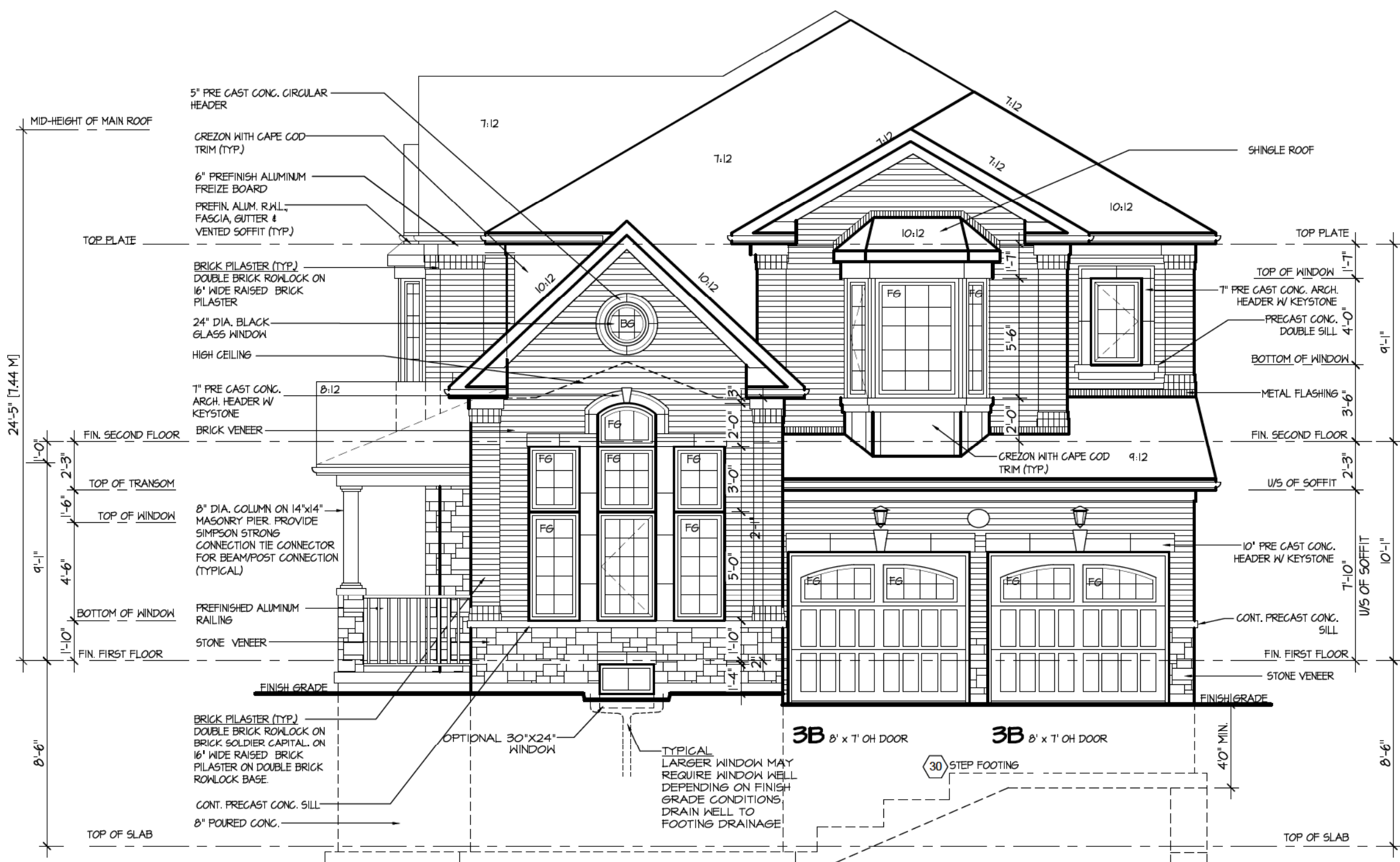
PAGE No.
----------

4

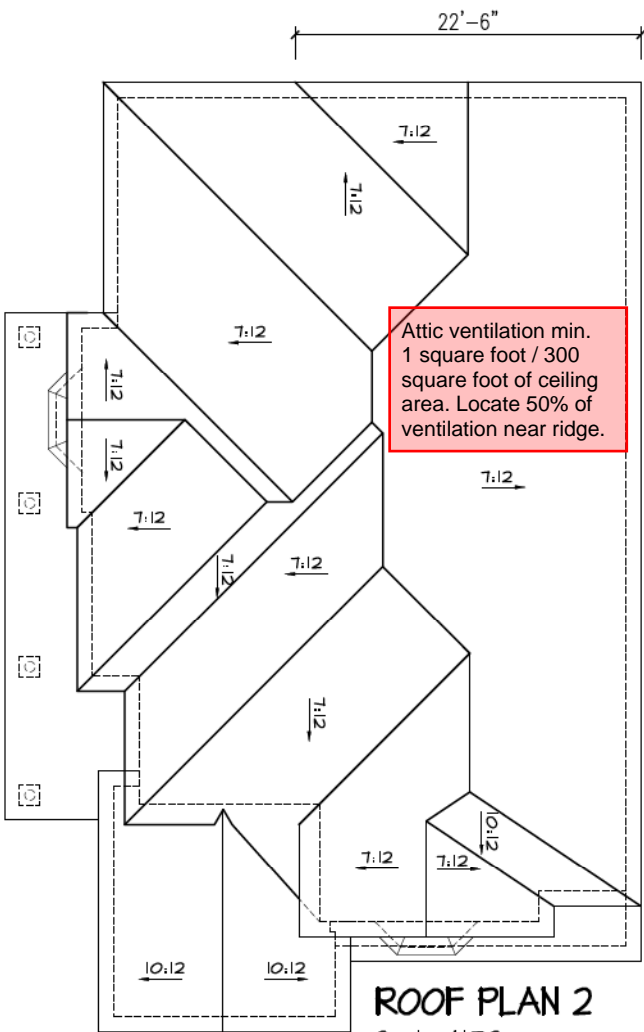


PROJECT NAME	
--------------	--

TRINIGROUP



FRONT ELEVATION 2



ROOF PLAN 2  
Scale: N.T.S.

Refer to approved truss drawings for roof framing layout and specifications for correct bearing, uplift and anchorage.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Richmond Hill.

**City of Richmond Hill**  
Design Review

☐ Preliminary ☒ Final

09 Aug 2024 By: James Poulidis

CITY OF RICHMOND HILL  
BUILDING DIVISION

08/20/2024

REVISED  
Per: KER

**CAROL 12**  
COMPLIANCE PACKAGE "A1"

5.		
4.		
3.		
2.		
1.	BASED ON ROSEWOOD 12 FROM RUSSELL GARDENS II	DEC 2022
REVISIONS		

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

**QUALIFICATION INFORMATION**  
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR  
NAME

28770  
BCIN

SIGNATURE

REGION DESIGN INC.  
8700 DUFFERIN ST.  
CONCORD, ONTARIO  
L4K 4S6  
P (416) 736-4096  
F (905) 660-0746

**REGION  
DESIGN  
INC.**

SHEET TITLE  
**FRONT ELEVATION  
ELEV. 2**

SCALE  
3/16"=1'-0"

DATE  
DEC. 2022

BY  
MB

TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

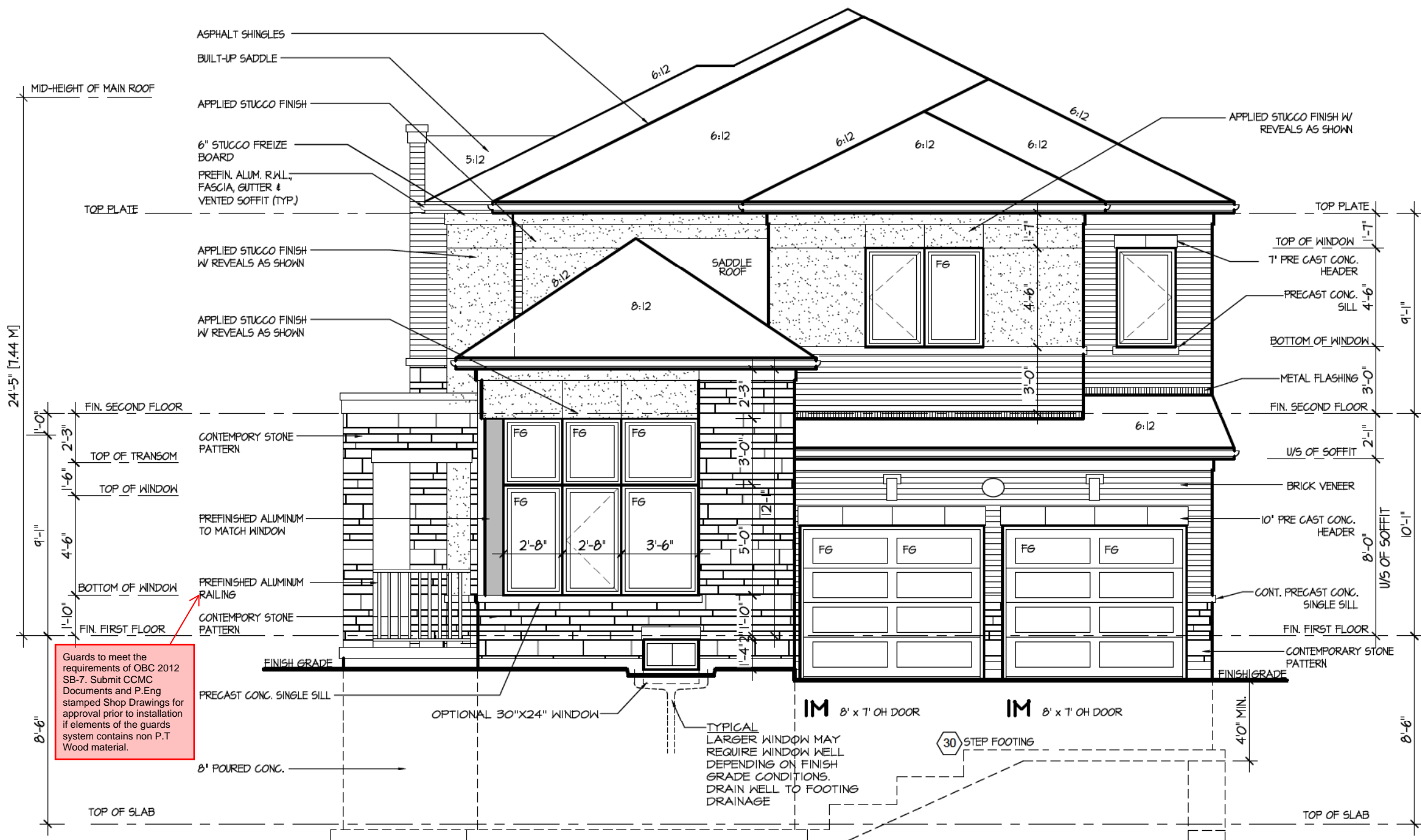
AREA  
3,212

PAGE No.  
4-2

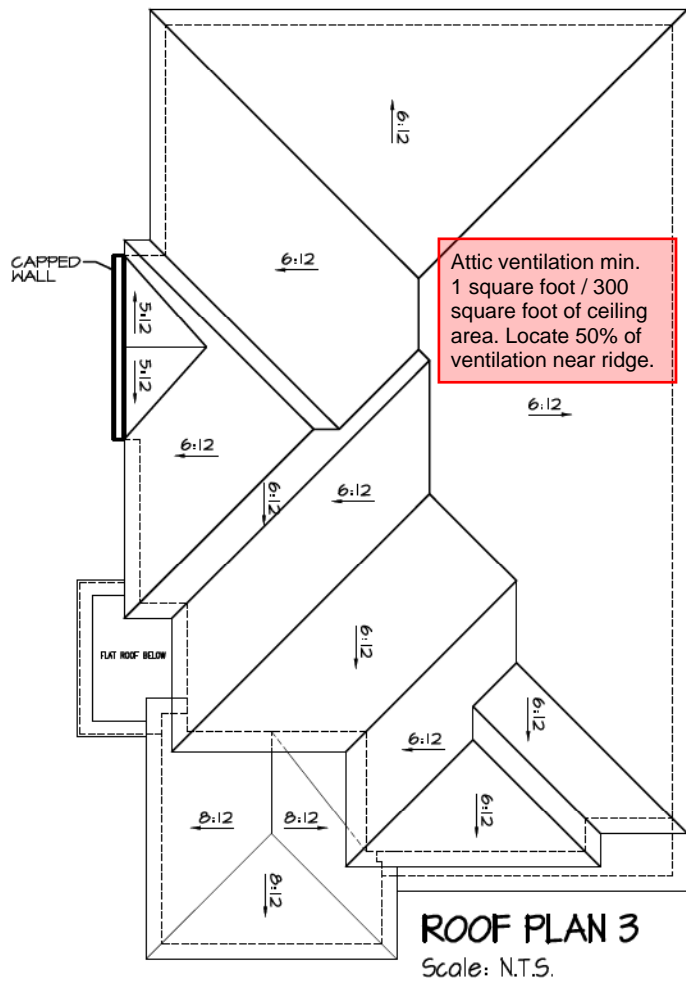
PROJECT  
03-03-22

**Greenpark**

PROJECT NAME  
TRINIGROUP



FRONT ELEVATION 3



ROOF PLAN 3

Scale: N.T.S.

Refer to approved truss drawings for roof framing layout and specifications for correct bearing, uplift and anchorage.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Richmond Hill.

**City of Richmond Hill**  
Design Review  
☐ Preliminary ☒ Final  
09 Aug 2024 By: James Paolidis

CITY OF RICHMOND HILL  
BUILDING DIVISION  
08/20/2024  
REVISED  
Per: KER

**CAROL 12**  
COMPLIANCE PACKAGE "A1"

5.		
4.		
3.		
2.		
1.	BASED ON ROSEWOOD 12 FROM RUSSELL GARDENS II	DEC 2022

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.  
**QUALIFICATION INFORMATION**  
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code  
VIKAS GAJJAR  
NAME  
28770  
BCIN  
SIGNATURE

REGION DESIGN INC.  
8700 DUFFERIN ST.  
CONCORD, ONTARIO  
L4K 4S6  
P (416) 736-4096  
F (905) 660-0746

**REGION DESIGN INC.**

SHEET TITLE  
**FRONT ELEVATION ELEV. 3**  
SCALE  
3/16"=1'-0"  
DATE  
DEC. 2022

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.  
BY  
MB  
TYPE  
AREA  
3,212  
PAGE No.  
4-3  
PROJECT  
03-03-22

**Greenpark**  
PROJECT NAME  
TRINIGROUP



FLANKAGE ELEVATION I

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Richmond Hill.

City of Richmond Hill  
Design Review

☐ Preliminary ☒ Final

09 Aug 2024 By: James Paolides

CITY OF RICHMOND HILL  
BUILDING DIVISION  
08/20/2024  
REVISED  
Per: KER

CAROL 12  
COMPLIANCE PACKAGE "A1"

5.		
4.		
3.		
2.		
1.	BASED ON ROSEWOOD 12 FROM RUSSELL GARDENS II	DEC 2022
REVISIONS		

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.  
QUALIFICATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code  
VIKAS GAJJAR  
NAME  
28770  
BCIN  
SIGNATURE

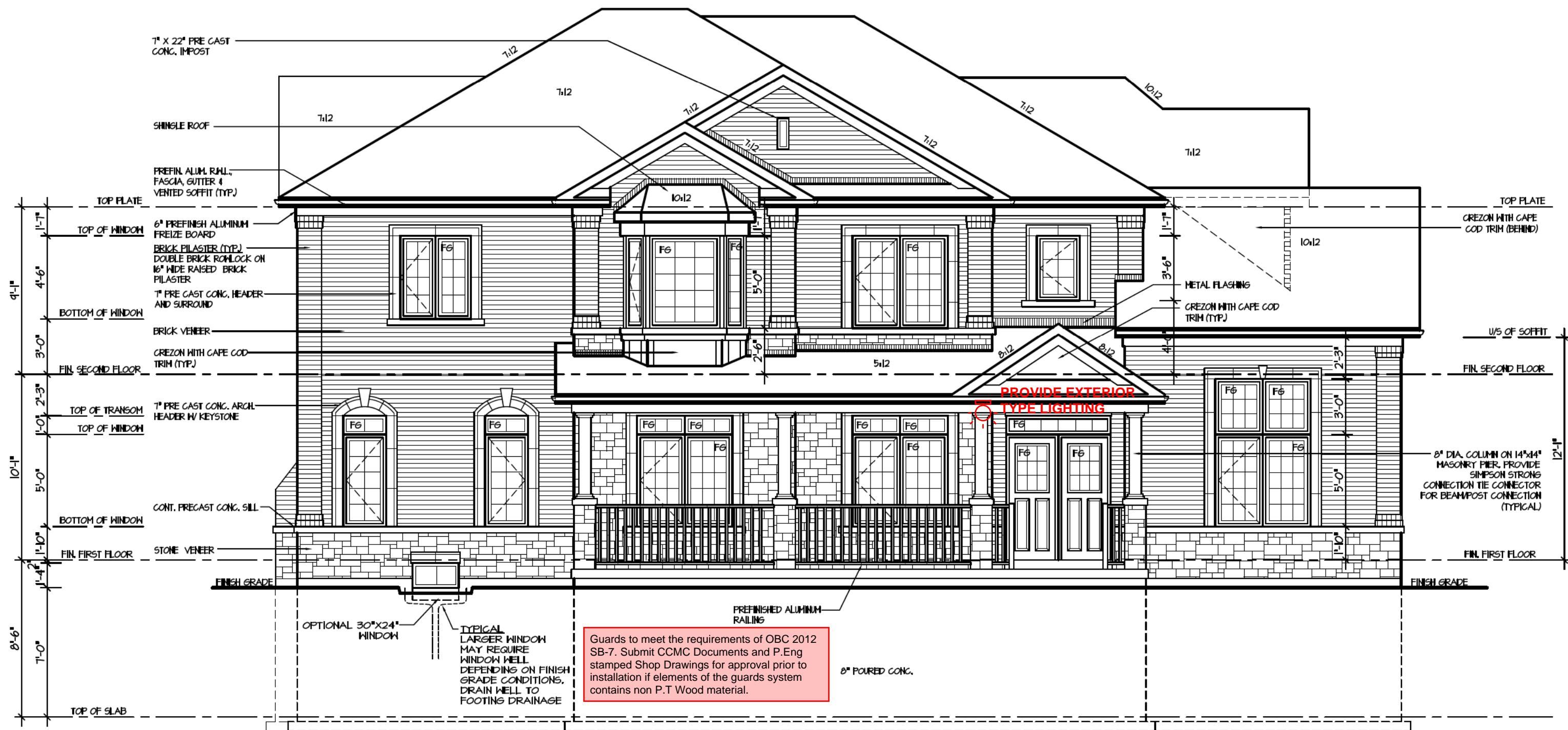
REGION DESIGN INC.  
8700 DUFFERIN ST.  
CONCORD, ONTARIO  
L4K 4S6  
P (416) 736-4096  
F (905) 660-0746

REGION  
DESIGN  
INC.

SHEET TITLE  
LEFT SIDE ELEVATION  
ELEV. 1  
SCALE  
3/16"=1'-0"  
DATE  
DEC. 2022  
BY  
MB  
TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.  
AREA  
3,212  
PAGE No.  
5  
PROJECT  
03-03-22

Greenpark  
PROJECT NAME  
TRINIGROUP



FLANKAGE ELEVATION 2

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Richmond Hill.

CITY OF RICHMOND HILL  
BUILDING DIVISION  
08/20/2024  
REVISED  
Per: KER

City of Richmond Hill  
Design Review  
☐ Preliminary ☒ Final  
09 Aug 2024 By: James Paulidis

CAROL 12  
COMPLIANCE PACKAGE "A1"

5.		
4.		
3.		
2.		
1.	BASED ON ROSEWOOD 12 FROM RUSSELL GARDENS II	DEC 2022
REVISIONS		

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.  
QUALIFICATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code  
VIKAS GAJJAR  
NAME  
28770  
BCIN

REGION DESIGN INC.  
8700 DUFFERIN ST.  
CONCORD, ONTARIO  
L4K 4S6  
P (416) 736-4096  
F (905) 660-0746

REGION  
DESIGN  
INC.

SHEET TITLE  
LEFT SIDE ELEVATION  
ELEV. 2  
SCALE  
3/16"=1'-0"  
DATE  
DEC. 2022  
BY  
MB  
TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.  
AREA  
3,212  
PAGE No.  
5-2  
PROJECT  
03-03-22

Greenpark.  
PROJECT NAME  
TRINIGROUP



FLANKAGE ELEVATION 3

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Richmond Hill.

CITY OF RICHMOND HILL  
BUILDING DIVISION  
08/20/2024  
REVISED  
Per: KER

City of Richmond Hill  
Design Review  
☐ Preliminary ☒ Final  
09 Aug 2024 By: James Paulidis

CAROL 12  
COMPLIANCE PACKAGE "A1"

5.		
4.		
3.		
2.		
1.	BASED ON ROSEWOOD 12 FROM RUSSELL GARDENS II	DEC 2022
REVISIONS		

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.  
QUALIFICATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code  
VIKAS GAJJAR  
NAME  
28770  
BCIN  
SIGNATURE

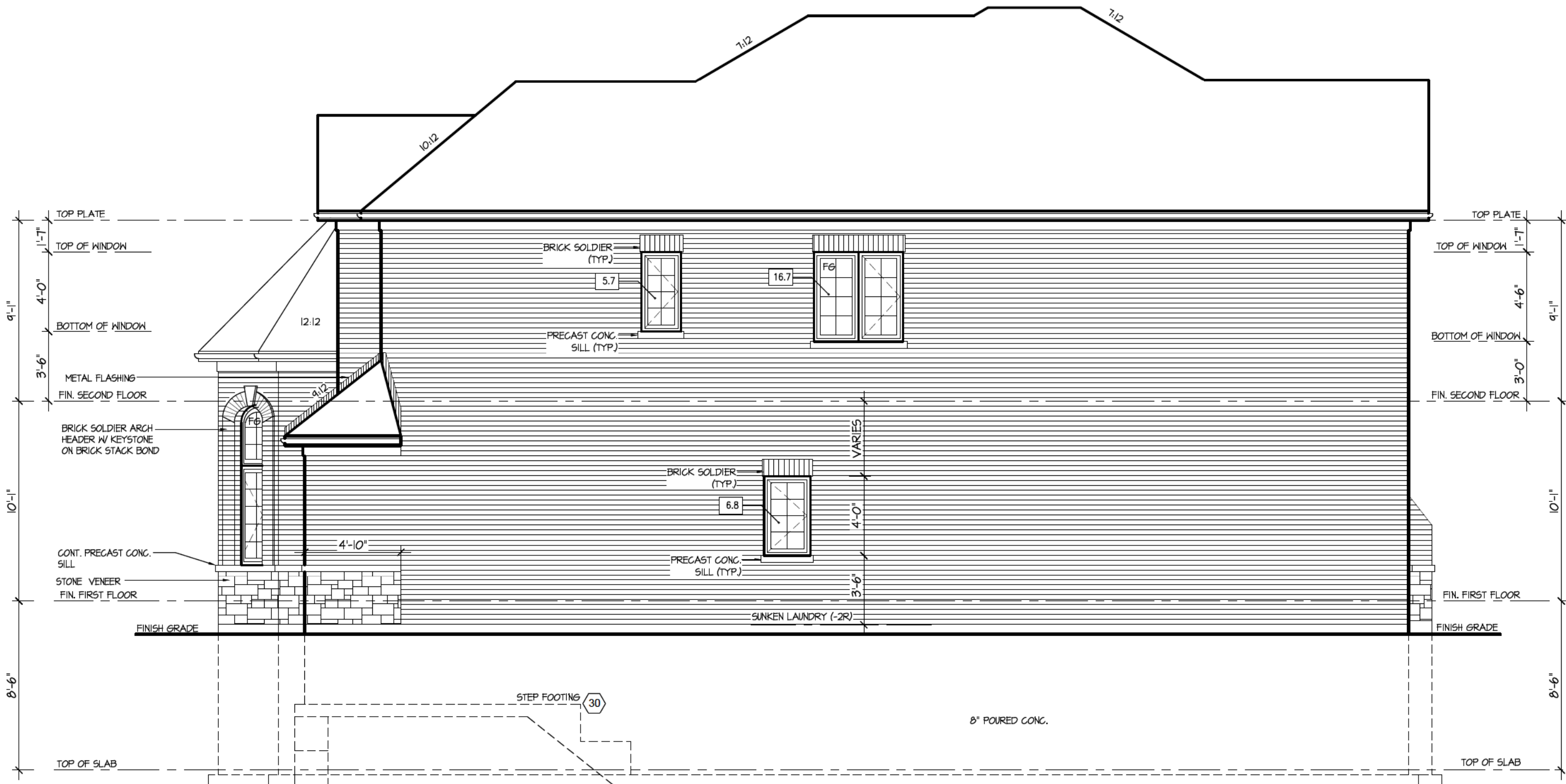
REGION DESIGN INC.  
8700 DUFFERIN ST.  
CONCORD, ONTARIO  
L4K 4S6  
P (416) 736-4096  
F (905) 660-0746

REGION  
DESIGN  
INC.

SHEET TITLE  
LEFT SIDE ELEVATION  
ELEV. 3  
SCALE  
3/16"=1'-0"  
DATE  
DEC. 2022  
BY  
MB  
TYPE  
PROJECT  
03-03-22

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.  
AREA  
3,212  
PAGE No.  
5-3  
PROJECT  
03-03-22

Greenpark  
PROJECT NAME  
TRINIGROUP



RIGHT ELEVATION I

ALLOWABLE GLAZING (STANDARD PLAN)

WALL AREA	=	1067	Sq. Ft.
ALLOWABLE GLAZED AREA @ 7 % 1.2 M SIDE YARD	=	74.69	Sq. Ft.
ACTUAL GLAZED AREA	=	29.2	Sq. Ft.

No unprotected openings permitted within 1.2 metres of the lot line as per 9.10.14 of the Ontario Building Code.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Richmond Hill.

City of Richmond Hill Design Review	
<input type="checkbox"/> Preliminary	<input checked="" type="checkbox"/> Final
09 Aug 2024 By: James Paolides	

CITY OF RICHMOND HILL  
BUILDING DIVISION  
08/20/2024  
REVISED  
Per: KER

CAROL 12

COMPLIANCE PACKAGE "A1"

5.		
4.		
3.		
2.		
1.	BASED ON ROSEWOOD 12 FROM RUSSELL GARDENS II	DEC 2022
REVISIONS		

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR  
NAME

28770  
BCIN

SIGNATURE

REGION DESIGN INC.  
8700 DUFFERIN ST.  
CONCORD, ONTARIO  
L4K 4S6  
P (416) 736-4096  
F (905) 660-0746



SHEET TITLE  
RIGHT SIDE ELEVATION  
ELEV. 1

SCALE  
3/16"=1'-0"

DATE  
DEC. 2022

BY  
MB

TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

AREA  
3,212

PAGE No.  
6

PROJECT  
03-03-22

**Greenpark.**

PROJECT NAME  
TRINIGROUP



WALL AREA	=	1067	Sq. Ft.
ALLOWABLE GLAZED AREA @ 7% 1.2 M SIDE YARD	=	74.69	Sq. Ft.
ACTUAL GLAZED AREA	=	29.2	Sq. Ft.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Richmond Hill.

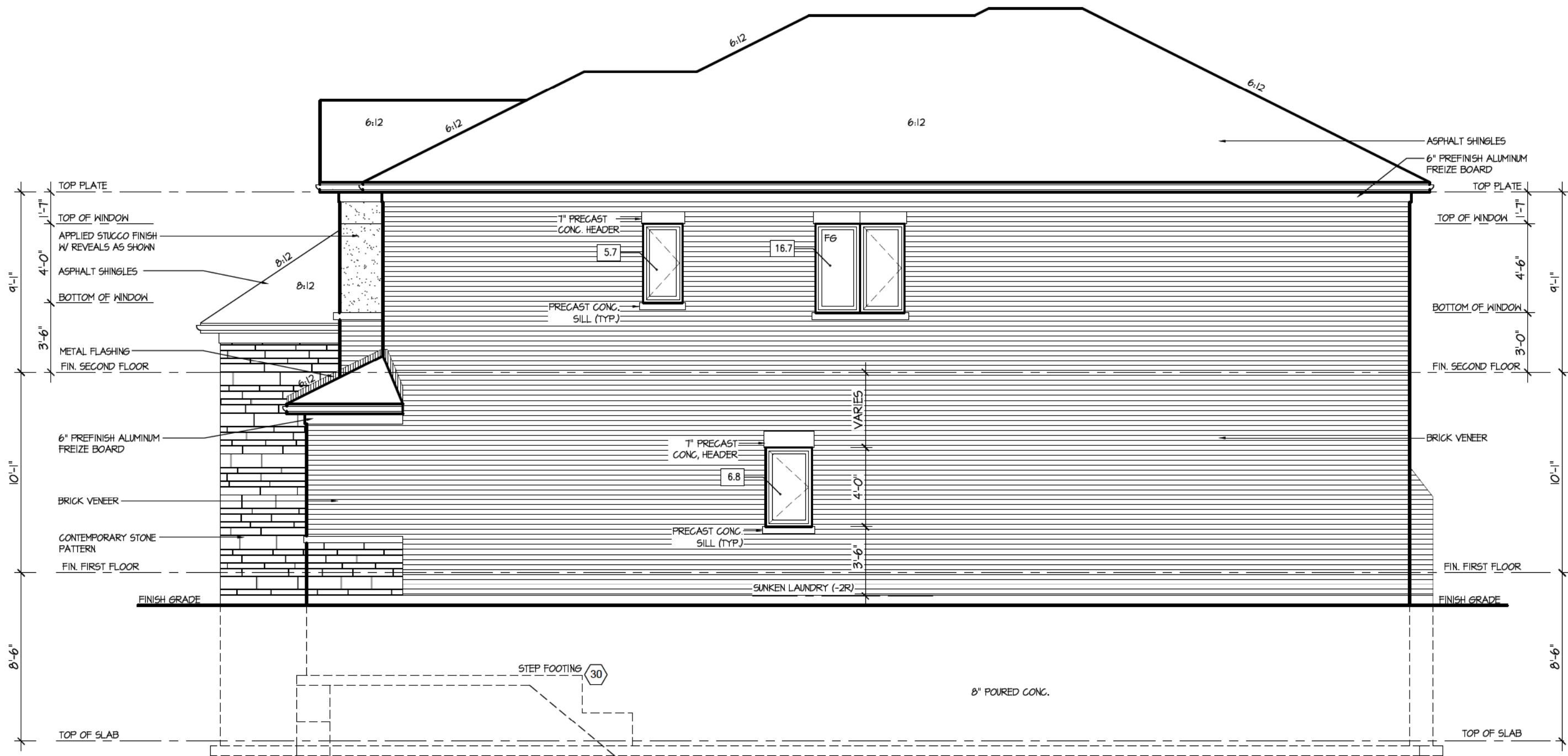
Per: KER

09 Aug 2024 By: James Paulidis

COMPLIANCE PACKAGE "A1"



PROJECT NAME	TRINIGROUP
--------------	------------



RIGHT ELEVATION 3

ALLOWABLE GLAZING (STANDARD PLAN)

WALL AREA	=	1061	Sq. Ft.
ALLOWABLE GLAZED AREA @ 1 % 1.2 M SIDE YARD	=	74.64	Sq. Ft.
ACTUAL GLAZED AREA	=	29.2	Sq. Ft.

No unprotected openings permitted within 1.2 metres of the lot line as per 9.10.14 of the Ontario Building Code.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Richmond Hill.

City of Richmond Hill  
Design Review

☐ Preliminary ☒ Final

09 Aug 2024 By: James Paolides

CAROL 12

COMPLIANCE PACKAGE "A1"

CITY OF RICHMOND HILL  
BUILDING DIVISION  
08/20/2024  
REVISED  
Per: KER

5.		
4.		
3.		
2.		
1.	BASED ON ROSEWOOD 12 FROM RUSSELL GARDENS II	DEC 2022
REVISIONS		

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.  
QUALIFICATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code  
VIKAS GAJJAR  
NAME  
28770  
BCIN  
SIGNATURE

REGION DESIGN INC.  
8700 DUFFERIN ST.  
CONCORD, ONTARIO  
L4K 4S6  
P (416) 736-4096  
F (905) 660-0746

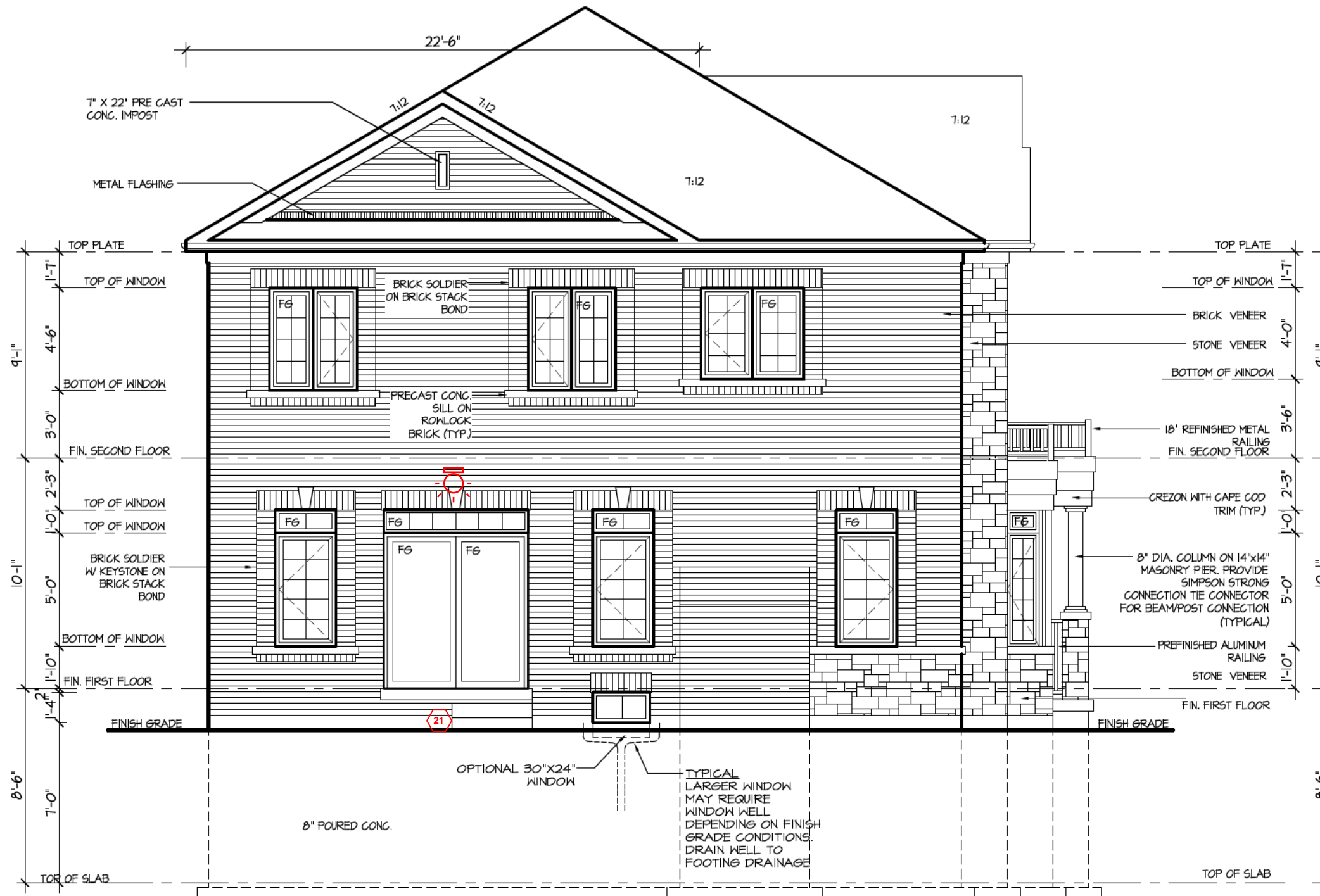
REGION  
DESIGN  
INC.

SHEET TITLE  
RIGHT SIDE ELEVATION  
ELEV. 3  
SCALE  
3/16"=1'-0"  
DATE  
DEC. 2022  
BY  
MB  
TYPE  
PROJECT  
03-03-22

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.  
AREA  
3,212  
PAGE No.  
6-3  
PROJECT  
03-03-22

Greenpark

PROJECT NAME  
TRINIGROUP



REAR ELEVATION I

CITY OF RICHMOND HILL  
BUILDING DIVISION  
08/20/2024  
REVISED  
Per: KER

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Richmond Hill.

City of Richmond Hill  
Design Review  
☐ Preliminary ☒ Final  
09 Aug 2024 By: James Paolidis

CAROL 12  
COMPLIANCE PACKAGE "A1"

5.		
4.		
3.		
2.		
1.	BASED ON ROSEWOOD 12 FROM RUSSELL GARDENS II	DEC 2022
REVISIONS		

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.  
QUALIFICATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code  
VIKAS GAJJAR  
NAME  
28770  
BCIN  
SIGNATURE

REGION DESIGN INC.  
8700 DUFFERIN ST.  
CONCORD, ONTARIO  
L4K 4S6  
P (416) 736-4096  
F (905) 660-0746

REGION  
DESIGN  
INC.

SHEET TITLE  
REAR ELEVATION  
ELEV. 2

SCALE  
3/16"=1'-0"  
DATE  
DEC. 2022

BY  
MB  
TYPE

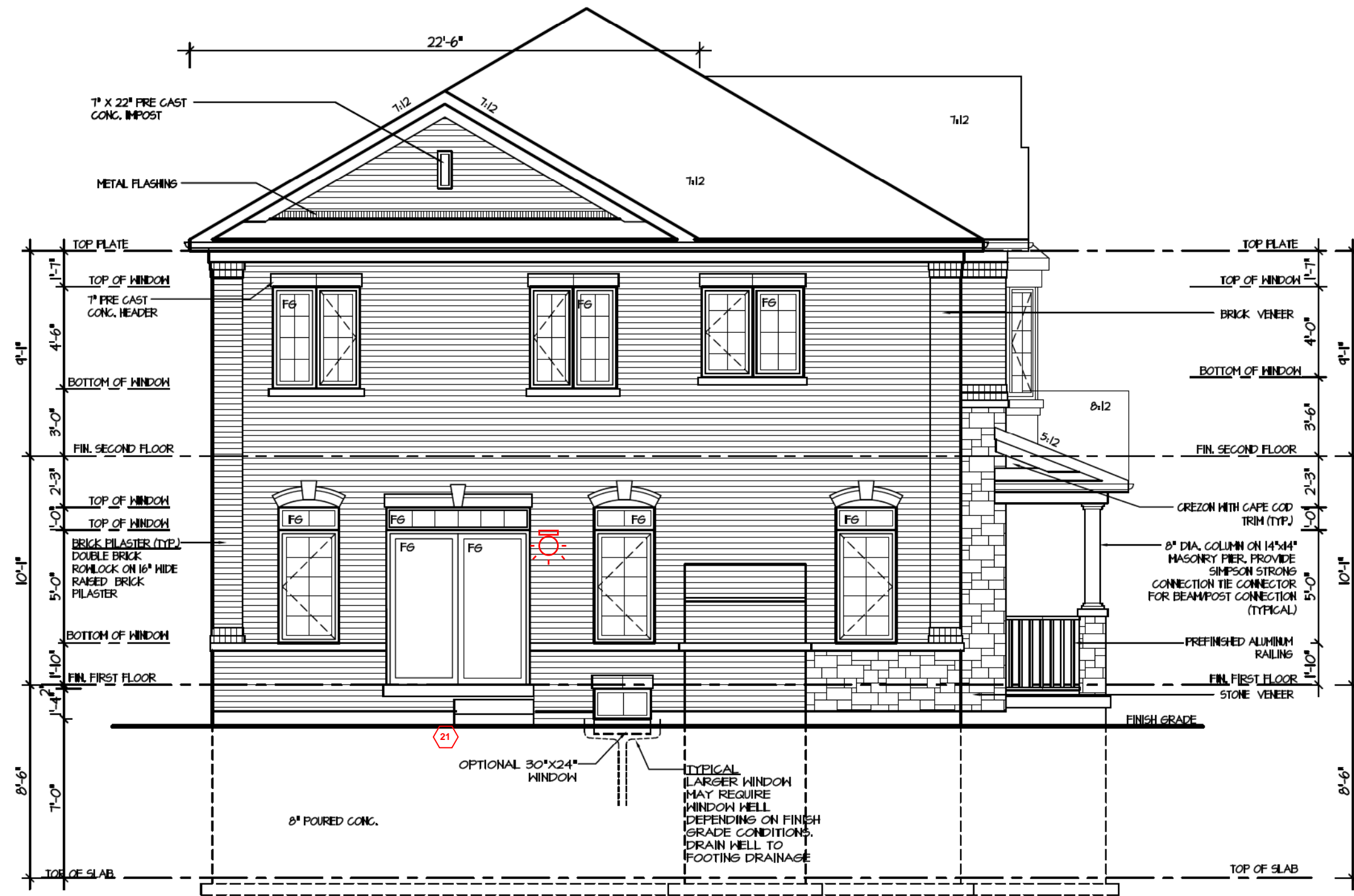
CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

AREA  
3,212  
PROJECT  
03-03-22

PAGE No.  
7

Greenpark.

PROJECT NAME  
TRINIGROUP



REAR ELEVATION 2

CITY OF RICHMOND HILL  
BUILDING DIVISION  
08/20/2024  
REVISED  
Per: KER

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Richmond Hill.

City of Richmond Hill  
Design Review  
☐ Preliminary ☒ Final  
09 Aug 2024 By: James Paolides

CAROL 12  
COMPLIANCE PACKAGE "A1"

5.		
4.		
3.		
2.		
1.	BASED ON ROSEWOOD 12 FROM RUSSELL GARDENS II	DEC 2022

REVISIONS

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.  
QUALIFICATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code  
VIKAS GAJJAR  
NAME  
28770  
BCIN

SIGNATURE

REGION DESIGN INC.  
8700 DUFFERIN ST.  
CONCORD, ONTARIO  
L4K 4S6  
P (416) 736-4096  
F (905) 660-0746

REGION  
DESIGN  
INC.

SHEET TITLE  
REAR ELEVATION  
ELEV. 2

SCALE  
3/16"=1'-0"

DATE  
DEC. 2022

BY  
MB

TYPE

CONTRACTOR SHALL CHECK ALL  
DIMENSIONS AND ELEVATIONS BEFORE  
COMMENCING WITH WORK AND REPORT  
ANY DISCREPANCIES TO THE DESIGNER.  
PRINTS ARE NOT TO BE SCALED.

AREA  
3,212

PROJECT  
03-03-22

PAGE No.

7-2

Greenpark.

PROJECT NAME

TRINIGROUP



REAR ELEVATION 3

CITY OF RICHMOND HILL  
BUILDING DIVISION  
08/20/2024  
REVISED  
Per: KER

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Richmond Hill.

City of Richmond Hill  
Design Review  
☐ Preliminary ☒ Final  
09 Aug 2024 By: James Paolides

CAROL 12  
COMPLIANCE PACKAGE "A1"

5.		
4.		
3.		
2.		
1.	BASED ON ROSEWOOD 12 FROM RUSSELL GARDENS II	DEC 2022

REVISIONS

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.  
QUALIFICATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code  
VIKAS GAJJAR  
NAME  
28770  
BCIN  
SIGNATURE

REGION DESIGN INC.  
8700 DUFFERIN ST.  
CONCORD, ONTARIO  
L4K 4S6  
P (416) 736-4096  
F (905) 660-0746

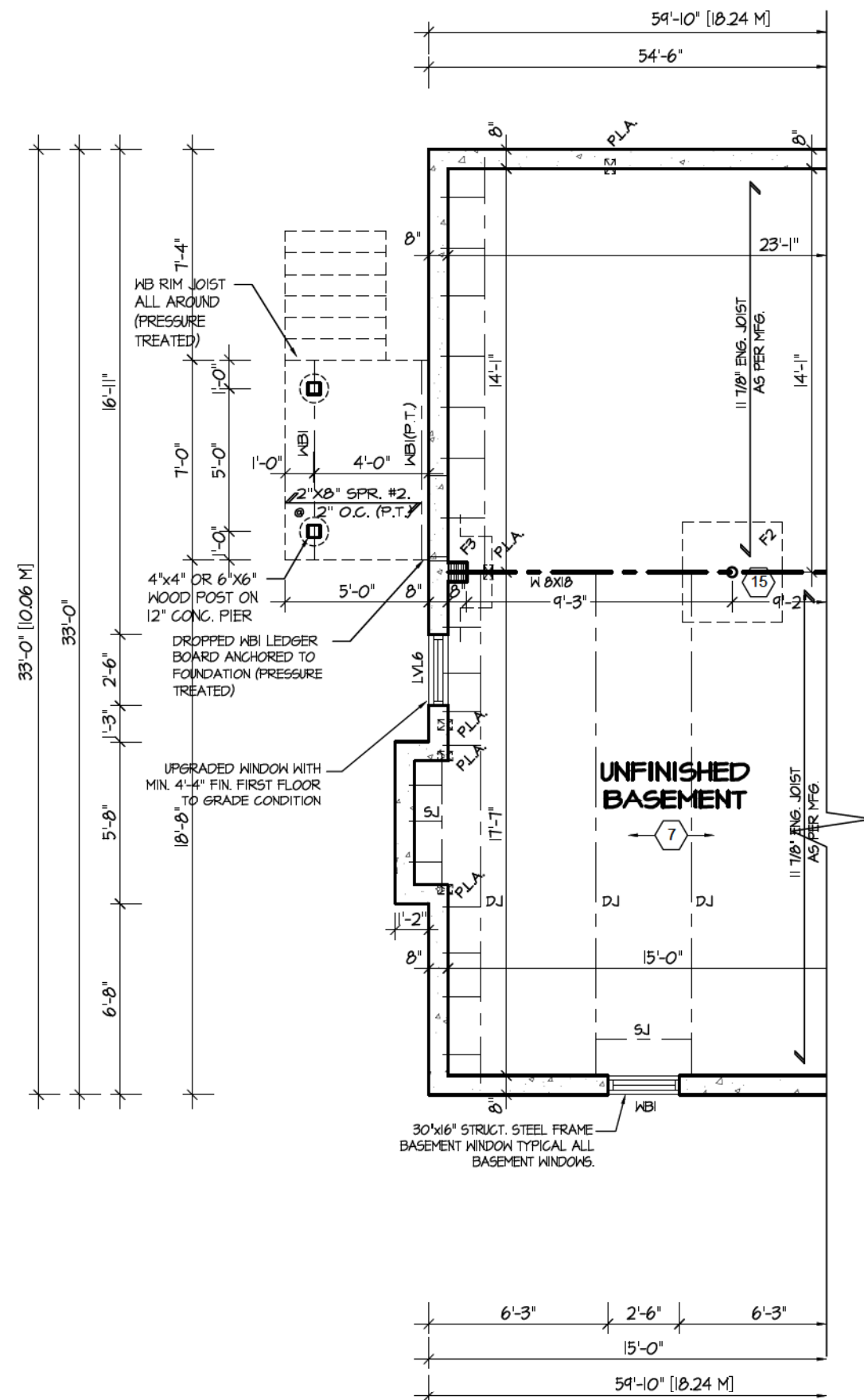
REGION  
DESIGN  
INC.

SHEET TITLE  
REAR ELEVATION  
ELEV. 3  
SCALE  
3/16"=1'-0"  
DATE  
DEC. 2022  
BY  
MB  
TYPE

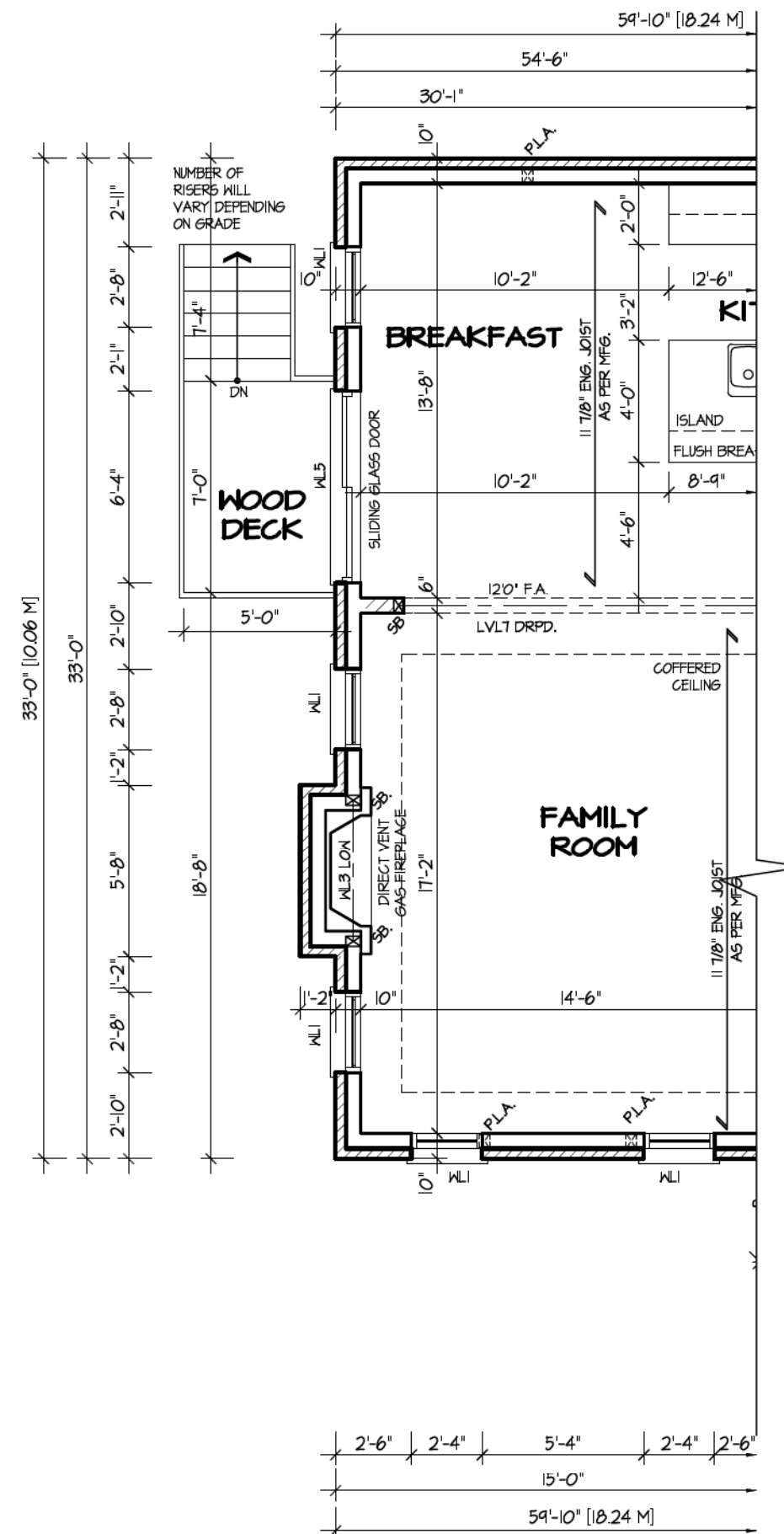
CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.  
AREA  
3,212  
PAGE No.  
7-3  
PROJECT  
03-03-22

Greenpark.  
PROJECT NAME  
TRINIGROUP





Deck and guard construction shall comply with attached details.



STRUDET INC.

REGISTERED PROFESSIONAL ENGINEER

*B. Marinkovic*

B. MARINKOVIC

PROV. 2023

MAY 1992

ENGINE OF ONTARIO

FOR STRUCTURE ONLY

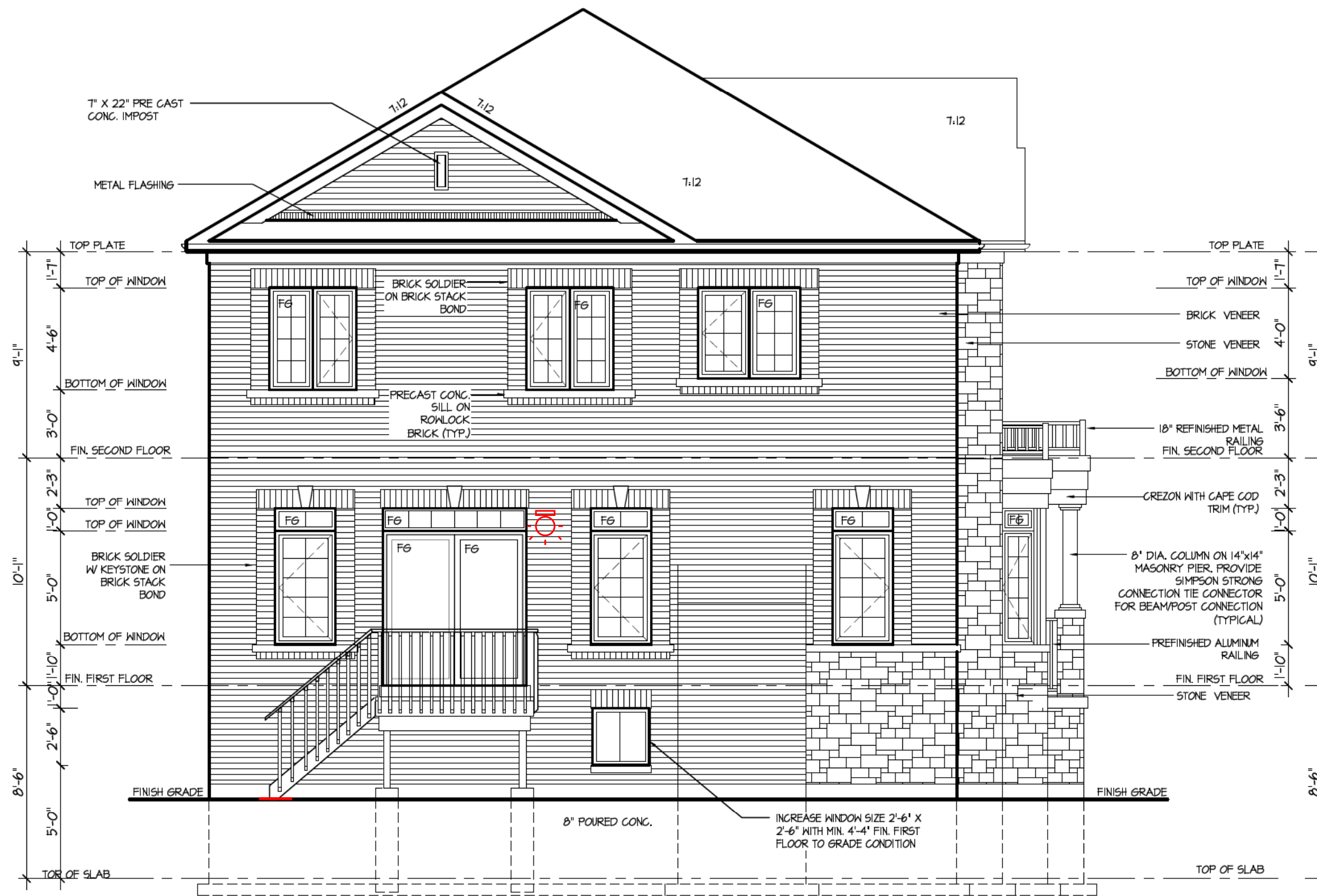
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements, including zoning provisions and any provisions in the subdivision agreement. The Contractor/Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Richmond Hill.

CITY OF RICHMOND HILL  
BUILDING DIVISION  
08/20/2024  
REVISED  
Per: KER

CAROL 12  
COMPLIANCE PACKAGE "A1"

5.			<p>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</p> <p><b>QUALIFICATION INFORMATION</b></p> <p>Required unless design is exempt under Division C, Subsection 3.2.5 of the building code</p> <p>VIKAS GAJJAR  <b>28770</b></p> <p>NAME SIGNATURE BCIN</p>	<p>REGION DESIGN INC.</p> <p>8700 DUFFERIN ST.</p> <p>CONCORD, ONTARIO</p> <p>L4K 4S6</p> <p>P (416) 736-4096</p> <p>F (905) 660-0746</p>	<p><b>REGION DESIGN INC.</b></p>	SHEET TITLE		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.		
4.						DECK PLANS				
3.						SCALE	BY	AREA	PAGE No.	
2.						3/16"=1'-0"	MB	3,212	9	
1.	BASED ON ROSEWOOD 12 FROM RUSSELL GARDENS II	DEC 2022				DATE	TYPE	PROJECT		
REVISIONS					03-03-22		PROJECT NAME		TRINIGROUP	



REAR ELEVATION I  
FOR DECK CONDITION

ALL WOOD DECK LUMBER IS DECAY  
RESISTANT AND FASTENERS ARE  
CORROSION RESISTANT

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Richmond Hill.

CITY OF RICHMOND HILL  
BUILDING DIVISION  
08/20/2024  
REVISED  
Per: KER

City of Richmond Hill  
Design Review  
☐ Preliminary ☒ Final  
09 Aug 2024 By: James Paolidis

CAROL 12  
COMPLIANCE PACKAGE "A1"

5.		
4.		
3.		
2.		
1.	BASED ON ROSEWOOD 12 FROM RUSSELL GARDENS II	DEC 2022
REVISIONS		

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.  
QUALIFICATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code  
VIKAS GAJJAR  
NAME  
28770  
BCIN  
SIGNATURE

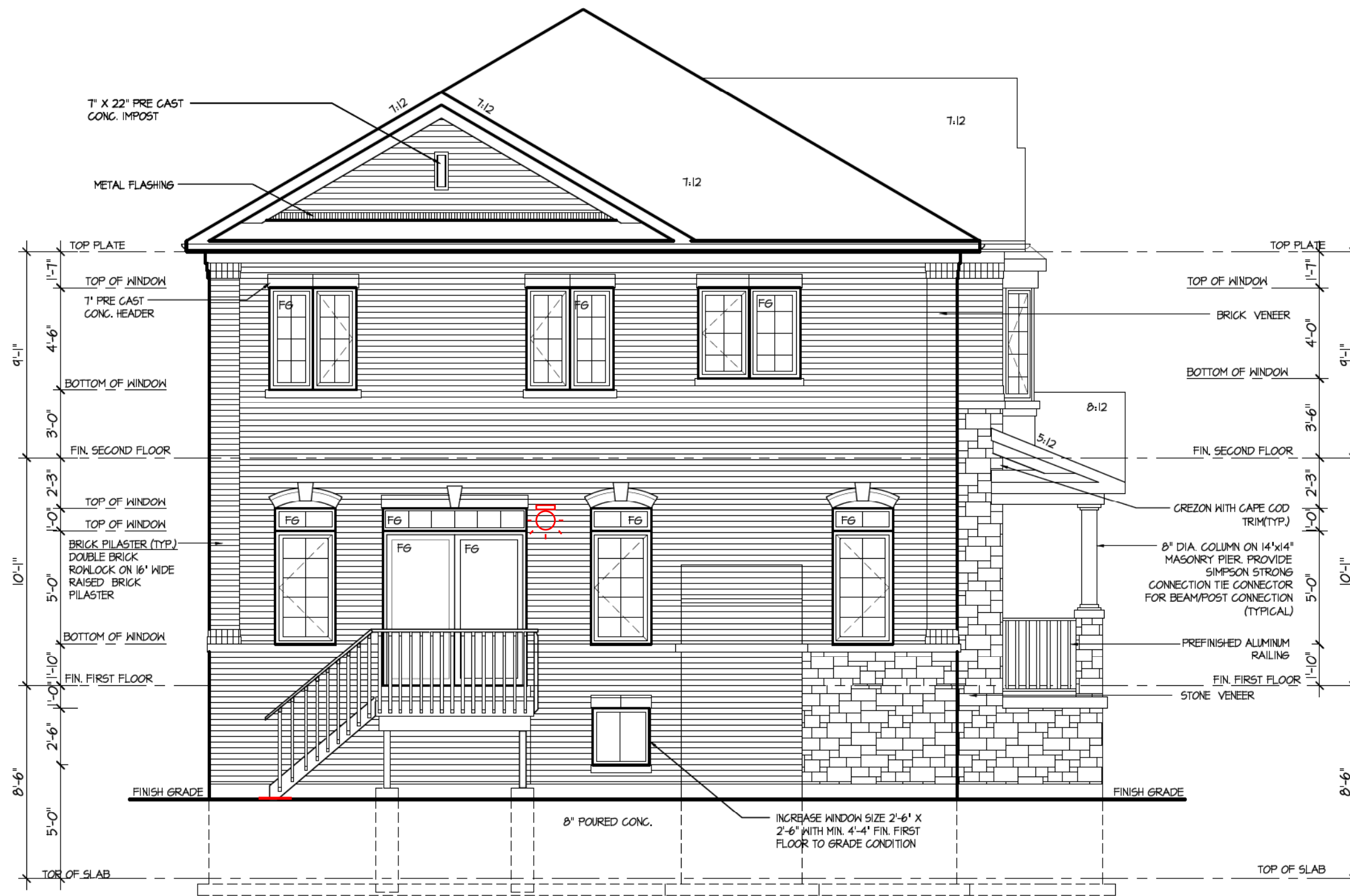
REGION DESIGN INC.  
8700 DUFFERIN ST.  
CONCORD, ONTARIO  
L4K 4S6  
P (416) 736-4096  
F (905) 660-0746

REGION  
DESIGN  
INC.

SHEET TITLE  
DECK ELEVATION  
ELEV. 1  
SCALE  
3/16"=1'-0"  
DATE  
DEC. 2022  
BY  
MB  
TYPE

CONTRACTOR SHALL CHECK ALL  
DIMENSIONS AND ELEVATIONS BEFORE  
COMMENCING WITH WORK AND REPORT  
ANY DISCREPANCIES TO THE DESIGNER.  
PRINTS ARE NOT TO BE SCALED.  
AREA  
3,212  
PAGE No.  
10-1  
PROJECT  
03-03-22

Greenpark  
PROJECT NAME  
TRINIGROUP



REAR ELEVATION 2  
FOR DECK CONDITION

ALL WOOD DECK LUMBER IS DECAY  
RESISTANT AND FASTENERS ARE  
CORROSION RESISTANT

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Richmond Hill.

CITY OF RICHMOND HILL  
BUILDING DIVISION  
08/20/2024  
REVISED  
Per: KER

City of Richmond Hill  
Design Review  
☐ Preliminary ☒ Final  
09 Aug 2024 By: James Paolidis

CAROL 12  
COMPLIANCE PACKAGE "A1"

5.		
4.		
3.		
2.		
1.	BASED ON ROSEWOOD 12 FROM RUSSELL GARDENS II	DEC 2022

REVISIONS

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.  
QUALIFICATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code  
VIKAS GAJJAR  
NAME  
28770  
BCIN  
SIGNATURE

REGION DESIGN INC.  
8700 DUFFERIN ST.  
CONCORD, ONTARIO  
L4K 4S6  
P (416) 736-4096  
F (905) 660-0746

REGION  
DESIGN  
INC.

SHEET TITLE  
DECK ELEVATION  
ELEV. 2  
SCALE  
3/16"=1'-0"  
DATE  
DEC. 2022  
BY  
MB  
TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.  
AREA  
3,212  
PAGE No.  
10-2  
PROJECT  
03-03-22

Greenpark  
PROJECT NAME  
TRINIGROUP



REAR ELEVATION 3  
FOR DECK CONDITION

ALL WOOD DECK LUMBER IS DECAY  
RESISTANT AND FASTENERS ARE  
CORROSION RESISTANT

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Richmond Hill.

CITY OF RICHMOND HILL  
BUILDING DIVISION

08/20/2024

REVISED

Per: KER

City of Richmond Hill  
Design Review

☐ Preliminary ☒ Final

09 Aug 2024 By: James Paolidis

CAROL 12

COMPLIANCE PACKAGE "A1"

5.		
4.		
3.		
2.		
1.	BASED ON ROSEWOOD 12 FROM RUSSELL GARDENS II	DEC 2022
REVISIONS		

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR  
NAME

28770  
BCIN

SIGNATURE

REGION DESIGN INC.  
8700 DUFFERIN ST.  
CONCORD, ONTARIO  
L4K 4S6  
P (416) 736-4096  
F (905) 660-0746

REGION  
DESIGN  
INC.

SHEET TITLE  
DECK ELEVATION  
ELEV. 3

SCALE  
3/16"=1'-0"

DATE  
DEC. 2022

BY  
MB

TYPE

CONTRACTOR SHALL CHECK ALL  
DIMENSIONS AND ELEVATIONS BEFORE  
COMMENCING WITH WORK AND REPORT  
ANY DISCREPANCIES TO THE DESIGNER.  
PRINTS ARE NOT TO BE SCALED.

AREA  
3,212

PROJECT  
03-03-22

PAGE No.

10-3

Greenpark™

PROJECT NAME

TRINIGROUP

[illegible]

1. FOOTING  
24"x8" POURED CONC. FOOTING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED GRANULAR FILL.
2. CONCRETE  
MINIMUM COMPRESSIVE STRENGTH OF 32 MPa (4650 psi) @ 28 DAYS W/ 5% TO 8% AIR ENTRAINMENT.
3. EXTERIOR STAIRS  
7 7/8" RISE MAXIMUM  
8 1/4" RUN MINIMUM  
9 1/4" TREAD MINIMUM
4. INSULATION  
FOR INSULATION VALUE & VAPOUR BARRIER LOCATION REFER TO NOTE I3 OF STANDARD NOTES
5. RETAINING WALL  
10" POURED CONCRETE W/ NO REINFORCING REQUIRED FOR WALL HEIGHTS TO A MAX. OF 4'-7". PROVIDE 15M VERTICAL REINFORCEMENT @ 16" O.C. AND 15M HORIZONTAL REINFORCEMENT @ 24" O.C. FOR WALL HEIGHTS TO 7'-0". RETAINING WALL TO RESIST LATERAL DESIGN LOADS AS PER OBC DIVISION B SECTION 4.1.5.16.
6. GUARDS  
3'-6" HIGH WHERE DISTANCE FROM GRADE TO BOTTOM OF WALKOUT EXCEEDS 5'-11"; 2'-11" FOR LESSER HEIGHTS. MAXIMUM 4" BETWEEN VERTICAL PICKETS.

REVISED  
Per: KER

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Richmond Hill.

REGISTERED PROFESSIONAL ENGINEER  
B. MARINKOVIC  
PROV. OF ONTARIO  
No. 12345  
Exp. 2023  
FOR STRUCTURE ONLY

[illegible]

PARTIAL BASEMENT PLAN  
FOR WALK-UP CONDITION

[illegible]

PARTIAL FIRST FLOOR PLAN  
FOR WALK-UP CONDITION

5.		
4.		
3.		
2.		
1.	BASED ON ROSEWOOD 12 FROM RUSSELL GARDENS II	DEC 2022
REVISIONS		

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

**QUALIFICATION INFORMATION**

Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR	28770
NAME	BCIN
SIGNATURE	

REGION DESIGN INC.  
8700 DUFFERIN ST.  
CONCORD, ONTARIO  
L4K 4S6  
P (416) 736-4096  
F (905) 660-0746

**R  
D  
I** REGION  
DESIGN  
INC.

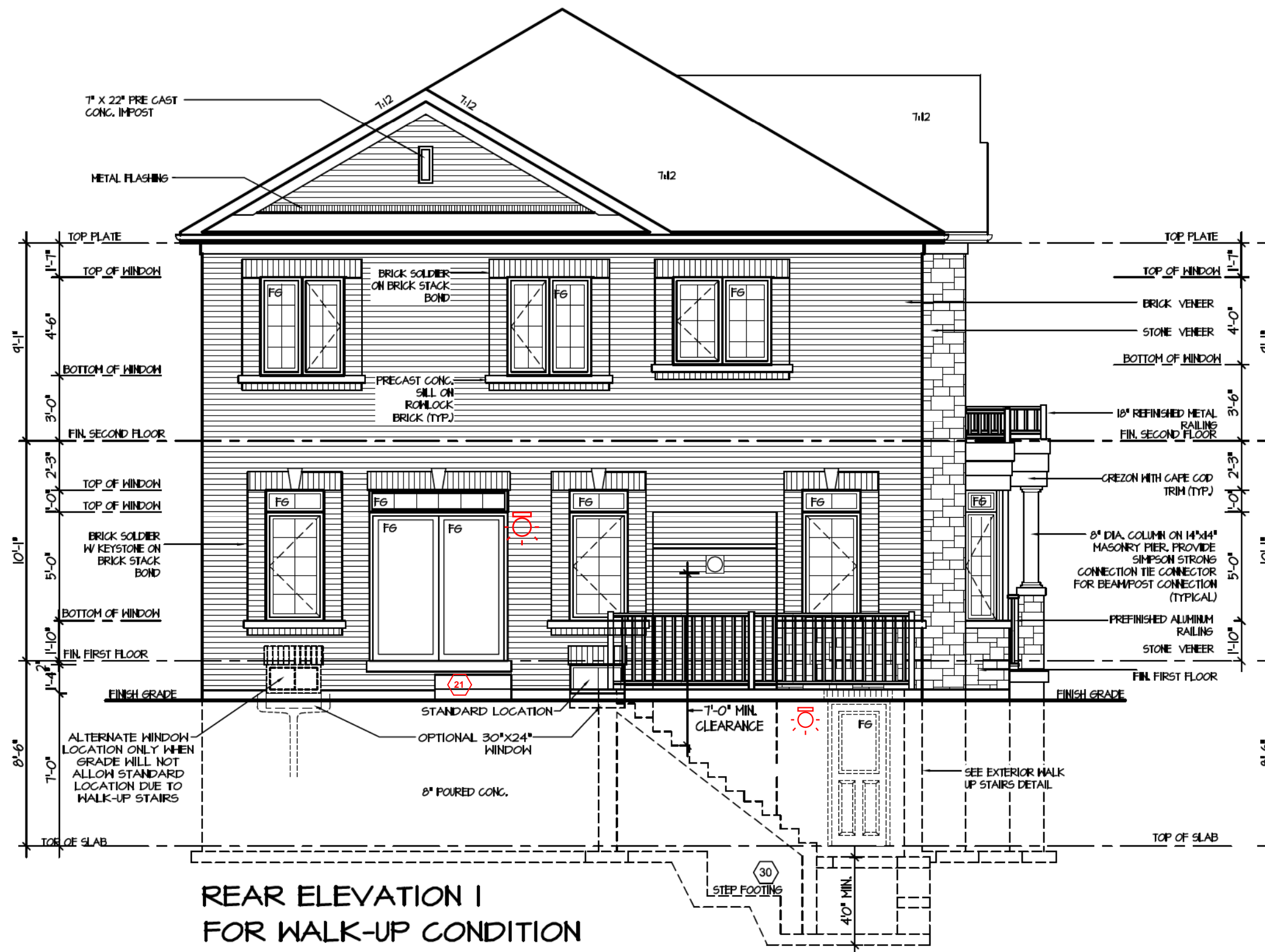
SHEET TITLE	
WALK-UP PLANS	
SCALE	BY
3/16"=1'-0"	MB
DATE	TYPE
DEC. 2022	

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER PRINTS ARE NOT TO BE SCALED.	
AREA <div style="font-size: 24pt; font-weight: bold;">3,212</div>	PAGE No. <div style="font-size: 48pt; font-weight: bold;">11</div>
PROJECT <div style="font-size: 24pt; font-weight: bold;">03-03-22</div>	

 **Greenpark™**

PROJECT NAME

TRINIGROUP



REAR ELEVATION I  
FOR WALK-UP CONDITION

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Richmond Hill.

CITY OF RICHMOND HILL  
BUILDING DIVISION  
08/20/2024  
REVISED  
Per: KER

City of Richmond Hill  
Design Review  
☐ Preliminary ☒ Final  
09 Aug 2024 By: James Paolidis

CAROL 12  
COMPLIANCE PACKAGE "A1"

5.		
4.		
3.		
2.		
1.	BASED ON ROSEWOOD 12 FROM RUSSELL GARDENS II	DEC 2022
REVISIONS		

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR  
NAME

28770  
BCIN

SIGNATURE

REGION DESIGN INC.  
8700 DUFFERIN ST.  
CONCORD, ONTARIO  
L4K 4S6  
P (416) 736-4096  
F (905) 660-0746

REGION  
DESIGN  
INC.

SHEET TITLE  
WALK-UP ELEVATION

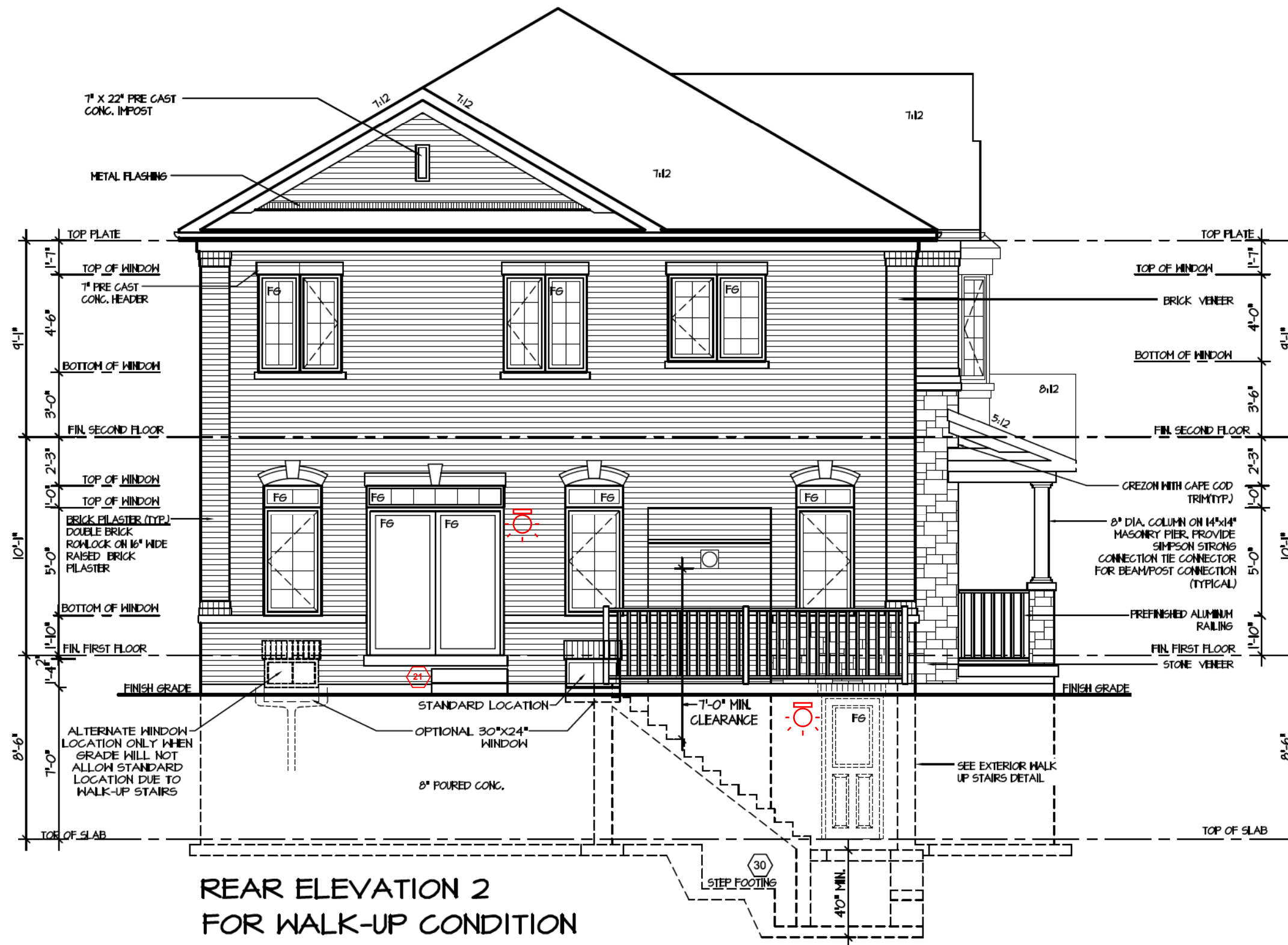
SCALE 3/16"=1'-0"	BY MB
DATE DEC. 2022	TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

AREA 3,212	PAGE No. 12-1
PROJECT 03-03-22	

**Greenpark.**

PROJECT NAME  
TRINIGROUP



REAR ELEVATION 2  
FOR WALK-UP CONDITION

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Richmond Hill.

CITY OF RICHMOND HILL  
BUILDING DIVISION  
08/20/2024  
REVISED  
Per: KER

City of Richmond Hill  
Design Review  
☐ Preliminary ☒ Final  
09 Aug 2024 By: James Paolidis

CAROL 12  
COMPLIANCE PACKAGE "A1"

5.		
4.		
3.		
2.		
1.	BASED ON ROSEWOOD 12 FROM RUSSELL GARDENS II	DEC 2022

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR  
NAME  
28770  
BCIN

REGION DESIGN INC.  
8700 DUFFERIN ST.  
CONCORD, ONTARIO  
L4K 4S6  
P (416) 736-4096  
F (905) 660-0746

REGION  
DESIGN  
INC.

SHEET TITLE  
WALK-UP ELEVATION  
SCALE  
3/16"=1'-0"  
DATE  
DEC. 2022  
BY  
MB  
TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

AREA  
3,212  
PAGE No.  
12-2  
PROJECT  
03-03-22

**Greenpark.**  
PROJECT NAME  
TRINIGROUP



REAR ELEVATION 3  
FOR WALK-UP CONDITION

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

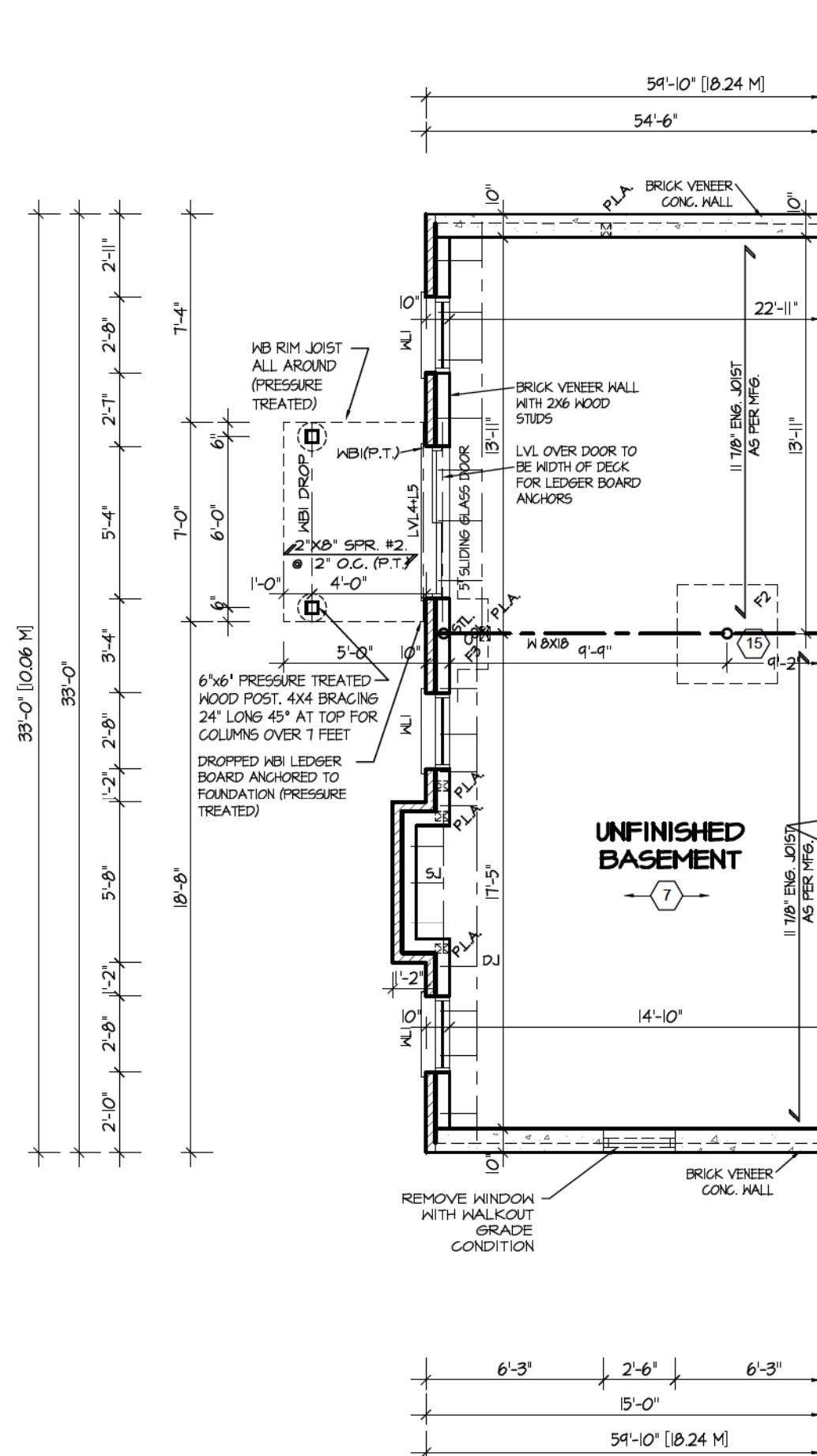
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Richmond Hill.

CITY OF RICHMOND HILL  
BUILDING DIVISION  
08/20/2024  
REVISED  
Per: KER

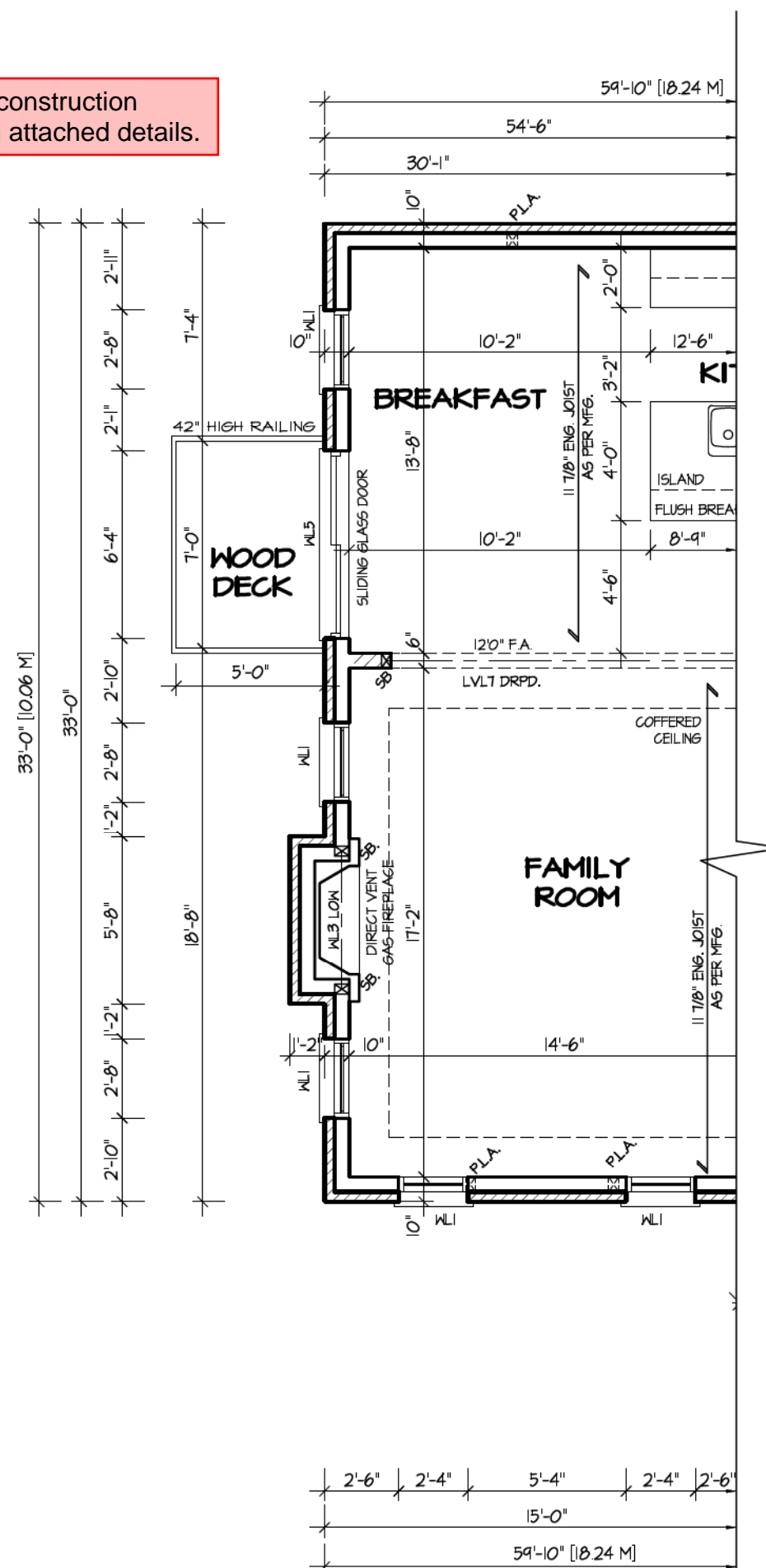
City of Richmond Hill  
Design Review  
☐ Preliminary ☒ Final  
09 Aug 2024 By: James Paolides

CAROL 12  
COMPLIANCE PACKAGE "A1"

5.			<p>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</p> <p>QUALIFICATION INFORMATION</p> <p>Required unless design is exempt under Division C, Subsection 3.2.5 of the building code</p> <div><div>VIKAS GAJJAR</div><div></div><div>28770</div></div> <div><div>NAME</div><div>SIGNATURE</div><div>BCIN</div></div>	<p>REGION DESIGN INC.</p> <p>8700 DUFFERIN ST.</p> <p>CONCORD, ONTARIO</p> <p>L4K 4S6</p> <p>P (416) 736-4096</p> <p>F (905) 660-0746</p>	<p><b>REGION DESIGN INC.</b></p>	SHEET TITLE		WALK-UP ELEVATION		<p>CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.</p>							
4.						SCALE	3/16"=1'-0"	BY	MB			AREA	3,212	PAGE No.	12-3	PROJECT NAME	TRINIGROUP
3.						DATE	DEC. 2022	TYPE				PROJECT	03-03-22				
2.																	
1.	BASED ON ROSEWOOD 12 FROM RUSSELL GARDENS II	DEC 2022															
REVISIONS																	



Deck and guard construction shall comply with attached details.



**CITY OF RICHMOND HILL  
BUILDING DIVISION**

08/20/2024

**REVISED**  
Per: KER

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

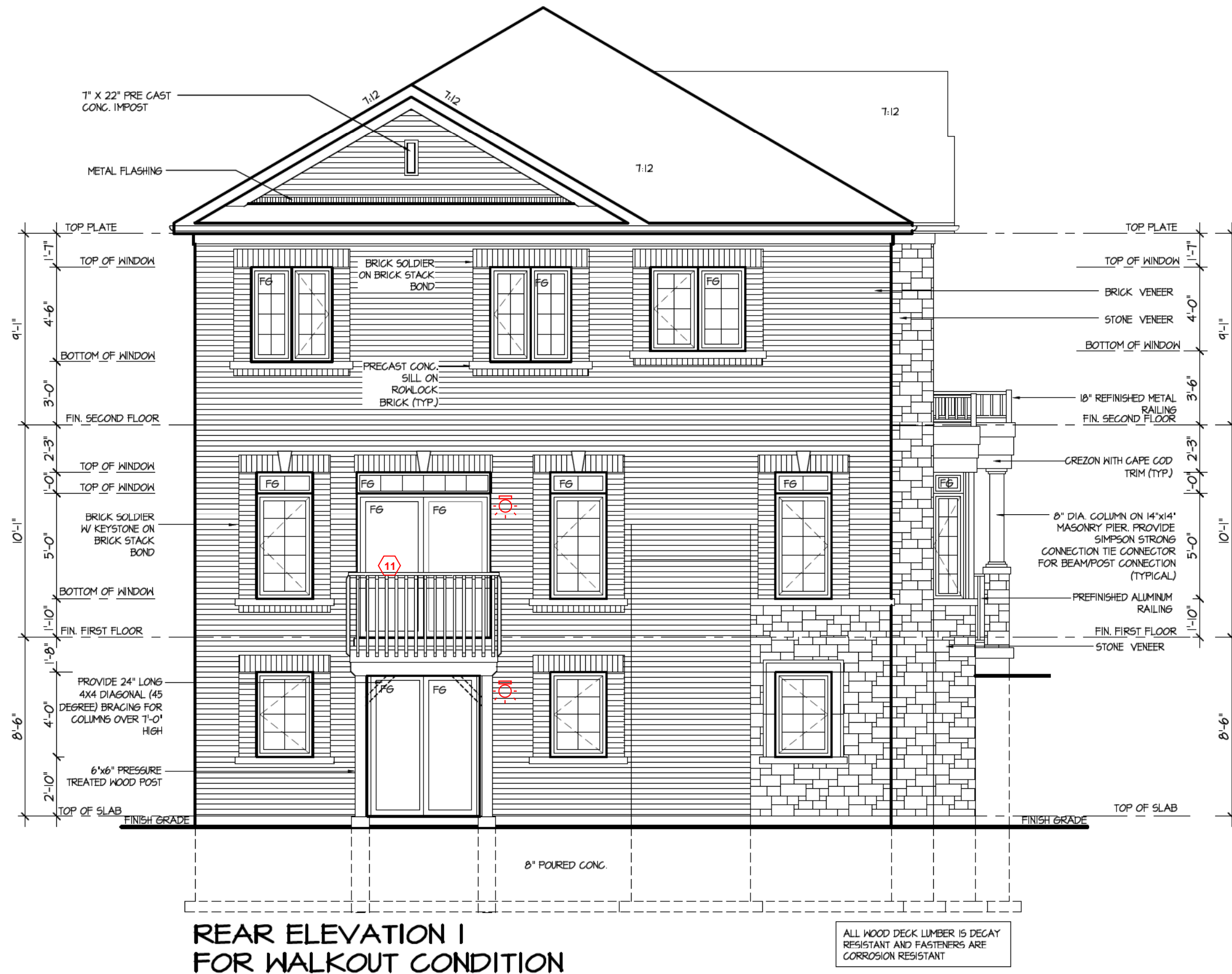
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Richmond Hill.

STRUDET INC.



**CAROL 12**  
COMPLIANCE PACKAGE "A1"

5.			<p>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</p> <p><b>QUALIFICATION INFORMATION</b></p> <p>Required unless design is exempt under Division C, Subsection 3.2.5 of the building code</p> <div><div>VIKAS GAJJAR</div><div></div><div>28770</div></div> <div><div>NAME</div><div>SIGNATURE</div><div>BCIN</div></div>	<p>REGION DESIGN INC.</p> <p>8700 DUFFERIN ST.</p> <p>CONCORD, ONTARIO</p> <p>L4K 4S6</p> <p>P (416) 736-4096</p> <p>F (905) 660-0746</p>	<p><b>REGION DESIGN INC.</b></p>	SHEET TITLE		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.		
4.						WALKOUT BASEMENT FLOOR PLANS				
3.						SCALE	BY	AREA	PAGE No.	
2.						3/16"=1'-0"	MB	3,212	13	
1.	BASED ON ROSEWOOD 12 FROM RUSSELL GARDENS II	DEC 2022				DATE	TYPE	PROJECT		
REVISIONS							PROJECT NAME		TRINIGROUP	



CITY OF RICHMOND HILL  
BUILDING DIVISION  
08/20/2024  
REVISED  
Per: \_\_\_\_\_ KER \_\_\_\_\_

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Richmond Hill.

City of Richmond Hill  
Design Review  
☐ Preliminary ☒ Final  
09 Aug 2024 By: James Paolides

CAROL 12  
COMPLIANCE PACKAGE "A1"

5.		
4.		
3.		
2.		
1.	BASED ON ROSEWOOD 12 FROM RUSSELL GARDENS II	DEC 2022
REVISIONS		

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.  
QUALIFICATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code  
VIKAS GAJJAR  
NAME  
28770  
BCIN  
SIGNATURE

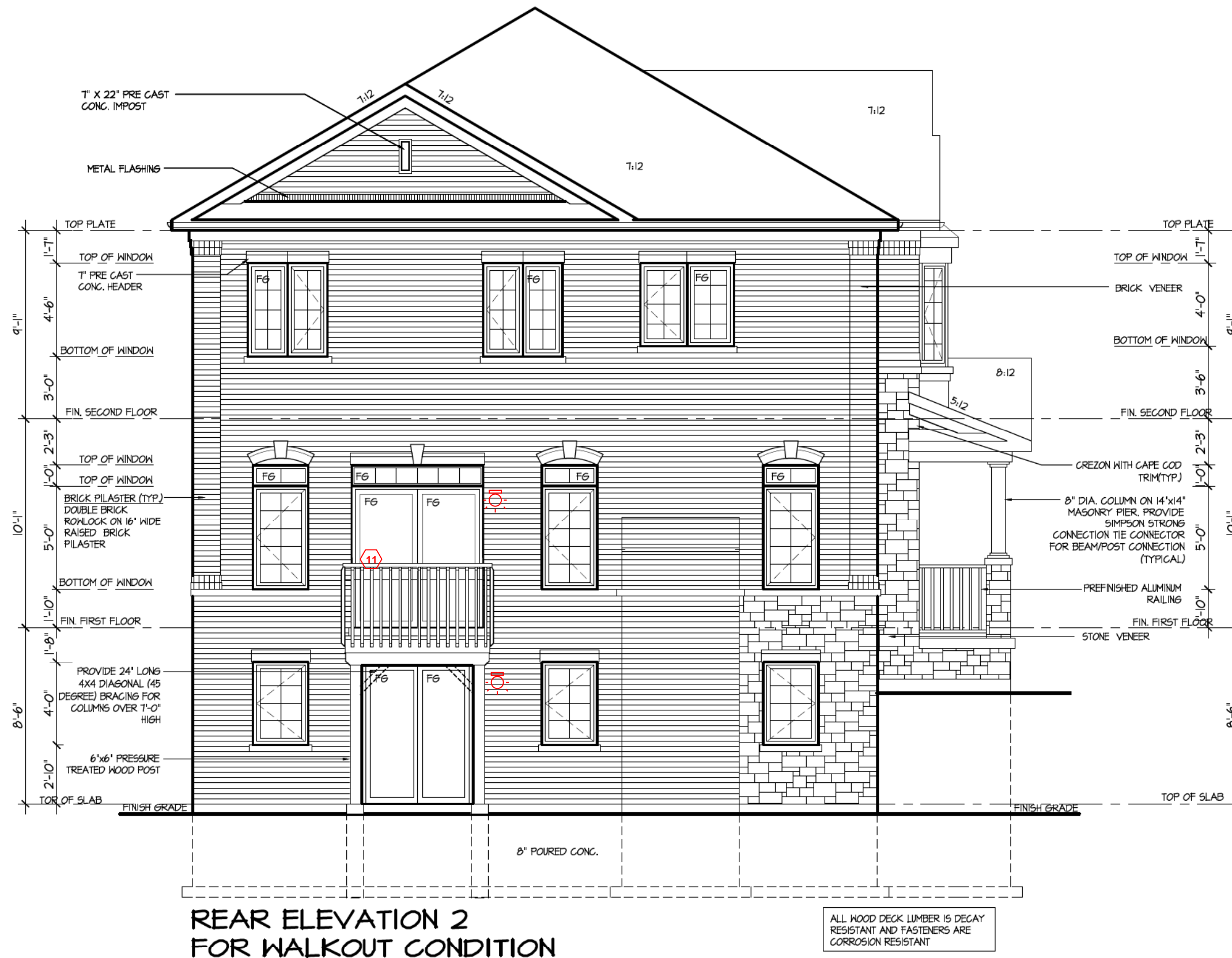
REGION DESIGN INC.  
8700 DUFFERIN ST.  
CONCORD, ONTARIO  
L4K 4S6  
P (416) 736-4096  
F (905) 660-0746

REGION  
DESIGN  
INC.

SHEET TITLE  
WALKOUT BASEMENT  
REAR ELEVATION 1  
SCALE  
3/16"=1'-0"  
DATE  
DEC. 2022  
BY  
MB  
TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.  
AREA  
3,212  
PAGE No.  
14-1  
PROJECT  
03-03-22

PROJECT NAME  
TRINIGROUP  
Greenpark™



REAR ELEVATION 2  
FOR WALKOUT CONDITION

CITY OF RICHMOND HILL  
BUILDING DIVISION  
08/20/2024  
REVISED  
Per: KER

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Richmond Hill.

City of Richmond Hill  
Design Review  
☐ Preliminary ☒ Final  
09 Aug 2024 By: James Paolidis

CAROL 12  
COMPLIANCE PACKAGE "A1"

5.		
4.		
3.		
2.		
1.	BASED ON ROSEWOOD 12 FROM RUSSELL GARDENS II	DEC 2022
REVISIONS		

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.  
QUALIFICATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code  
VIKAS GAJJAR  
NAME  
28770  
BCIN  
SIGNATURE

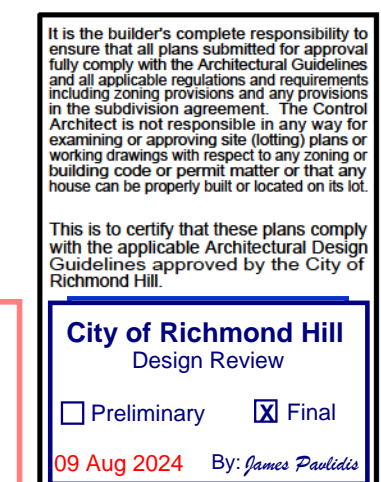
REGION DESIGN INC.  
8700 DUFFERIN ST.  
CONCORD, ONTARIO  
L4K 4S6  
P (416) 736-4096  
F (905) 660-0746

REGION  
DESIGN  
INC.

SHEET TITLE  
WALKOUT BASEMENT  
REAR ELEVATION 2  
SCALE  
3/16"=1'-0"  
DATE  
DEC. 2022  
BY  
MB  
TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.  
AREA  
3,212  
PAGE No.  
14-2  
PROJECT  
03-03-22

Greenpark  
PROJECT NAME  
TRINIGROUP



5.			<p>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</p> <p><b>QUALIFICATION INFORMATION</b></p> <p>Required unless design is exempt under Division C, Subsection 3.2.5 of the building code</p> <div><div>VIKAS GAJJAR</div><div></div><div>28770</div></div> <div><div>NAME</div><div>SIGNATURE</div><div>BCIN</div></div>	<p>REGION DESIGN INC.</p> <p>8700 DUFFERIN ST.</p> <p>CONCORD, ONTARIO</p> <p>L4K 4S6</p> <p>P (416) 736-4096</p> <p>F (905) 660-0746</p>	<p><b>REGION DESIGN INC.</b></p>	SHEET TITLE		<p>CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.</p>			
4.						WALKOUT BASEMENT REAR ELEVATION 3					
3.						SCALE	BY	AREA	PAGE No.	PROJECT NAME	
2.						3/16"=1'-0"	MB	3,212	14-3		
1.	BASED ON ROSEWOOD 12 FROM RUSSELL GARDENS II	DEC 2022				DATE	TYPE	PROJECT			TRINIGROUP
REVISIONS											