

CONSTRUCTION SUMMARY

Palmetto - Zadorra Estates Corp.

RECEIVED

MAR 13 2024

TEL: RES.: 647-278-7150

PURCHASER: Nagarajan SHANMUGA

LOT / PHASE 86 / 1	REG. PLAN # 40M-2763	HOUSE TYPE Villa 2 Elev 1		
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CABINETRY ACCESSORIES

1 - KITCHEN CABINETRY - PANTRY UNIT UPGRADE - TO GO FROM 300MM TO 600MM DEEP - PRICE IS PER FOOT - STANDARD LEVEL 12Mar24 Note:	
1 - KITCHEN CABINETRY UPPER - FULL DEPTH ABOVE FRIDGE UPPER WITH GABLES - 650MM DEEP - PRICE IS EACH 12Mar24 Note:	

CERAMIC TILE

1 - TILE - UPGRADE 1 FLOOR TILE - KITCHEN/BREAKFAST AREA 12Mar24 Note:	
1 - TILE - UPGRADE 1 FLOOR TILE - LAUNDRY ROOM 12Mar24 Note:	
1 - TILE - UPGRADE 1 FLOOR TILE - GARAGE ENTRANCE/MUD ROOM 12Mar24 Note:	
1 - TILE - UPGRADE 1 FLOOR TILE - POWDER ROOM 12Mar24 Note:	
1 - TILE - UPGRADE 1 FLOOR TILE - FOYER 12Mar24 Note:	

CONSTRUCTION

3 - ENLARGED BASEMENT WINDOWS (MAY REQUIRE WINDOW WELLS) - WINDOW IS 30 INCHES X 24 INCHES 14Jun23 Note:	
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FIREPLACE AND ACCESSORIES

1 - MANTEL - PAINTED - M6 - IN LIEU OF STANDARD MANTEL 12Mar24 Note:	
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HARDWOOD FLOORING

1 - LAMINATE – UPGRADE TO AVENUE SERIES IN LIEU OF STANDARD LAMINATE 12Mar24 Note:	
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PROMOTIONAL

1 - LESS BALANCE OF CREDIT FROM PURCHASER EXTRA SHEET IN OFFER 12Mar24 Note:	
1 - PARTIAL REDEMPTION OF PROMOTIONAL PACKAGE \$1,950.00 BALANCE FORWARD \$13,050.00 TO BE USED AT A LATER DATE. ORIGINAL PROMOTIONAL PACKAGE OF \$15,000.00 AS PER SCHEDULE PE. 14Jun23 Note:	

STAIRS AND RAILINGS

1 - PICKETS - EUROLINE 1 - BLACK PICKETS 12Mar24 Note:	
1 - STAINED STAIRS - STANDARD STAIRCASE 12Mar24 Note: INCLUDING STEPS TO LOWER LANDING	

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LOT / PHASE	REG. PLAN #	HOUSE TYPE		
86 / 1	40M-2763	Villa 2 Elev 1		

EXTRAS AS PER OFFER

The Vendor agrees that notwithstanding any other term or provision in this Agreement included in the Purchase Price and in addition to those items detailed in Schedule GP to the Agreement of Purchase and Sale, the Purchaser is entitled to a credit of Fif <i>Worksheet</i> Note:	
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This Document is Extremely Time Sensitive - Printed 12 Mar 24 at 10:40

Purchaser:

Telephone Res. / Bus:

Decor Advisor:

Lock Date:

Nagarajan SHANMUGA

(647) 278-7150 /

Giulia Di Girolamo

12-Mar-24

Property: 86

Project: Zadorra Estates Corp.

Model and Elevation: Villa 2 Elev 1

12-Mar-24

Plan #: 40M-2763

1. Cabinetry

	Style and Colour	Hardware
Kitchen / Breakfast	SABRA - 823 DRIFTWOOD	464SA
Laundry Room	ELISSE	Standard
Powder Room	SABRA - 823 DRIFTWOOD	464SA
Master Ensuite Bathroom	SABRA - 823 DRIFTWOOD	464SA
Main Bathroom	SABRA - 823 DRIFTWOOD	464SA
Ensuite Bath - Bedroom 3	SABRA - 823 DRIFTWOOD	464SA
Stove Opening	STANDARD	NOTE: If not specified, opening will be set to builder's standard opening of approximately 30" width
Fridge Opening	STANDARD	NOTE: If not specified, opening will be set to builder's standard opening of approximately 37" width x 74" height

** Refer to Construction Summary

2. Counters

	Counter	Edge	Niche
Kitchen / Breakfast	LAMINATE-WHITE TIGRIS 4783-60		
Laundry Room	N/A		
Powder Room	LAMINATE-WHITE TIGRIS 4783-60		
Master Ensuite Bathroom	LAMINATE-WHITE TIGRIS 4783-60		
Main Bathroom	LAMINATE-WHITE TIGRIS 4783-60		
Ensuite Bath - Bedroom 3	LAMINATE-WHITE TIGRIS 4783-60		
Kitchen Backsplash	N/A		

** Refer to Construction Summary

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Nagarajan SHANMUGA

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Giulia Di Girolamo

Lock Date:

12-Mar-24

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Model and Elevation: Villa 2 Elev 1

Plan #: 40M-2763

3. Ceramic Flooring

At a 45

Entrance Vestibule	TILE-AXIS BIANCO 12X24	<input type="checkbox"/>
Main Hall	LAMINATE	<input type="checkbox"/>
Kitchen / Breakfast	TILE-AXIS BIANCO 12X24	<input type="checkbox"/>
Laundry Room	TILE-AXIS BIANCO 12X24	<input type="checkbox"/>
Powder Room	TILE-AXIS BIANCO 12X24	<input type="checkbox"/>
Master Ensuite Bathroom	TILE-CONCRETE WHITE 13X13	<input type="checkbox"/>
Main Bathroom	TILE-CONCRETE WHITE 13X13	<input type="checkbox"/>
Ensuite Bath - Bedroom 3	TILE-CONCRETE WHITE 13X13	<input type="checkbox"/>
Mud Room	TILE-AXIS BIANCO 12X24	<input type="checkbox"/>
		<input type="checkbox"/>
		<input type="checkbox"/>

** Refer to Construction Summary ** METAL STRIP THRESHOLD WHERE APPLICABLE UNLESS SPECIFIED **

4. Ceramic Wall Tile

Master Ensuite Bathroom	Selection	Describe
Tub Deck Wall	N/A	
Shower Stall	TILE-GROENLANDIA BLANCO LUCIDO 8X16	
Bathtub Enclosure Walls	N/A	
Main Bathroom	TILE-GROENLANDIA BLANCO LUCIDO 8X16	
Ensuite Bath - Bedroom 3	TILE-GROENLANDIA BLANCO LUCIDO 8X16	
Mud Room	N/A	
Kitchen Backsplash	N/A	

** Refer to Construction Summary - STANDARD GROUT THROUGHOUT UNLESS SPECIFIED

5. Trim Carpentry

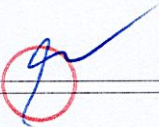
Interior Doors	CARRARA-SMOOTH
Interior Trim	As Per Construction Specifications

** Refer to Construction Summary

6. Plaster Mouldings and Medallions

Entrance Vestibule			Kitchen/Breakfast		
Main Hall			Den/Library		
Living Room			Lower Landing		
Dining Room					
Family Room					

** Refer to Construction Summary



Initial: _____

Page 2 of 4

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Lock Date: 12-Mar-24

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Plan #: 40M-2763

7. Other Flooring

Main Hall	LAMINATE - AVENUE - ARTESIA OAK TL-AV 235 - PEFC
Living Room	LAMINATE - AVENUE - ARTESIA OAK TL-AV 235 - PEFC
Dining Room	LAMINATE - AVENUE - ARTESIA OAK TL-AV 235 - PEFC
Family Room	LAMINATE - AVENUE - ARTESIA OAK TL-AV 235 - PEFC
Den / Library / Study	N/A
Basement Landing(If Applies)	N/A
Lower Landing (If Applies)	LAMINATE - AVENUE - ARTESIA OAK TL-AV 235 - PEFC
Upper Landing	LAMINATE - AVENUE - ARTESIA OAK TL-AV 235 - PEFC
Upper Hall	LAMINATE - AVENUE - ARTESIA OAK TL-AV 235 - PEFC
Master Bedroom	LAMINATE - AVENUE - ARTESIA OAK TL-AV 235 - PEFC
Bedroom #2	LAMINATE - AVENUE - ARTESIA OAK TL-AV 235 - PEFC
Bedroom #3	LAMINATE - AVENUE - ARTESIA OAK TL-AV 235 - PEFC
Bedroom #4	LAMINATE - AVENUE - ARTESIA OAK TL-AV 235 - PEFC
Bedroom #5	N/A
Flex Area	LAMINATE - AVENUE - ARTESIA OAK TL-AV 235 - PEFC

Underpad

Standard ☐

Upgrade

** Refer to Construction Summary

8. Railings and Pickets

Railing Type	AS PER CONSTRUCTION SPECIFICATIONS	Colour	TORLYS-ARTESIA OAK TL-AV 235
Picket Type	EUROLINE 1	Colour	BLACK
Stringer / Riser	AS PER CONSTRUCTION SPECIFICATIONS	Colour	TORLYS-ARTESIA OAK TL-AV 235
Treads	AS PER CONSTRUCTION SPECIFICATIONS	Colour	TORLYS-ARTESIA OAK TL-AV 235

Red Oak Stairs as Per Vendor's Standard

** Refer to Construction Summary THE STAIN COLOURS OR FINISH AVAILABLE ON RISERS, TREADS, PICKETS AND RAILS (STAIRCASES), WILL NOT BE AN EXACT MATCH TO PREFINISHED HARDWOOD OR LAMINATE FLOORS.

9. Wall Paint Flat Finish

Main & Upper Hall	25 OYSTER	Master Bedroom	25 OYSTER
Living Room	25 OYSTER	Bedroom #2	25 OYSTER
Dining Room	25 OYSTER	Bedroom #3	25 OYSTER
Kitchen / Breakfast	25 OYSTER	Bedroom #4	25 OYSTER
Family Room	25 OYSTER	Bedroom #5	N/A
Powder Room	25 OYSTER	Master Ensuite	25 OYSTER
Laundry Room	25 OYSTER	Ensuite Bath - Bedroom 3	25 OYSTER
Den/Library	N/A	Main Bathroom	25 OYSTER
Trim & Door Paint-Semi Gloss	BIRCH WHITE	Mud Room	25 OYSTER
		Flex Area	25 OYSTER

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12-Mar-24

Plan #: 40M-2763

10. Fireplace

	Living Room			Family Room			Other Room - Specify		
	Purchased	As Per Plan	N/A	Purchased	As Per Plan	N/A	Purchased	As Per Plan	N/A
	<input type="radio"/>	<input type="radio"/>	<input checked="" type="radio"/>	<input type="radio"/>	<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input checked="" type="radio"/>
Fireplace Type				As Per Construction Specifications					
Mantle Type				MANTLE M6					
Colour / Stain				BIRCH WHITE					
Surround				CREMA MARFIL					
Hearth				NO					
** Refer to Construction Summary									

11. Air Conditioning

Air Conditioning	<input type="text" value="NO"/>
Comment	
** Refer to Construction Summary	

12. General Comments

** Refer to Construction Summary

Disclaimers and Notes

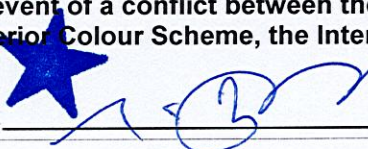
1) Colours of all materials are as close as possible to builder's selection, but not necessarily identical due to variances in manufacturing.

2) Any extras listed above are null and void unless accompanied by a separate invoice/amendment. Said invoice must be paid in full.

3) The Purchaser agrees that this colour selection is final and that no changes will be permitted, unless required by the Vendor.

4) The Purchaser acknowledges reading and accepting document which contains other miscellaneous disclaimers.

5) In the event of a conflict between the Standard Features schedule of the Agreement of Purchase and Sale and the Interior Colour Scheme, the Interior Colour Scheme shall prevail.

Signature: 

Date: 12/Mar/2024

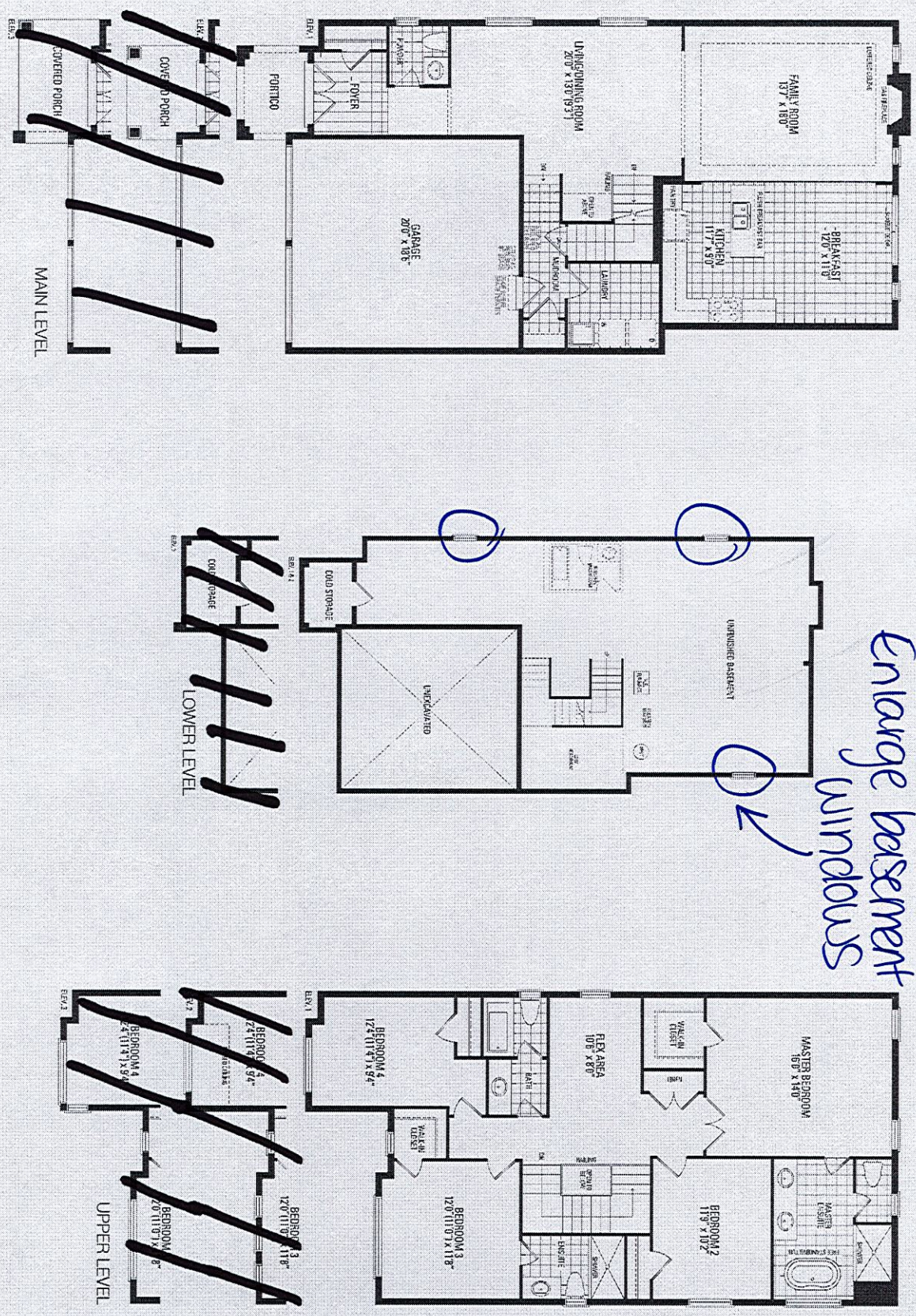
Page 4 of 4

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LOT #86

Villa 2 36' LOT

ELEVATION 1 2,527 sq.ft. • ELEVATION 2 2,527 sq.ft. • ELEVATION 3 2,523 sq.ft.
INCLUDES 10 SQ.FT. OF OPEN AREA



Orientation of home may be reversed and purchaser agrees to accept the same. Steps and porches may vary at any exterior entrance ways due to grading variance. Actual usable floor space may vary from the stated floor areas. All renderings are artist's concept. Dimensions, specifications and architectural detailing subject to modifications. Roofline and adjoining model types may vary due to siting. E. & O. E. May 2023

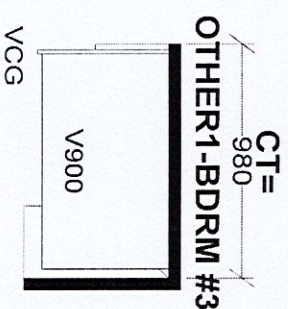
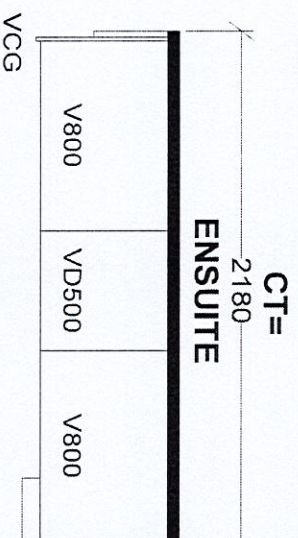
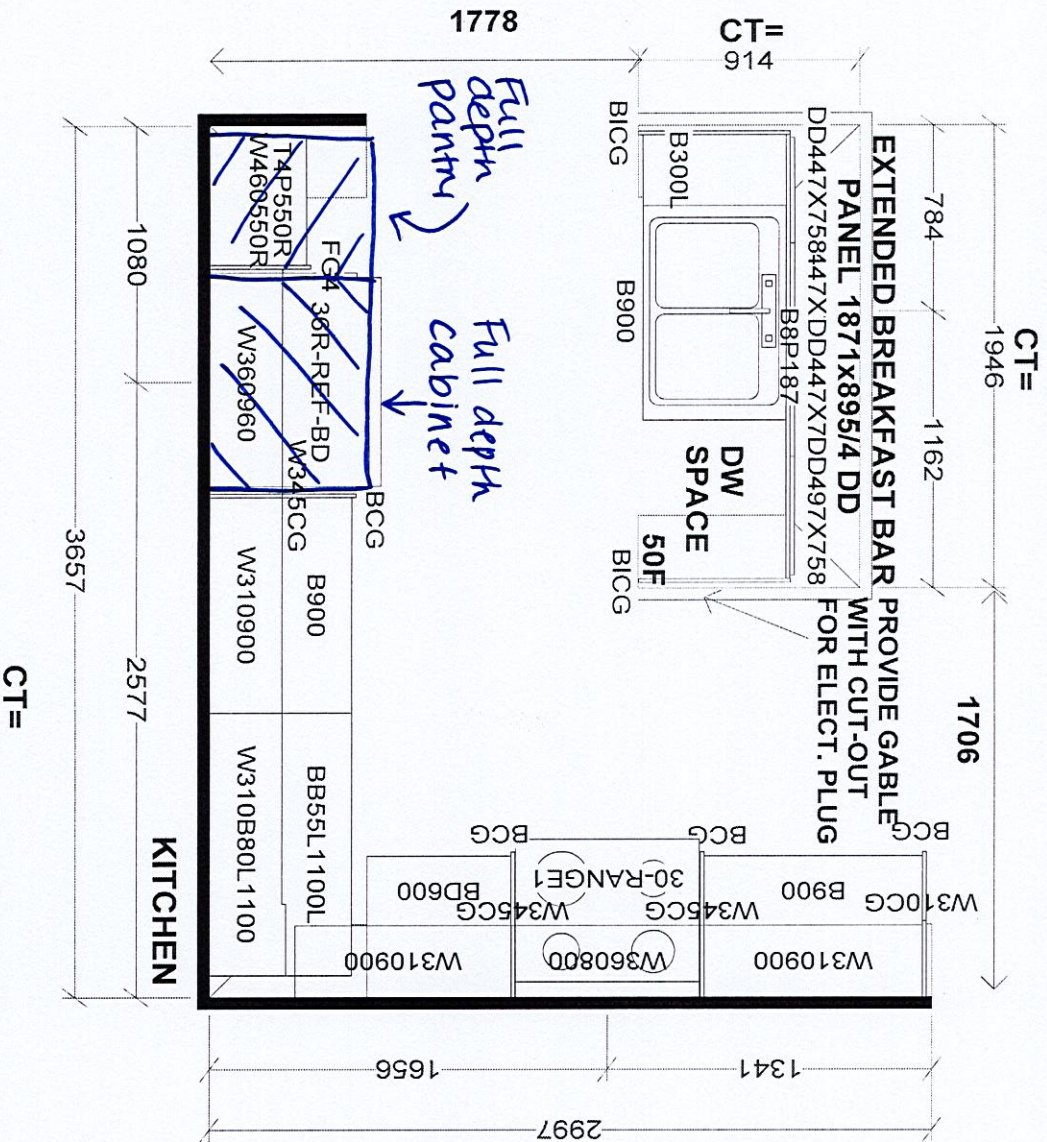
Technical drawing of a kitchen island showing top and side views with dimensions and labels.

Top View Dimensions:

- Overall width: 1946
- Overall depth: 1706
- Island width (excluding overhang): 1341
- Island depth (excluding overhang): 1162
- Overhang width: 784
- Overhang depth: 50F

Labels and Callouts:

- CT=** (at top left)
- 914** (at top left, below CT=)
- EXTENDED BREAKFAST BAR** (at top center)
- PANEL 1871x895/4 DD** (at top center, below breakfast bar)
- DD447X758447XDD447X7DD497X758** (at top center, below panel)
- B8P187** (at top center, below panel)
- B300L** (at top center, below panel)
- BICG** (at top left and top right)
- B900** (at top left and top right)
- DW SPACE** (at top center, below panel)
- 50F** (at top center, below panel)
- PROVIDE GABLE WITH CUT-OUT FOR ELECT. PLUG** (at top center, below panel)
- BCG** (at top center, below panel)
- W310CG** (at top center, below panel)
- B900** (at top center, below panel)
- W345CG** (at top center, below panel)
- (30)R/A** (at top center, below panel)
- W36** (at top center, below panel)
- W310900** (at top center, below panel)
- 1341** (at top center, below panel)



Selba Industries				J#
W WIDTH	W HGT	W CNT	This drawing is the intellectual property of SELBA INDUSTRIES INC. and is an original design which must not be released or copied unless applicable fee has been paid or job order placed.	
FLOOR HGT	DOOR HGT		JOB NUMBER:	
ST CENT	2X4	VENT BOX COVER	BUILDER: GREENPARK HOMES	
			SITE: ZADORRA, Oshawana	
			MODEL: VILLA 2X EL 1,2,3	
			LOT #: 86-Zadorra	
			DESIGNER: BM	
			DATE: AUG 4 23	