



BUILDING PERMIT PLANS REVIEW	ACCEPTED AS NOTED	
	REVIEWED BY	DATE
ZONING		
PLANNING		
ARCHITECTURAL	CM	OCT 31, 2023
STRUCTURAL		
FIRE		
PLUMBING	CARD	
MECHANICAL		
PLANS REVIEW COMPLETED	CM	OCT 31, 2023

SOIL CONDITIONS

SOIL CONDITIONS SHALL BE VERIFIED BY A PROFESSIONAL ENGINEER COMPETENT IN THE FIELD OF SOIL ENGINEERING, PRIOR TO PLACING ANY FOUNDATION.

THE PERMIT PLANS HAVE BEEN REVIEWED FOR ONE (1) DWELLING UNIT. ANY FUTURE CHANGES WILL REQUIRE A SEPARATE BUILDING PERMIT

PLUMBING INSTALLATIONS

ALL PLUMBING INSTALLATIONS ARE TO BE DONE BY A PLUMBING CONTRACTOR POSSESSING AN ONTARIO COLLEGE OF TRADES MEMBERSHIP. NO PLUMBING IS TO BE COVERED UNTIL INSPECTED AND APPROVED BY A PLUMBING INSPECTOR. TELEPHONE 905-436-5658 WHEN READY FOR AN INSPECTION AND TESTING.

ALL STANDARDS REFERRED TO IN THESE BUILDING PERMIT DOCUMENTS SHALL BE THE EDITION DESIGNATED IN OBC 2012 AS AMENDED.

RAIN WATER DOWNSPOUTS ARE TO BE DISCHARGED AT GRADE AND NOT CONNECTED TO WEEPING TILES.

FUTURE ALTERATIONS

A SEPARATE BUILDING PERMIT IS REQUIRED FOR ANY PROPOSED INTERIOR PARTITIONS AND/OR ALTERATIONS.

NOTE:

IT IS RECOMMENDED THAT CRUSHED CONCRETE OR SLAG AGGREGATE **NOT** TO BE USED FOR BACKFILL UNDER CONCRETE SLABS, AROUND SEWER LATERALS OR WEEPERS.

MHP CERTIFICATION

ALL MARKUPS AND STAMPS APPLIED TO BASE MODEL AND BASE ELEVATION SHALL APPLY AS APPLICABLE TO THE ENTIRE MODEL HOUSE PLAN

AS BUILT SURVEY

UPON COMPLETION OF THE FOUNDATION, A SURVEY PREPARED BY AN ONTARIO LAND SURVEYOR INDICATING THE LOCATION OF THE BUILDING TO ALL PROPERTY LINES IS REQUIRED TO BE SUBMITTED TO THE BUILDING DEPARTMENT

IMPORTANT NOTE

NEITHER THE ISSUANCE OF A PERMIT NOR THE CARRYING OUT OF INSPECTIONS BY THE CITY RELIEVE THE APPLICANT FROM FULL RESPONSIBILITY FOR COMPLIANCE WITH THE PROVISIONS OF THE BUILDING CODE ACT AND THE ONTARIO BUILDING CODE, BOTH AS AMENDED, AS WELL AS OTHER APPLICABLE STATUTES AND REGULATIONS OF THE PROVINCE OF ONTARIO AND ALL RELEVANT BY-LAWS OF THE CITY OF OSHAWA AND THE REGIONAL MUNICIPALITY OF DURHAM.

OBC 9.10.14.5 - CLADDING

CLADDING ON THE EXPOSING BUILDING FACE IS PERMITTED TO BE VINYL WHEN WITHIN 600mm OF PROPERTY LINE, PROVIDED THAT THE VINYL CONFORMS TO OBC DIV. B. 9.27.13. IS INSTALLED OVER SHEATHING PAPER AND 12.7mm DRYWALL, HAS A FLAME SPREAD RATING NOT GREATER THAN 25, AND IS NOT MORE THAN 2mm THICK AND THE ENTIRE EXTERIOR WALL HAS A MINIMUM FIRE RESISTANCE RATING OF ¾ HOURS.

RETURN AIR INLET FROM ANYROOM

PROVISIONS SHALL BE MADE FOR THE RETURN OF AIR FROM ANY ROOM OR SPACE WITHOUT A RETURN AIR INLET, BY LEAVING GAPS BENEATH DOORS, USING LOUVERED DOORS, OR INSTALLING RETURN AIR DUCT INLETS.

BEDROOM WINDOWS

- (1) EVERY FLOOR LEVEL CONTAINING BEDROOMS IN A *SUITE* SHALL BE PROVIDED WITH AT LEAST 1 OUTSIDE WINDOW THAT CAN BE OPENED FROM THE INSIDE WITHOUT THE USE OF TOOLS, AND EACH SUCH WINDOW SHALL PROVIDE AN INDIVIDUAL, UNOBSTRUCTED OPEN PORTION HAVING A MINIMUM AREA OF 0.35M² (3.8 SQ.FT.) WITH NO DIMENSION LESS THAN 380 MM (15 IN).
- (2) EXCEPT FOR *BASEMENT* AREAS, THE WINDOW DESCRIBED IN SENTENCE (1) SHALL HAVE A MAXIMUM SILL HEIGHT OF 1M (3 FT 3 IN) ABOVE THE FLOOR.
- (3) WHEN SLIDING WINDOWS ARE USED, THE MINIMUM DIMENSION DESCRIBED IN SENTENCE (1) SHALL APPLY TO THE OPENABLE PORTION OF THE WINDOW.

PREFABRICATED WOOD TRUSSES

FABRICATION AND ERECTION DRAWINGS WITH DESIGN DATA, PREPARED AND SEALED BY A PROFESSIONAL ENGINEER, MUST BE AVAILABLE ON SITE FOR REVIEW BY THE BUILDING INSPECTOR

ROOF CEILING INSULATION

ROOF FRAMING OR TRUSS HEEL JOINT MUST PERMIT SUFFICIENT SPACE FOR THE EXTENSION OF THE ROOF-CEILING INSULATION OVER EXTERIOR WALLS MINIMIZE THERMAL BRIDGES. AN UNOBSTRUCTED VENTILATION SPACE MUST BE PROVIDED OVER EXTERIOR WALLS TO ALLOW UNIMPEDED AIR FLOW FORM SOFFIT VENTS TO ROOF VENTS.

ALL ELECTRICAL WIRING MUST BE INSPECTED BY THE ELECTRICAL SAFETY AUTHORITY. SEPARATE INSPECTION APPLICATIONS (PERMITS) MUST BE FILED. WE RECOMMEND YOU USE A QUALIFIED ELECTRICAL CONTRACTOR. FOR MORE INFORMATION PLEASE CALL:



1-877-ESA-SAFE
OR VISIT
WWW.ESASAFE.COM

ATTIC HATCHES SHALL NOT BE LESS THAN 550mm (21 5/8") BY 900mm (35")

OBC 9.26.4.1.

FLASHING REQUIRED AT ALL ROOF-WALL JUNCTIONS

INTERIOR FINISH OF EXITS

THE FLAME SPREAD RATING OF WALL OR CEILING FINISH IN AN EXIT MUST NOT EXCEED 25.

INTERIOR FINISH (EXCEPT EXITS)

FLAME SPREAD RATING OF INTERIOR FINISH MATERIALS SHALL NOT EXCEED 150 ON WALLS AND 150 ON CEILINGS. COMBUSTIBLE WALL AND CEILING FINISHES SUCH AS WOOD, PLYWOOD, PLASTIC, FABRIC, CARPET, ETC. MUST BE APPROVED BY THE INSPECTOR PRIOR TO THE INSTALLATION.

DIV.B. 9.10.14.1 EXPOSING BUILDING FACE OF HOUSES

UNPROTECTED OPENINGS IN THE EXPOSING BUILDING FACE SHALL NOT BE PERMITTED IF THE LIMITING DISTANCE IS LESS THAN 1.2m (3'11") AND SHALL BE LIMITED IN CONFORMANCE WITH THE REQUIREMENTS FOR UNPROTECTED OPENINGS IN DIV. B ARTICLE 9.10.15.1. WHERE THE LIMITING DISTANCE IS 1.2m (3'11") OR GREATER.

THE EXPOSING BUILDING FACE SHALL HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 45 MINUTES WHERE THE LIMITING DISTANCE IS LESS THAN 1.2m.

RESISTANCE TO FORCED ENTRY
2012 O.B.C. DIV B. 9.7.5.2. & 9.7.5.3.

1. SWINGING DOORS PROVIDING ACCESS TO DWELLING UNITS SHALL SATISFY THE REQUIREMENTS FOR RESISTANCE TO FORCED ENTRY AS DESCRIBED IN SUBSECTION 9.7.5.2.
2. WINDOWS IN DWELLING UNITS THAT ARE LOCATED WITHIN 2M OF ADJACENT GROUND LEVEL SHALL CONFORM TO THE REQUIREMENTS FOR RESISTANCE TO FORCED ENTRY AS DESCRIBED IN CLAUSE 5.3.5.OF AAMA/WDMA/CSA 101/1.S.2/A440.

A return air inlet shall be located in any room where at least 1/2 of the floor area is located over an unconditioned space (e.g. room over a garage)

ATTACHED OR BUILT-IN GARAGE

THE SEPARATION BETWEEN THE GARAGE AND DWELLING UNIT SHALL BE CONSTRUCTED AS AN EFFECTIVE BARRIER TO GAS AND EXHAUST FUMES. THE DOOR BETWEEN THE GARAGE AND DWELLING UNIT SHALL BE EXTERIOR TYPE, TIGHT FITTING AND WEATHER-STRIPPED TO PROVIDE AN EFFECTIVE BARRIER AGAINST THE PASSAGE OF GAS AND EXHAUST FUMES, AND SHALL BE FITTED WITH AN APPROVED SELF CLOSING DEVICE

2012 OBC DIV. B, 9.8.2.1. to 9.8.4.7. STAIR DIMENSIONS						
STAIR TYPE	MAX. RISE, mm, ALL STEPS	MIN. RISE, mm, ALL STEPS	MAX. RUN, mm RECTANGULAR TREADS	MIN. RUN, mm RECTANGULAR TREADS	STAIR WIDTH, mm	HEADROOM, mm
PRIVATE STAIRS	200	125	355	255	860	1950
PUBLIC STAIRS	180	125	NO LIMIT	280	900	2050
SERVICE STAIRS	NO LIMIT	125	355	NO LIMIT	900	2050
STAIR TO UNOCCUPIED ATTIC SPACE	NO LIMIT	125	355	NO LIMIT	860	1950
STAIRS TO CRAWL SPACE	NO LIMIT	125	355	NO LIMIT	860	1950
STAIRS THAT SERVE MEZZANINES NOT EXCEEDING 20 m2 WITHIN LIVE/WORK UNITS	NO LIMIT	125	355	NO LIMIT	WIDTH AS PER DIV B 9.8.2.1.(3)	2050
NOTE: THE CURVED EDGES OF TREADS SHALL NOT REDUCE THE REQUIRED TREAD DEPTH BY MORE THAN 15mm AND SHALL NOT EXCEED 25mm HORIZONTALLY.						

STRUCTURAL ALTERATIONS

ALL STRUCTURAL ALTERATIONS MUST BE FIELD REVIEWED BY A PROFESSIONAL ENGINEER IF REQUIRED BY THE BUILDING INSPECTOR

FINISHED SITE GRADING

THE BUILDING SHALL BE LOCATED AND THE BUILDING SITE GRADED SO THAT WATER WILL NOT ACCUMULATE AT OR NEAR THE BUILDING AND WILL NOT ADVERSELY AFFECT ANY ADJACENT PROPERTIES.

A CURSORY REVIEW OF THE STRUCTURAL ELEMENTS HAS BEEN COMPLETED AND IS RELIANT ON ENGINEER'S CERTIFICATION OF DRAWINGS.

9.5.2.3. STUD WALL REINFORCEMENT

- (1) IF WOOD WALL STUDS OR SHEET STEEL WALL STUDS ENCLOSE THE MAIN BATHROOM IN A DWELLING UNIT, REINFORCEMENT SHALL BE INSTALLED TO PERMIT THE FUTURE INSTALLATION OF A GRAB BAR ON A WALL ADJACENT TO,
- (a) A WATER CLOSET IN THE LOCATION REQUIRED BY CLAUSE 3.8.3.8.(1)(d), AND
- (b) A SHOWER OR BATHTUB IN THE LOCATION BY CLAUSE 3.8.3.13.(1)(f).

(SEE APPENDIX A.)

2012 Code

9.8.8.1.(8)(a)(b) Windows over Stairs, Ramps and Landings

- (2) In *dwelling units*, glazing installed over stairs, ramps and landings that extend to less than 900 mm (2 ft 11 in) above the surface to the treads, ramp or landing shall be,
- (a) protected by *guards*, in accordance with this Subsection, or
- (b) non-openable and designed to withstand the specified lateral loads for *guards* as provided in Article 4.1.5.14.

MHP 23031

FRP FOOTINGS -

FOR SINGLES & SEMIS UP TO 2 STOREY

8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS
20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.

FOUNDATION WALLS WITH ENGINEERED JOISTS OVER 16' SPANS
24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.

FOOTINGS ON ENGINEERED FILL

24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING
BELOW EXTERIOR WALLS.

30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING
BELOW PARTY WALLS.

(REFER TO FOOTING DETAILS ON ENGINEERED FILL)

ASSUME THE LARGER FOOTING SIZE

WHEN TWO CONDITIONS APPLY

ASSUMED 120 KPa (16 p.s.f.) SOIL BEARING CAPACITY OR 90 KPa
ENGINEERED SOIL FILL, TO BE VERIFIED ON SITE.

PAD FOOTINGS

120 KPa NATIVE SOIL

F1 = 42"x42"x18" CONCRETE PAD F1 = 48"x48"x20" CONCRETE PAD

F2 = 36"x36"x16" CONCRETE PAD F2 = 40"x40"x16" CONCRETE PAD

F3 = 30"x30"x12" CONCRETE PAD F3 = 34"x34"x14" CONCRETE PAD

F4 = 24"x24"x12" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD

F5 = 16"x16"x8" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)

90 KPa ENGINEERED FILL SOIL

F1 = 48"x48"x20" CONCRETE PAD

F2 = 40"x40"x16" CONCRETE PAD

F3 = 34"x34"x14" CONCRETE PAD

F4 = 28"x28"x12" CONCRETE PAD

F5 = 18"x18"x8" CONCRETE PAD

WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC.
FDTN. WALL IS REQUIRED.

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC.
FLAT WORK) TO BE 32 MPa WITH 5-8% AIR ENTRAINMENT

BRICK VENEER LINTELS

WL1 = 3-1/2"x3-1/2"x1/4" (90x90x6.0L) + 2-2"x8" SPR. No.2

WL2 = 4"x3-1/2"x5/16" (100x90x8.0L) + 2-2"x8" SPR. No.2

WL3 = 5"x3-1/2"x5/16" (125x90x8.0L) + 2-2"x10" SPR. No.2

WL4 = 6"x3-1/2"x3/8" (150x90x10.0L) + 2-2"x12" SPR. No.2

WL5 = 6"x4"x3/8" (150x100x10.0L) + 2-2"x12" SPR. No.2

WL6 = 5"x3-1/2"x5/16" (125x90x8.0L) + 2-2"x12" SPR. No.2

WL7 = 5"x3-1/2"x5/16" (125x90x8.0L) + 3-2"x10" SPR. No.2

WL8 = 5"x3-1/2"x5/16" (125x90x8.0L) + 3-2"x12" SPR. No.2

WL9 = 6"x4"x3/8" (150x100x10.0L) + 3-2"x12" SPR. No.2

WOOD LINTELS AND BEAMS

WB1 = 2-2"x8" SPR. No.2 (2-38x184 SPR. No.2)

WB2 = 3-2"x8" SPR. No.2 (3-38x184 SPR. No.2)

WB3 = 2-2"x10" SPR. No.2 (2-38x235 SPR. No.2)

WB4 = 3-2"x10" SPR. No.2 (3-38x235 SPR. No.2)

WB5 = 2-2"x12" SPR. No.2 (2-38x286 SPR. No.2)

WB6 = 3-2"x12" SPR. No.2 (3-38x286 SPR. No.2)

WB7 = 5-2"x12" SPR. No.2 (5-38x286 SPR. No.2)

WB11 = 4-2"x10" SPR. No.2 (4-38x235 SPR. No.2)

WB12 = 4-2"x12" SPR. No.2 (4-38x286 SPR. No.2)

LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)

LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)

LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)

LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)

LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)

LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)

LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)

LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)

LVL6A = 1-1 3/4" x 11 7/8" (1-45x300)

LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)

LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)

LVL7A = 4-1 3/4" x 11 7/8" (4-45x300)

LVL8 = 2-1 3/4" x 14" (2-45x356)

LVL9 = 3-1 3/4" x 14" (3-45x356)

LVL10 = 2-1 3/4" x 18" (3-45x456)

LOOSE STEEL LINTELS

L1 = 3-1/2"x3-1/2"x1/4" (90x90x6.0L)

L2 = 4"x3-1/2"x5/16" (100x90x8.0L)

L3 = 5"x3-1/2"x5/16" (125x90x8.0L)

L4 = 6"x3-1/2"x3/8" (150x90x10.0L)

L5 = 6"x4"x3/8" (150x100x10.0L)

L6 = 7"x4"x3/8" (175x100x10.0L)

DOOR SCHEDULE

1 = 2'-10" x 6'-8" (865x2033) - INSULATED ENTRANCE DOOR

1a = 2'-8" x 6'-8" (815x2033) - INSULATED FRONT DOORS

2 = 2'-8" x 6'-8" (815x2033) - WOOD & GLASS DOOR

3 = 2'-8" x 6'-8" x 1-3/4" (815x2033x45) - EXTERIOR SLAB DOOR

4 = 2'-8" x 6'-8" x 1-3/8" (815x2033x35) - INTERIOR SLAB DOOR

5 = 2'-6" x 6'-8" x 1-3/8" (760x2033x35) - INTERIOR SLAB DOOR

6 = 2'-2" x 6'-8" x 1-3/8" (660x2033x35) - INTERIOR SLAB DOOR

7 = 1'-6" x 6'-8" x 1-3/8" (460x2033x35) - INTERIOR SLAB DOOR

SPACE CONVENTIONAL FLOOR JOISTS @ 12"
O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF
5'-7', 2 ROWS FOR SPANS GREATER THAN 7'

REFER TO ROOF TRUSS SHOP DRAWINGS FOR
ALL ROOF FRAMING INFORMATION

PLANS NOT DRAWN TO ACTUAL GRADE. REFER
TO FINAL GRADING PLAN.

REFER TO FLOOR FRAMING SHOP DRAWINGS
FOR ENGINEERED FRAMING LAYOUTS

2 - 1 1/2" x 5 1/2" TIMBERSTRAND (LSJ) 1.5E
STUD WALL GLUED AND NAILED TOGETHER
AND SPACED MAX. @10"O.C. FULL HT C/M
SOLID BLOCKING MAX. 8'-0"O.C. VERTICAL
AND 7/16" EXT. OSB SHEATHING.



MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS
20'-2" AND MAXIMUM SUPPORTED LENGTH OF
TRUSS IS 40'-0"

TWO STORY HEIGHT WALL DETAIL

2 - 1 1/2" x 5 1/2" TIMBERSTRAND (LSJ) 1.5E
STUD WALL GLUED AND NAILED TOGETHER
AND SPACED MAX. @9"O.C. FULL HT C/M
SOLID BLOCKING MAX. 8'-0"O.C. VERTICAL
AND 7/16" EXT. OSB SHEATHING.



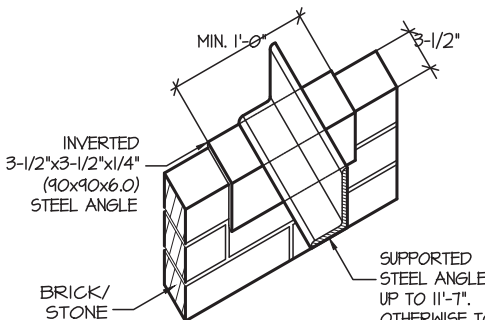
MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS
21'-5" AND MAXIMUM SUPPORTED LENGTH
OF TRUSS IS 40'-0"

TWO STORY HEIGHT WALL DETAIL

SUPPORTED STEEL
ANGLE UP TO 11'-1".
OTHERWISE TO BE
REVIEWED
BY ENGINEER.

BRICK/
STONE
VENEER

INVERTED
3-1/2"x3-1/2"x1/4"
(90x90x6.0)
STEEL ANGLE



INVERTED STEEL
ANGLE DETAIL

AREA CALCULATIONS

ELEV. 1

GROUND FLOOR AREA		=	1687	Sq. Ft.
SECOND FLOOR AREA		=	1855	Sq. Ft.
TOTAL FLOOR AREA		=	3542	Sq. Ft.
			329.06	Sq. M.
1st FLOOR OPEN AREA	=	0	Sq. Ft.	
2nd FLOOR OPEN AREA	=	15	Sq. Ft.	
ADD TOTAL OPEN AREAS		=	15	Sq. Ft.
ADD FIN. BASEMENT AREA		=	0	Sq. Ft.
GROSS FLOOR AREA		=	3557	Sq. Ft.
			330.46	Sq. M.
GROUND FLOOR COVERAGE	=		1687	Sq. Ft.
GARAGE COVERAGE / AREA	=		452	Sq. Ft.
PORCH COVERAGE / AREA	=		138	Sq. Ft.
TOTAL COVERAGE W/ PORCH		=	2277	Sq. Ft.
			211.54	Sq. m.
TOTAL COVERAGE W/O PORCH		=	2139	Sq. Ft.
			198.72	Sq. m.

AREA CALCULATIONS

ELEV. 2

GROUND FLOOR AREA		=	1684	Sq. Ft.
SECOND FLOOR AREA		=	1853	Sq. Ft.
TOTAL FLOOR AREA		=	3537	Sq. Ft.
			328.60	Sq. M.
1st FLOOR OPEN AREA	=	0	Sq. Ft.	
2nd FLOOR OPEN AREA	=	15	Sq. Ft.	
ADD TOTAL OPEN AREAS		=	15	Sq. Ft.
ADD FIN. BASEMENT AREA		=	0	Sq. Ft.
GROSS FLOOR AREA		=	3552	Sq. Ft.
			329.99	Sq. M.
GROUND FLOOR COVERAGE	=		1684	Sq. Ft.
GARAGE COVERAGE / AREA	=		452	Sq. Ft.
PORCH COVERAGE / AREA	=		63	Sq. Ft.
TOTAL COVERAGE W/ PORCH		=	2199	Sq. Ft.
			204.29	Sq. m.
TOTAL COVERAGE W/O PORCH		=	2136	Sq. Ft.
			198.44	Sq. m.

AREA CALCULATIONS

ELEV. 3

GROUND FLOOR AREA		=	1684	Sq. Ft.
SECOND FLOOR AREA		=	1853	Sq. Ft.
TOTAL FLOOR AREA		=	3537	Sq. Ft.
			328.60	Sq. M.
1st FLOOR OPEN AREA	=	0	Sq. Ft.	
2nd FLOOR OPEN AREA	=	15	Sq. Ft.	
ADD TOTAL OPEN AREAS		=	15	Sq. Ft.
ADD FIN. BASEMENT AREA		=	0	Sq. Ft.
GROSS FLOOR AREA		=	3552	Sq. Ft.
			329.99	Sq. M.
GROUND FLOOR COVERAGE	=		1684	Sq. Ft.
GARAGE COVERAGE / AREA	=		452	Sq. Ft.
PORCH COVERAGE / AREA	=		63	Sq. Ft.
TOTAL COVERAGE W/ PORCH		=	2199	Sq. Ft.
			204.29	Sq. m.
TOTAL COVERAGE W/O PORCH		=	2136	Sq. Ft.
			198.44	Sq. m.

THE MINIMUM THERMAL PERFORMANCE OF BUILDING
ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE
FOLLOWING

COMPLIANCE PACKAGE "A1"

COMPONENT	NOTE
CEILING WITH ATTIC SPACE MINIMUM RSI (R) VALUE	10.57 (R60)
CEILING WITHOUT ATTIC SPACE MINIMUM RSI (R) VALUE	5.46 (R31)
EXPOSE FLOOR MINIMUM RSI (R) VALUE	5.46 (R31)
WALLS ABOVE GRADE MINIMUM RSI (R) VALUE	3.81 (R22)
BASEMENT WALLS MINIMUM RSI (R) VALUE	3.52 (R20 BLANKET)
HEATED SLAB OR SLAB ≤ 600mm BELOW GRADE MINIMUM RSI (R) VALUE	1.76 (R10)
WINDOWS & SLIDING GLASS DOORS MAXIMUM U-VALUE	ENERGY RATING = 25, MAX. U=0.28
SPACE HEATING EQUIPMENT MINIMUM AFUE	96%
HRV MINIMUM EFFICIENCY	75%
HOT WATER TANK	MIN. EF 0.80

STRUDET INC.



FOR STRUCTURE ONLY

ROSE 10

COMPLIANCE PACKAGE "A1"

5.		
4.		
3.		
2.		
1.	NEW DESIGN	APR 2023
REVISIONS		

The undersigned has reviewed and takes responsibility for this
design, and has the qualifications and meets the requirements set
out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION

Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR
NAME

28770
SIGNATURE

BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0746

REGION
DESIGN
INC.

SHEET TITLE

AREA CHARTS

SCALE

3/16"=1'

DATE

APR 2023

BY

VG

TYPE

CONTRACTOR SHALL CHECK ALL
DIMENSIONS AND ELEVATIONS BEFORE
COMMENCING WITH WORK AND REPORT
ANY DISCREPANCIES TO THE DESIGNER.
PRINTS ARE NOT TO BE SCALED.

AREA

3533

PROJECT

XXX

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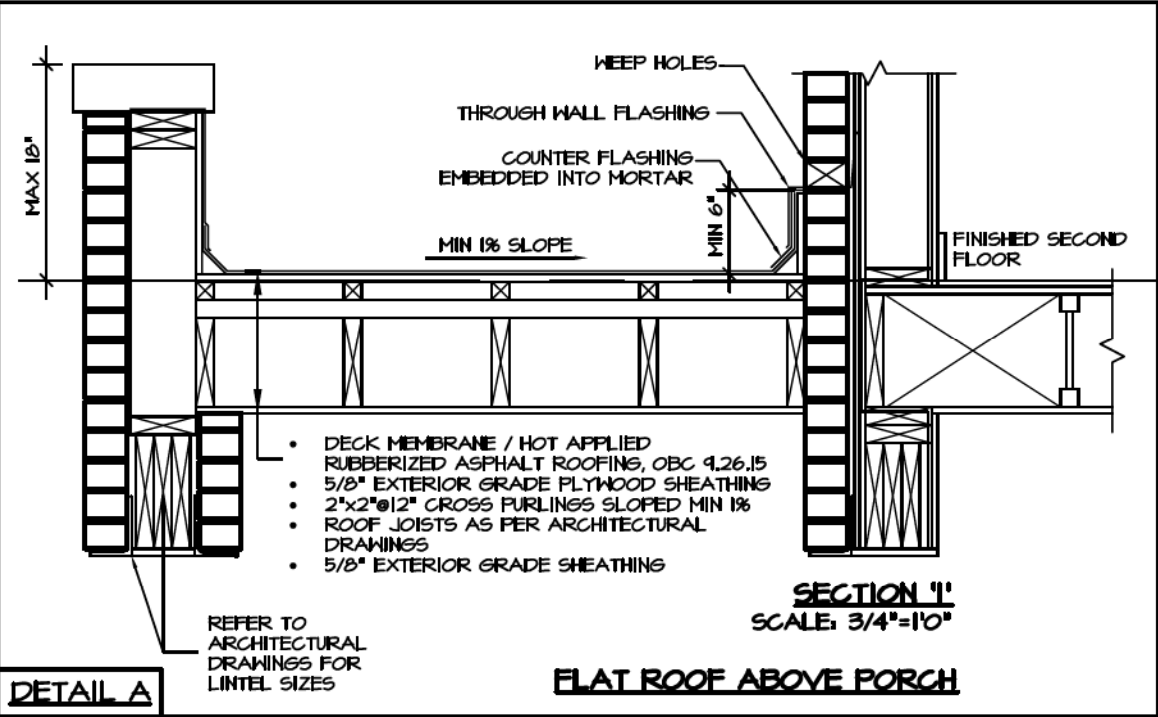
PROJECT NAME

ZADORRA

ROSE 10 - ELEV. 1					SB-12
ELEVATION	WALL FT ²	(WALL M ²)	OPENING FT ²	(OPENING M ²)	PERCENTAGE
FRONT	1095.13	(101.74)	240.34	(22.33)	21.95 %
LEFT SIDE	892.44	(82.91)	34.73	(3.23)	3.84 %
RIGHT SIDE	892.44	(82.91)	174.03	(16.17)	14.50 %
REAR	1082.13	(100.53)	140.62	(17.71)	17.62 %
TOTAL	3962.14 FT ²	(368.10 M ²)	634.72 FT ²	(59.43 M ²)	16.15 %

ROSE 10 - ELEV. 2					SB-12
ELEVATION	WALL FT ²	(WALL M ²)	OPENING FT ²	(OPENING M ²)	PERCENTAGE
FRONT	1106.09	(102.76)	253.67	(23.57)	22.93 %
LEFT SIDE	892.44	(82.91)	34.73	(3.23)	3.84 %
RIGHT SIDE	892.44	(82.91)	174.03	(16.17)	14.50 %
REAR	1082.13	(100.53)	140.62	(17.71)	17.62 %
TOTAL	3973.10 FT ²	(369.11 M ²)	653.05 FT ²	(60.67 M ²)	16.44 %

ROSE 10 - ELEV. 3					SB-12
ELEVATION	WALL FT ²	(WALL M ²)	OPENING FT ²	(OPENING M ²)	PERCENTAGE
FRONT	1119.72	(104.03)	253.67	(23.57)	22.65 %
LEFT SIDE	892.44	(82.91)	34.73	(3.23)	3.84 %
RIGHT SIDE	892.44	(82.91)	174.03	(16.17)	14.50 %
REAR	1082.13	(100.53)	140.62	(17.71)	17.62 %
TOTAL	3986.73 FT ²	(370.38 M ²)	653.05 FT ²	(60.67 M ²)	16.38 %

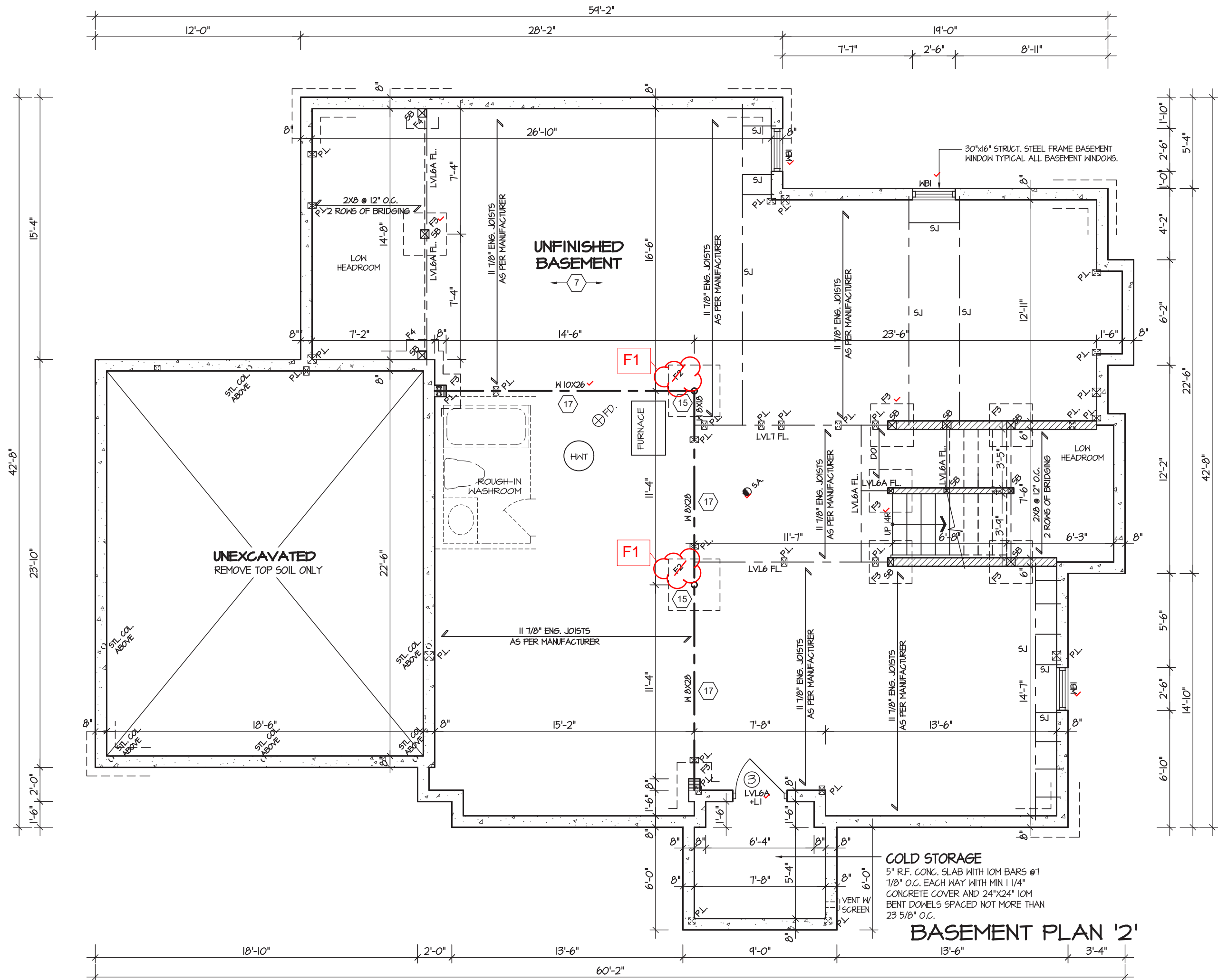


ROSE 10
COMPLIANCE PACKAGE "A1"

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4.											
3.											
2.											
1.	NEW DESIGN	APR 2023									
REVISIONS							SCALE 3/16"=1'	BY VG	AREA 3533	PAGE No. 0-2	
							DATE APR 2023	TYPE	PROJECT XXX		

June 28, 2023 3:44:48 PM M:\PROJECTS\ZADORRA OSHA\A\STANDARD\ROSE 10\ROSE 10.DWG

MHP 23031



REFER TO SHEET NO. 0 FOR LINTEL, BEAMS AND DOOR SIZES

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-1", 2 ROWS FOR SPANS GREATER THAN 1"

REFER TO FLOOR FRAMING SHOP DRAWINGS FOR ENGINEERED FRAMING LAYOUTS

ALL SUBFLOORS TO BE 3/4" PLYWOOD AND TO BE GLUED AND NAILED ON THIS FLOOR.

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY: *[Signature]*
DATE: JUL 31, 2023
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STRUDET INC.



FOR STRUCTURE ONLY

ROSE 10

COMPLIANCE PACKAGE "A1"

5.		
4.		
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VIKAS GAJJAR
NAME
28770
BCIN
[Signature]
SIGNATURE

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0746

REGION
DESIGN
INC.

SHEET TITLE
BASEMENT PLAN
ELEVATION 2

SCALE
3/16"=1'
DATE
APR 2023

BY
VG
TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

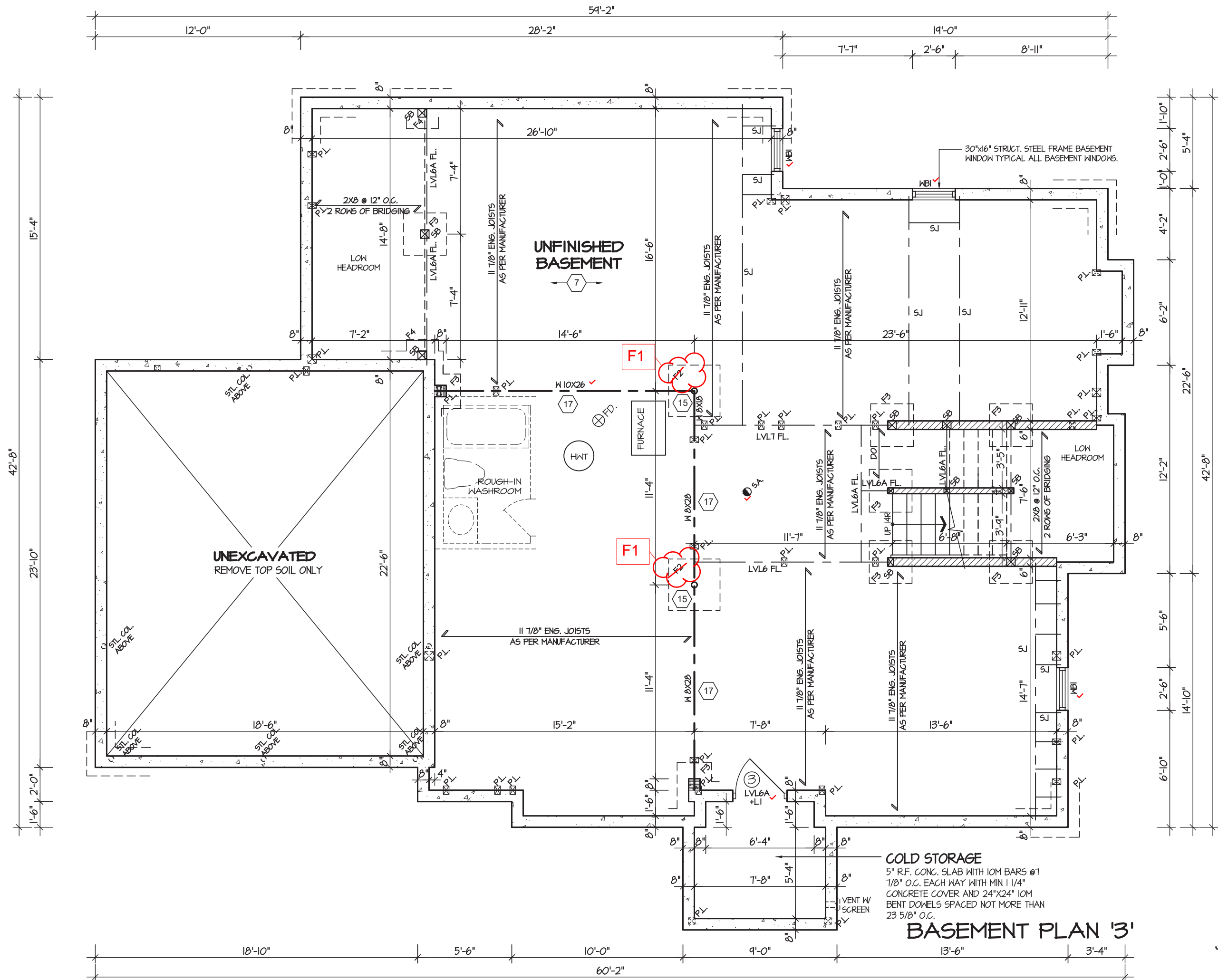
AREA
3533
PROJECT
XXX

PAGE No.
1-2

Greenpark

PROJECT NAME
ZADORRA

MHP 23031



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ROSE 10
COMPLIANCE PACKAGE "A1"



PROJECT NAME
ZADORRA

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REGION
DESIGN
INC.

SHEET TITLE
BASEMENT PLAN
ELEVATION 3

SCALE
3/16"=1'
DATE
APR 2023

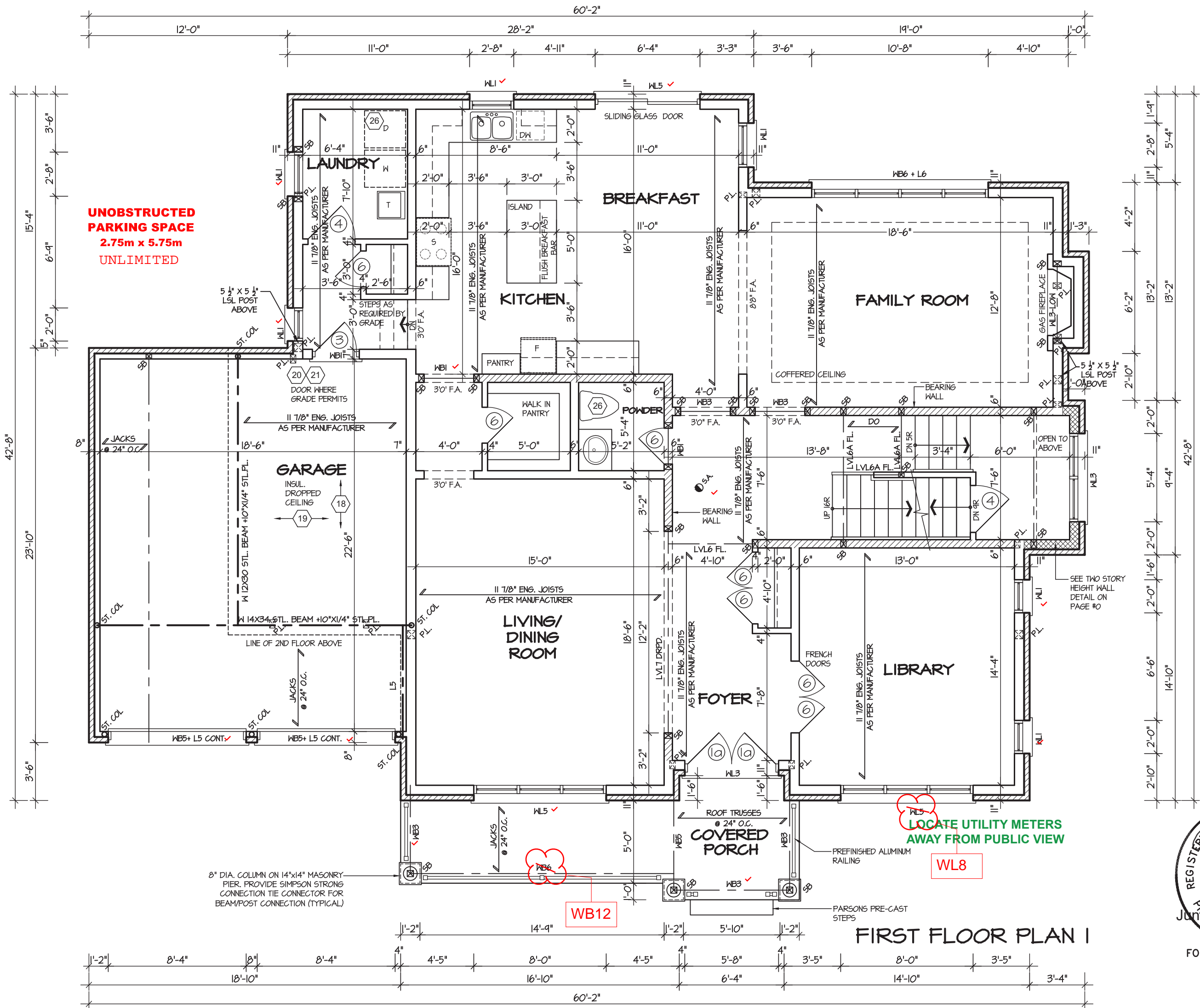
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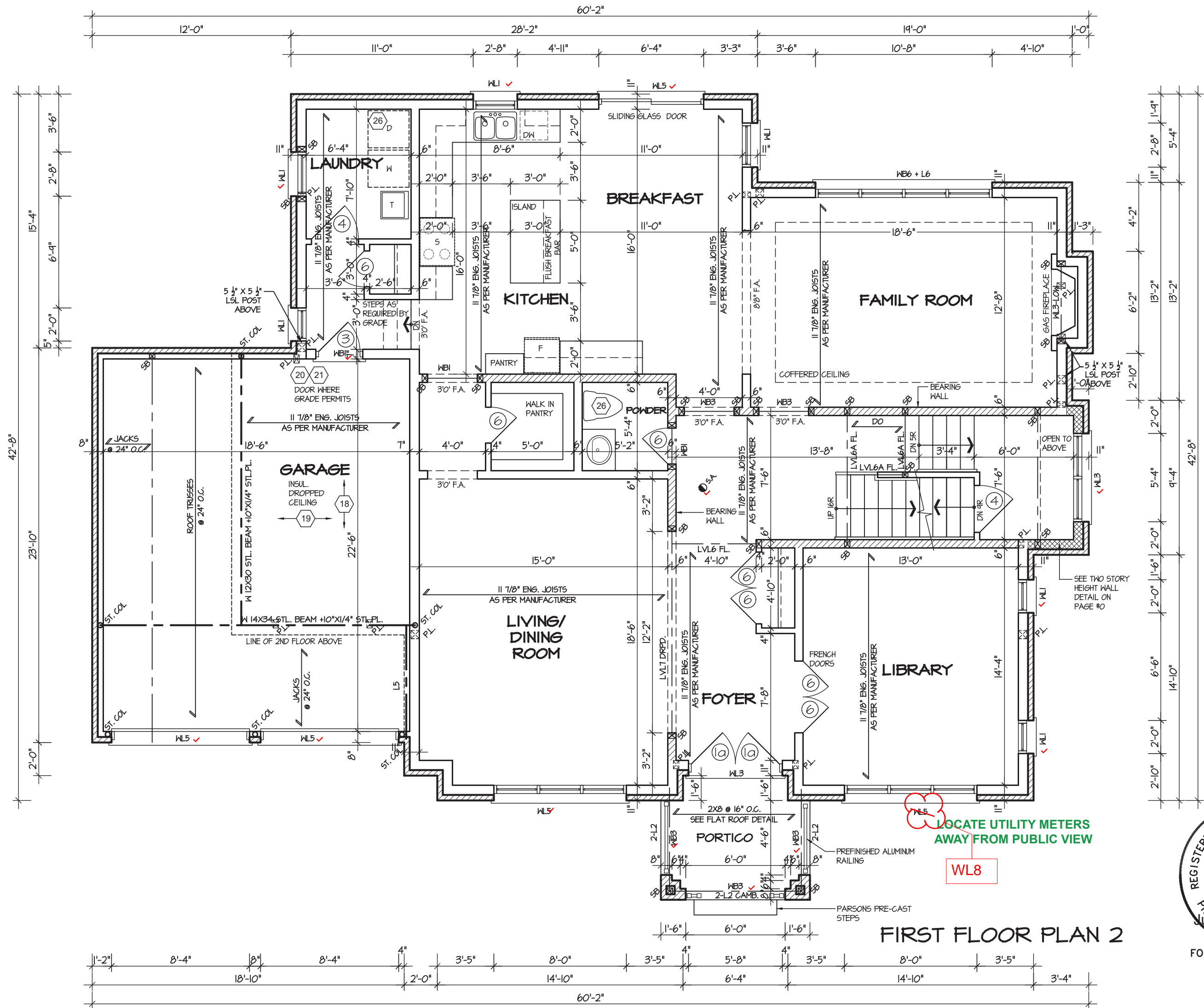
AREA
3533
PROJECT
XXX

PAGE No.
1-3

MHP 23031



MHP 23031



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ROSE 10

COMPLIANCE PACKAGE "A1"



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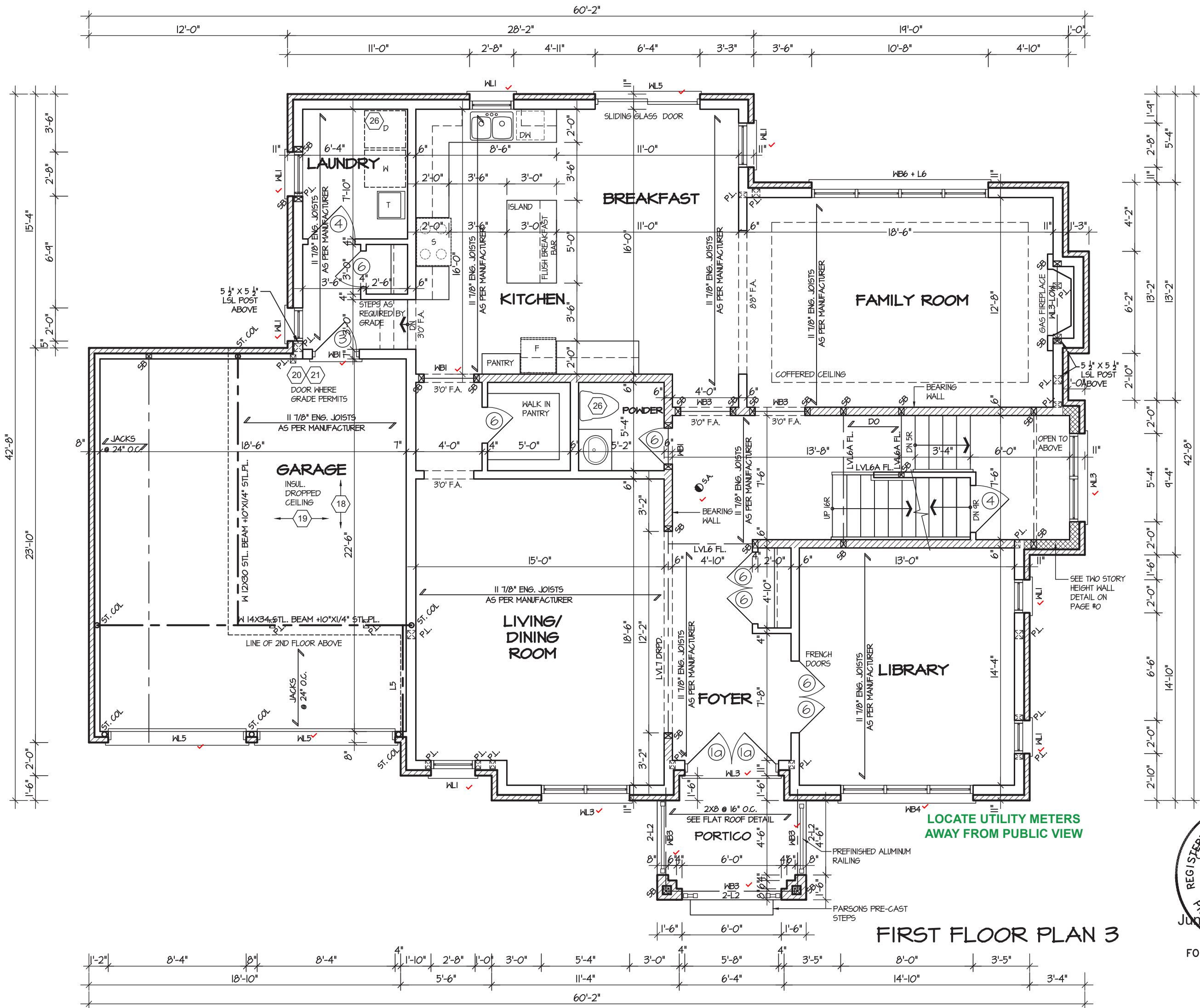
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L4K 4S6
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REGION
DESIGN
INC.

SHEET TITLE
FIRST FLOOR PLAN
ELEVATION 2
SCALE
3/16"=1'
DATE
APR 2023
BY
VG
TYPE

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AREA
3533
PAGE No.
2-2
PROJECT
XXX

MHP 23031



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ROSE 10

COMPLIANCE PACKAGE "A1"



PROJECT NAME
ZADORRA

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REGION
DESIGN
INC.

SHEET TITLE
FIRST FLOOR PLAN
ELEVATION 3

SCALE
3/16"=1'
DATE
APR 2023

BY
VG
TYPE

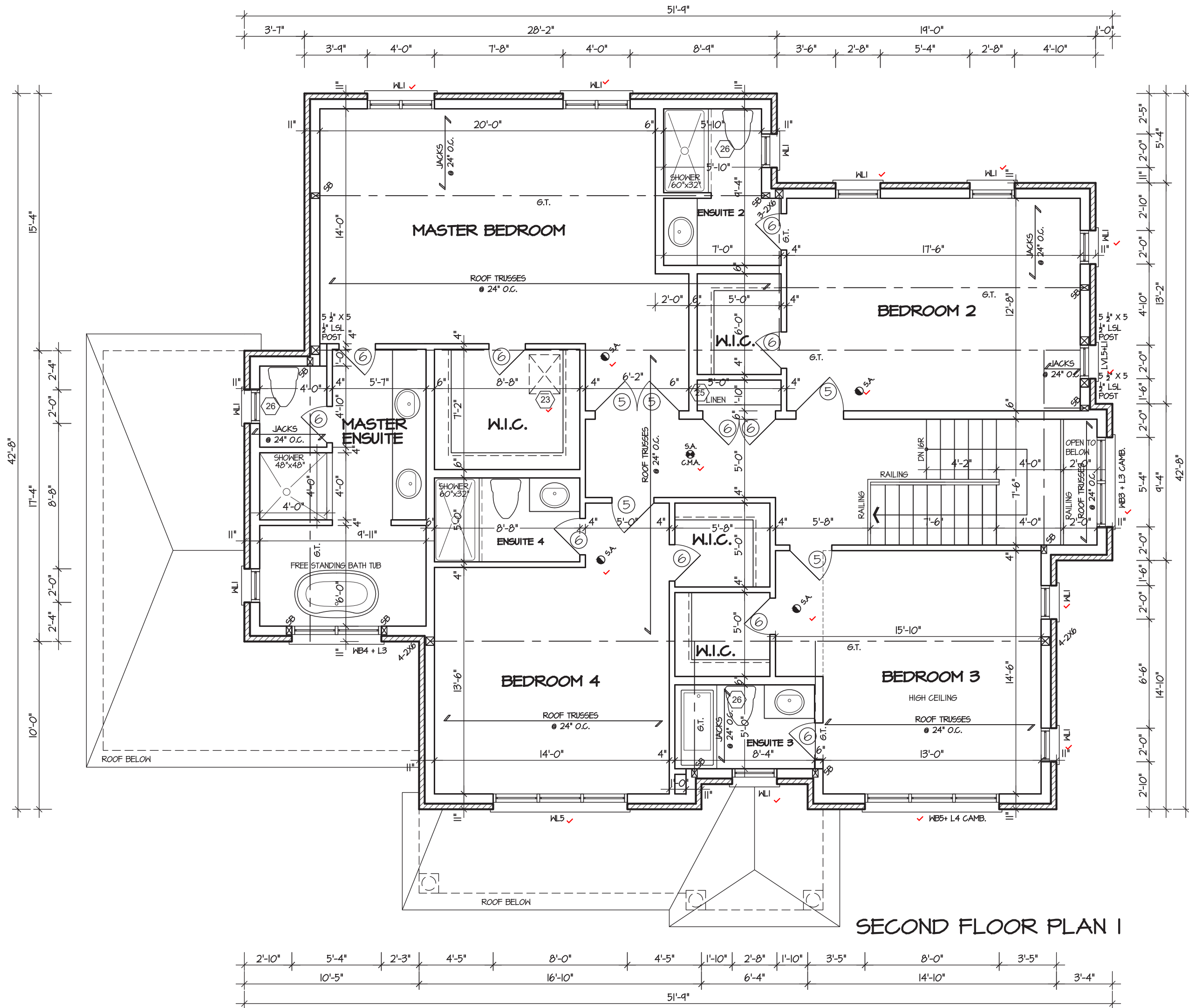
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AREA
3533
PROJECT
XXX

PAGE No.

2-3

MHP 23031



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STRUDET INC.
REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROV. OF ONTARIO
JUN 29, 2023
FOR STRUCTURE ONLY

ROSE 10
COMPLIANCE PACKAGE "A1"

Greenpark

PROJECT NAME
ZADORRA

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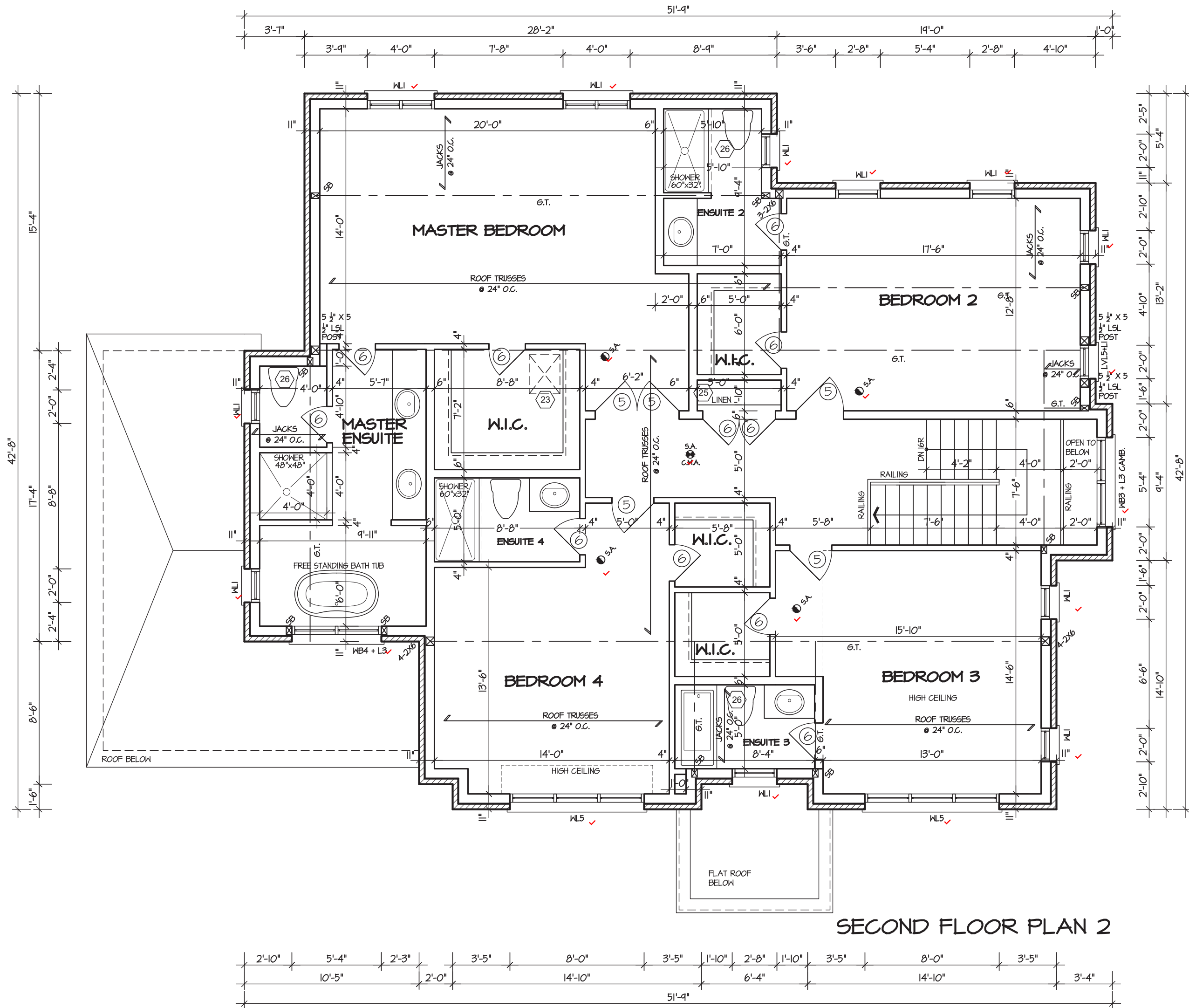
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F (905) 660-0746

**REGION
DESIGN
INC.**

SHEET TITLE
SECOND FLOOR PLAN
ELEVATION 1
SCALE
3/16"=1'
DATE
APR 2023
BY
VG
TYPE

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AREA
3533
PAGE No.
3
PROJECT
XXX

MHP 23031



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AND APPROVAL
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FOR STRUCTURE ONLY

ROSE 10
COMPLIANCE PACKAGE "A1"



PROJECT NAME
ZADORRA

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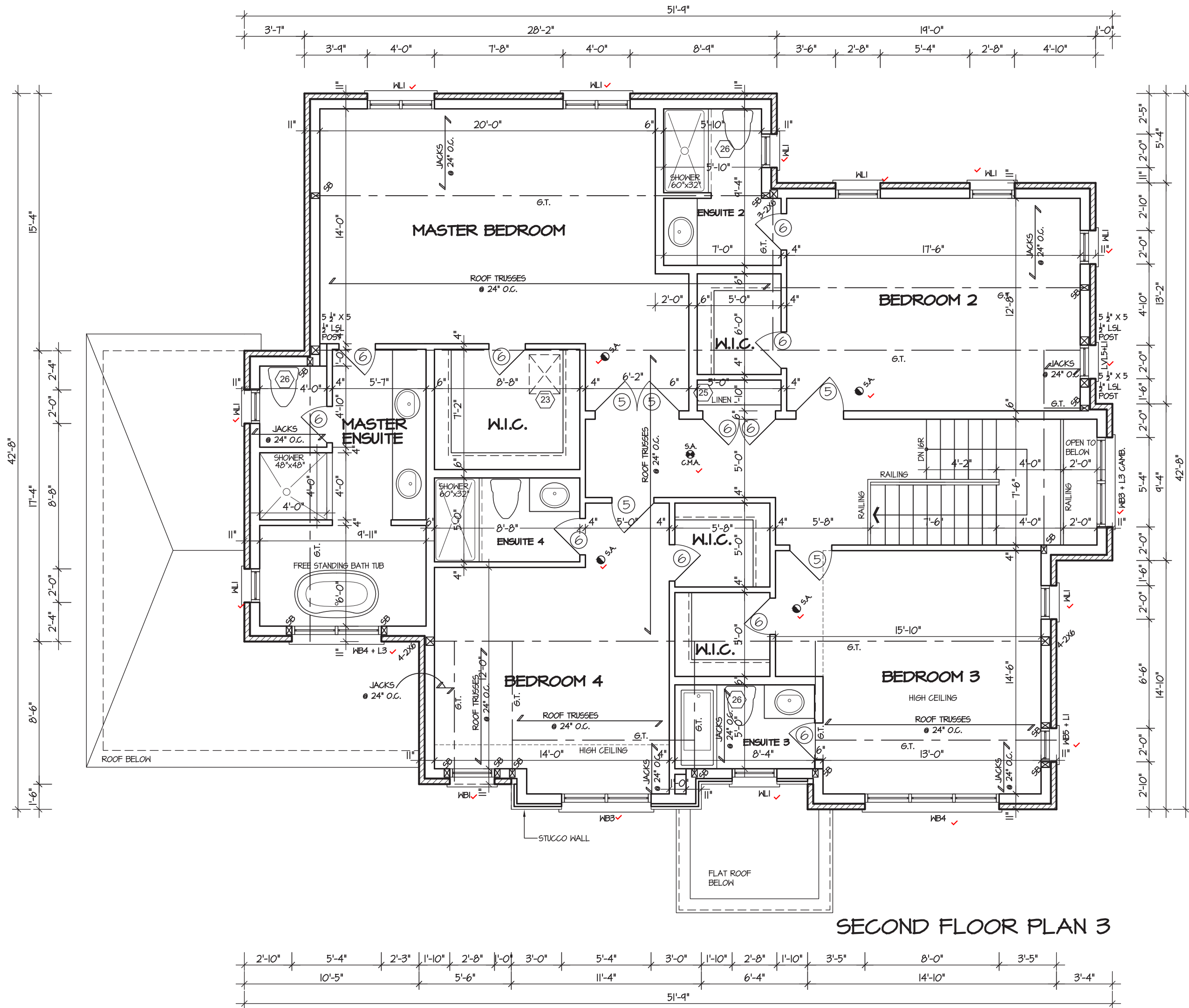
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P (416) 736-4096
F (905) 660-0746

REGION
DESIGN
INC.

SHEET TITLE
SECOND FLOOR PLAN
ELEVATION 2
SCALE
3/16"=1'
DATE
APR 2023
BY
VG
TYPE
PROJECT
XXX

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AREA
3533
PAGE No.
3-2

MHP 23031



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STRUDET INC.
REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROJ. 2023
JUN 20, 2023
PROVINCE OF ONTARIO
FOR STRUCTURE ONLY

ROSE 10
COMPLIANCE PACKAGE "A1"

Greenpark™

PROJECT NAME
ZADORRA

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CONCORD, ONTARIO
L4K 4S6
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F (905) 660-0746

**REGION
DESIGN
INC.**

SHEET TITLE
SECOND FLOOR PLAN
ELEVATION 3
SCALE
3/16"=1'
DATE
APR 2023
BY
VG
TYPE

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AREA
3533
PAGE No.
3-3
PROJECT
XXX

MHP 23031

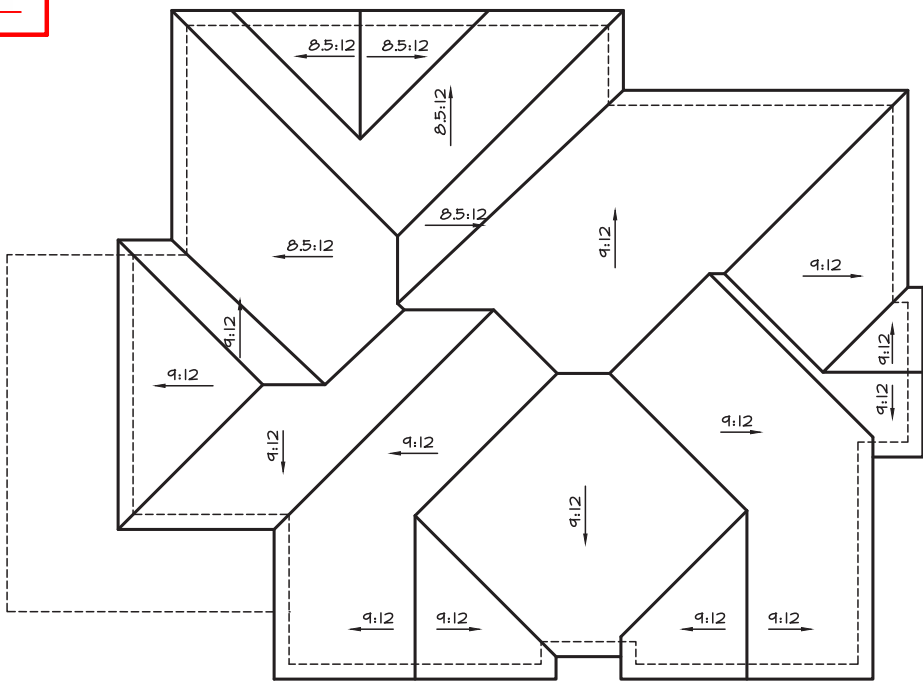
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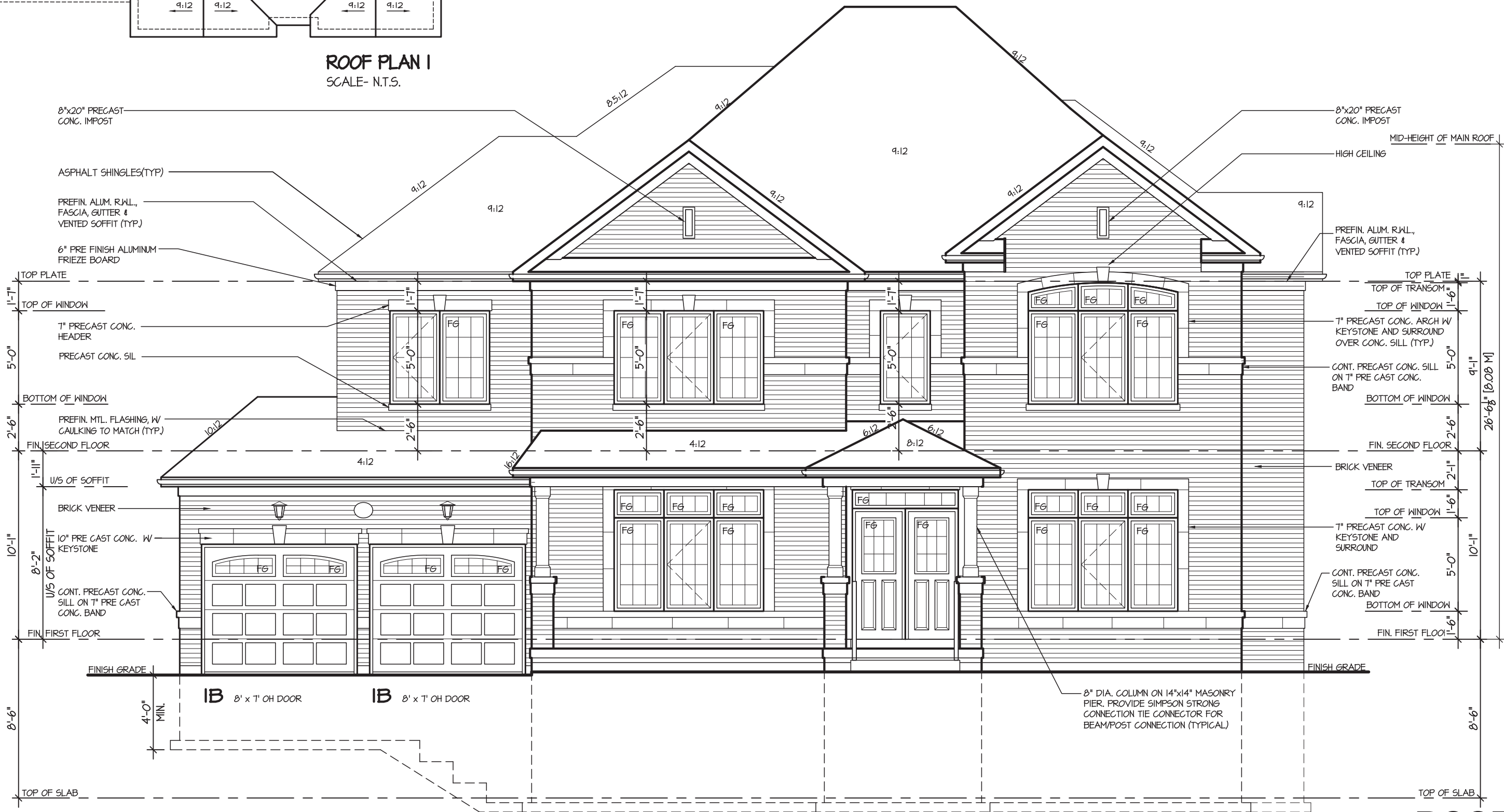
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ROOF PLAN I
SCALE- N.T.S.



FRONT ELEVATION I

ROSE 10

COMPLIANCE PACKAGE "A1"

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**REGION
DESIGN
INC.**

SHEET TITLE
FRONT ELEVATION
ELEVATION 1

SCALE
3/16"=1'
DATE
APR 2023

BY
VG
TYPE

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AREA
3533
PROJECT
XXX

PAGE No.
4

Greenpark™

PROJECT NAME
ZADORRA

MHP 23031

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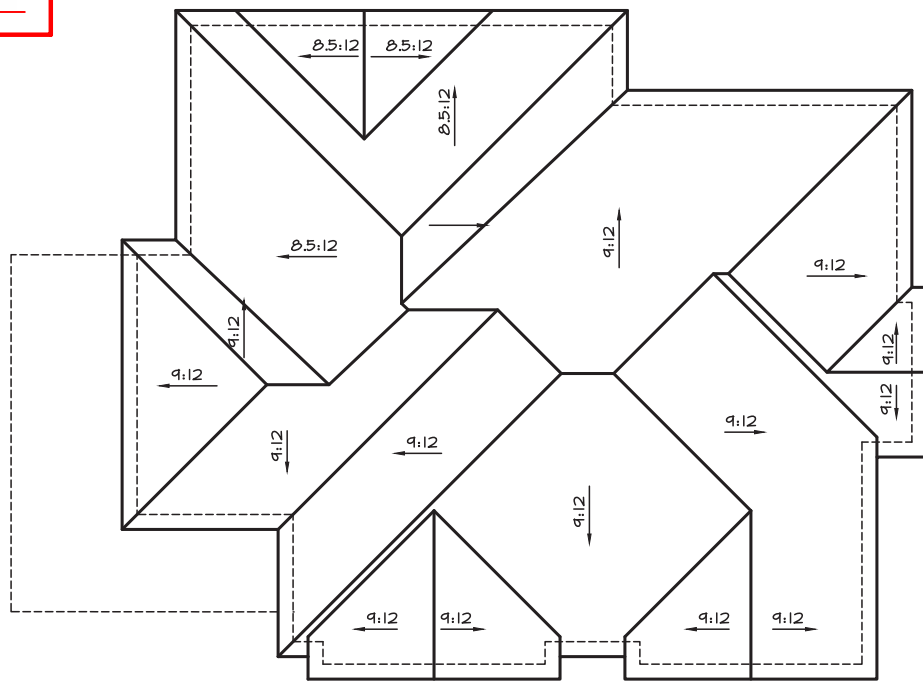
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ROOF PLAN 2
SCALE- N.T.S.



FRONT ELEVATION 2

ROSE 10

COMPLIANCE PACKAGE "A1"

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SIGNATURE

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CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0746

**REGION
DESIGN
INC.**

SHEET TITLE FRONT ELEVATION ELEVATION 2	
SCALE 3/16"=1'	BY VG
DATE APR 2023	TYPE

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AREA 3533	PAGE No. 4-2
PROJECT XXX	

Greenpark™
PROJECT NAME
ZADORRA

MHP 23031

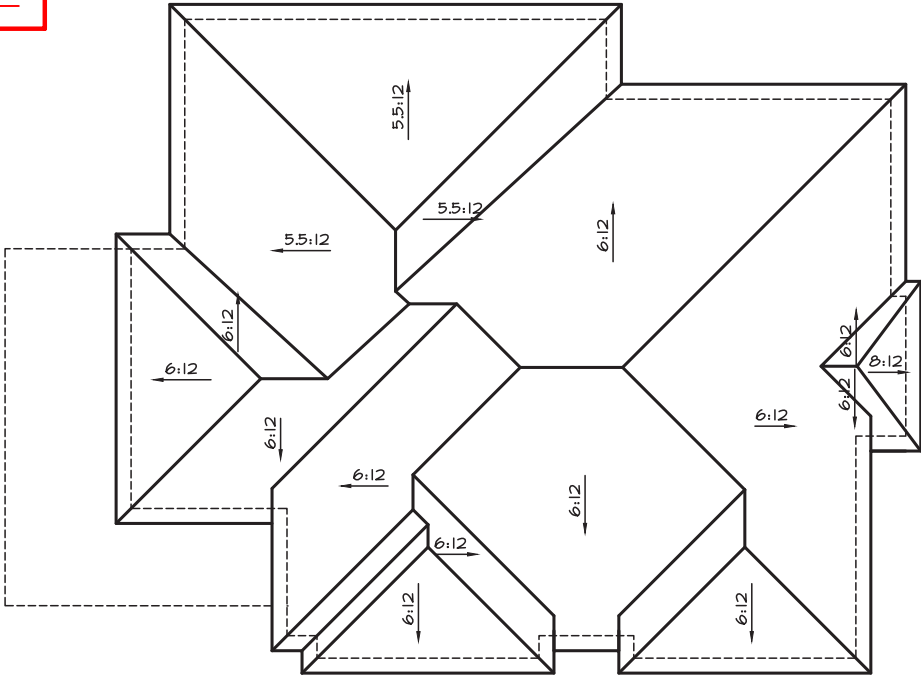
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ROOF PLAN 3
SCALE- N.T.S.



FRONT ELEVATION 3
ROSE 10
COMPLIANCE PACKAGE "A1"

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NAME

[Signature]
SIGNATURE

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**REGION
DESIGN
INC.**

SHEET TITLE
FRONT ELEVATION
ELEVATION 3

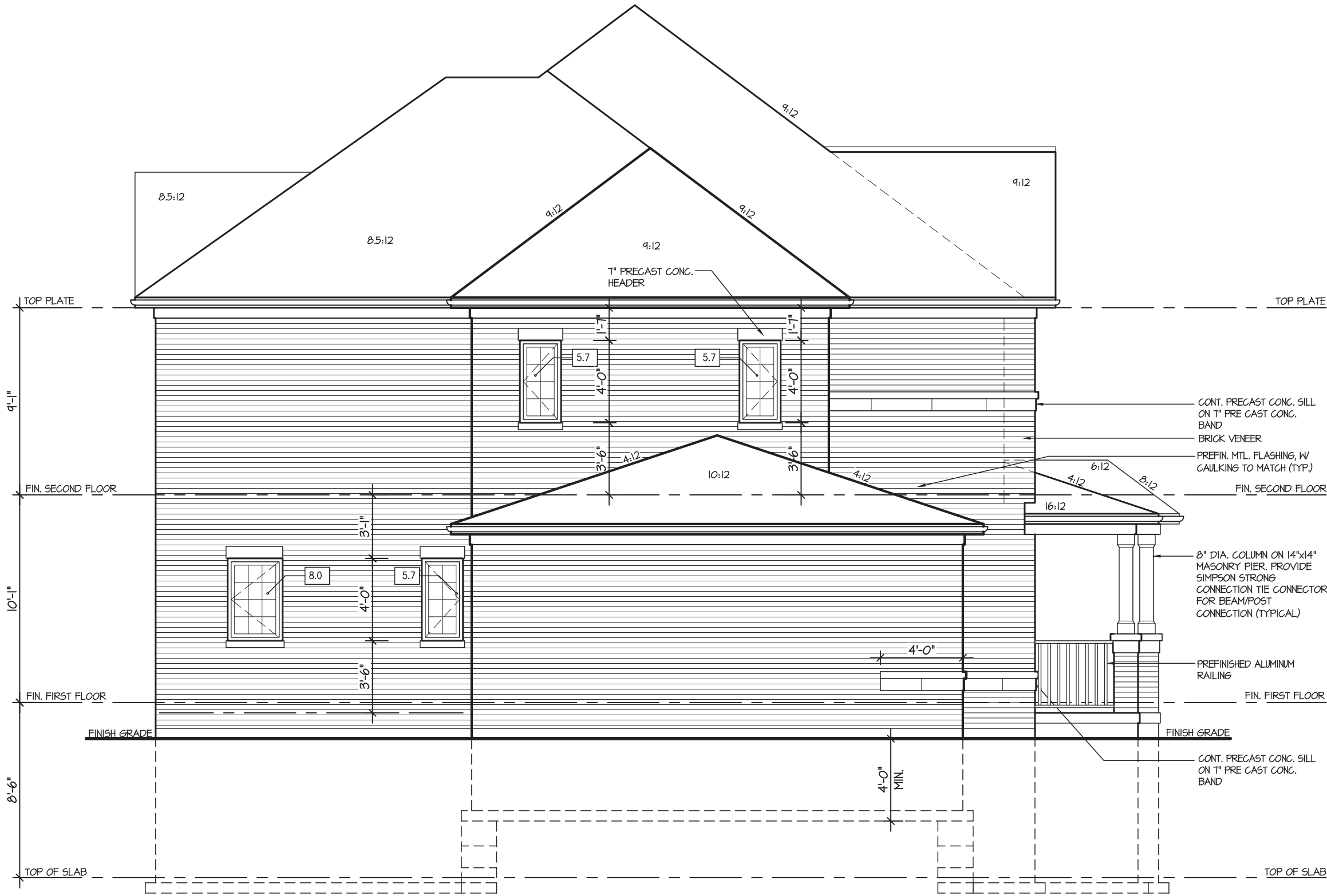
SCALE 3/16"=1'	BY VG
DATE APR 2023	TYPE

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AREA 3533	PAGE No. 4-3
PROJECT XXX	

Greenpark™

PROJECT NAME
ZADORRA



ALLOWABLE GLAZING			
WALL AREA	=	935	Sq. Ft.
ALLOWABLE GLAZED AREA @ 20 % 4.2 M SIDE YARD	=	261.80	Sq. Ft.
ACTUAL GLAZED AREA	=	25.1	Sq. Ft. ✓

LEFT SIDE ELEVATION I

ROSE 10
COMPLIANCE PACKAGE "A1"

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4.					SCALE 3/16"=1'	BY VG	AREA 3533	PAGE No. 5	
3.					DATE APR 2023	TYPE	PROJECT XXX		
2.									
1.	NEW DESIGN	APR 2023							
REVISIONS									

MHP 23031

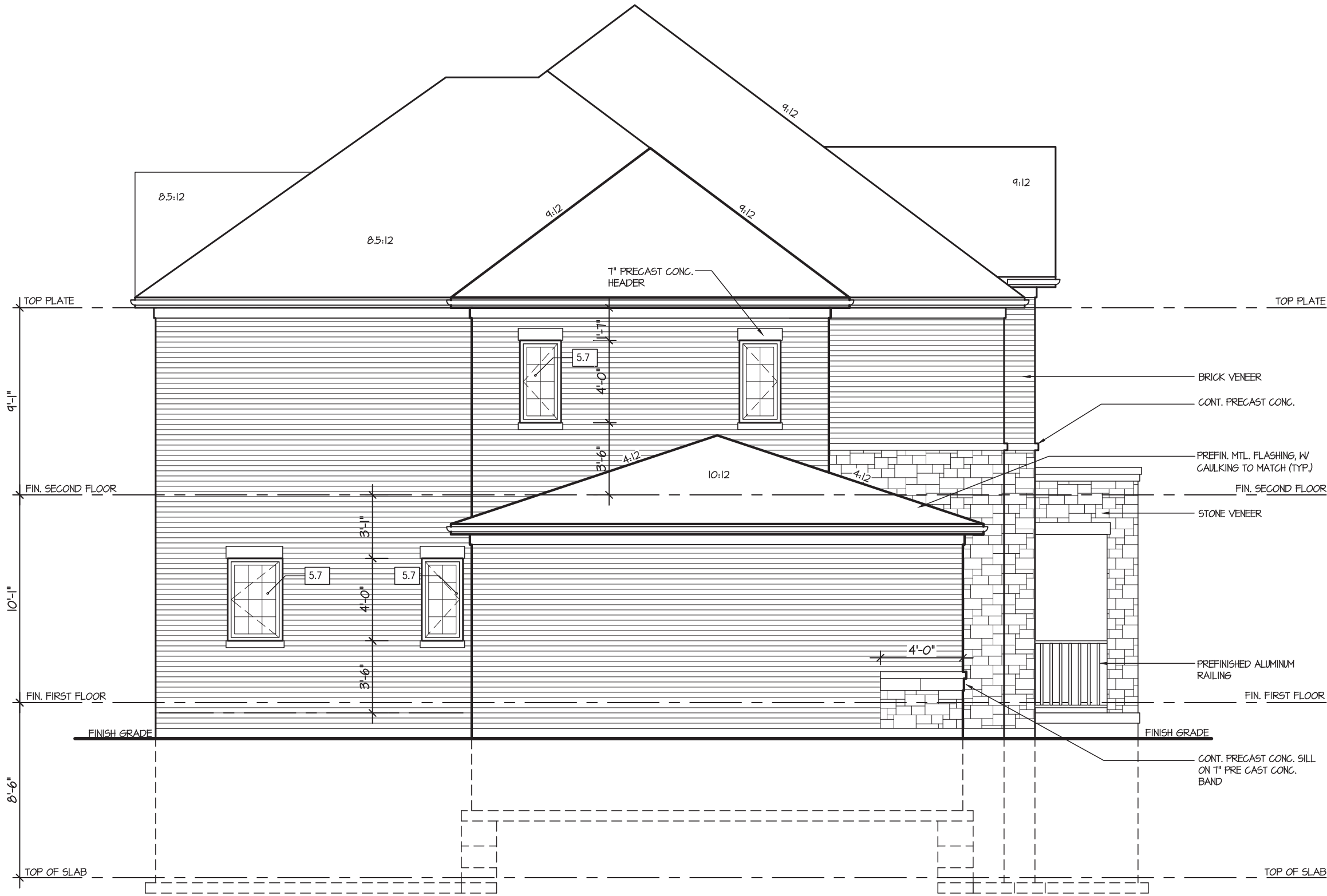
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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: *[Signature]*
DATE: JUL 31, 2023

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



ALLOWABLE GLAZING			
WALL AREA	=	935	Sq. Ft.
ALLOWABLE GLAZED AREA @ 20 % 4.2 M SIDE YARD	=	261.80	Sq. Ft. ✓
ACTUAL GLAZED AREA	=	25.1	Sq. Ft.

LEFT SIDE ELEVATION 2

ROSE 10
COMPLIANCE PACKAGE "A1"

5.		
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3.		
2.		
1.	NEW DESIGN	APR 2023
REVISIONS		

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR
NAME

[Signature]
SIGNATURE

28770
BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0746

**REGION
DESIGN
INC.**

SHEET TITLE
LEFT SDIE ELEVATION
ELEVATION 2

SCALE
3/16"=1'

DATE
APR 2023

BY
VG

TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

AREA
3533

PAGE No.
5-2

PROJECT
XXX

Greenpark™

PROJECT NAME
ZADORRA

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LEFT SIDE ELEVATION 3

ROSE 10
COMPLIANCE PACKAGE "A1"

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4.						SCALE 3/16"=1'	BY VG	AREA 3533	PAGE No. 5-3	
3.						DATE APR 2023	TYPE	PROJECT XXX		
2.										
1.	NEW DESIGN	APR 2023								
REVISIONS										

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ROSE 10
COMPLIANCE PACKAGE "A1"

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4.						ELEVATION 1								
3.						SCALE	3/16"=1'	BY	VG	AREA	3533		PAGE No.	4
2.						DATE	APR 2023	TYPE		PROJECT	XXX			
1.	NEW DESIGN	APR 2023												
REVISIONS														

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RIGHT SIDE ELEVATION 2

JOB INFORMATION
Customer: GREENPARK HOMES
Job # 2300940080

COMPLIANCE PACKAGE 'A'



PROJECT NAME
ZADORRA

5.		
4.		
3.		
2.		
1.	NEW DESIGN	APR 2023
REVISIONS		

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NAME
28770
BCIN
[Signature]
SIGNATURE

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0746



SHEET TITLE
RIGHT SIDE ELEVATION
ELEVATION 2

SCALE
3/16"=1'
DATE
APR 2023

BY
VG
TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

AREA
3533
PROJECT
XXX

PAGE No.
4-2

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APPROVED BY: *[Signature]*
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RIGHT SIDE ELEVATION 3

ROSE 10
COMPLIANCE PACKAGE "A1"

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4.						ELEVATION 3							
3.						SCALE	3/16"=1'	BY	VG	AREA	3533		PAGE No.
2.						DATE	APR 2023	TYPE		PROJECT	XXX	4-3	PROJECT NAME
1.	NEW DESIGN	APR 2023											
REVISIONS											ZADORRA		

MHP 23031



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ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: *[Signature]*
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REAR ELEVATION I

ROSE 10
COMPLIANCE PACKAGE "A1"

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4.			QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code			SCALE 3/16"=1'	BY VG	AREA 3533	PAGE No. 7		
3.						DATE APR 2023	TYPE	PROJECT XXX			
2.											
1.	NEW DESIGN	APR 2023	VIKAS GAJJAR NAME <i>[Signature]</i> SIGNATURE	28770 BCIN							
REVISIONS											

MHP 23031

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REAR ELEVATION 2

ROSE 10
COMPLIANCE PACKAGE "A1"

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4.					SCALE 3/16"=1'	BY VG	AREA 3533	PAGE No. 7-2			
3.					DATE APR 2023	TYPE	PROJECT XXX				
2.											
1.	NEW DESIGN	APR 2023									
REVISIONS											

MHP 23031

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REAR ELEVATION 3

ROSE 10
COMPLIANCE PACKAGE "A1"

5.		
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REVISIONS		

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VIKAS GAJJAR
NAME

[Signature]
SIGNATURE

28770
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8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
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SHEET TITLE REAR ELEVATION ELEVATION 3	
SCALE 3/16"=1'	BY VG
DATE APR 2023	TYPE

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AREA 3533	PAGE No. 7-3
PROJECT XXX	

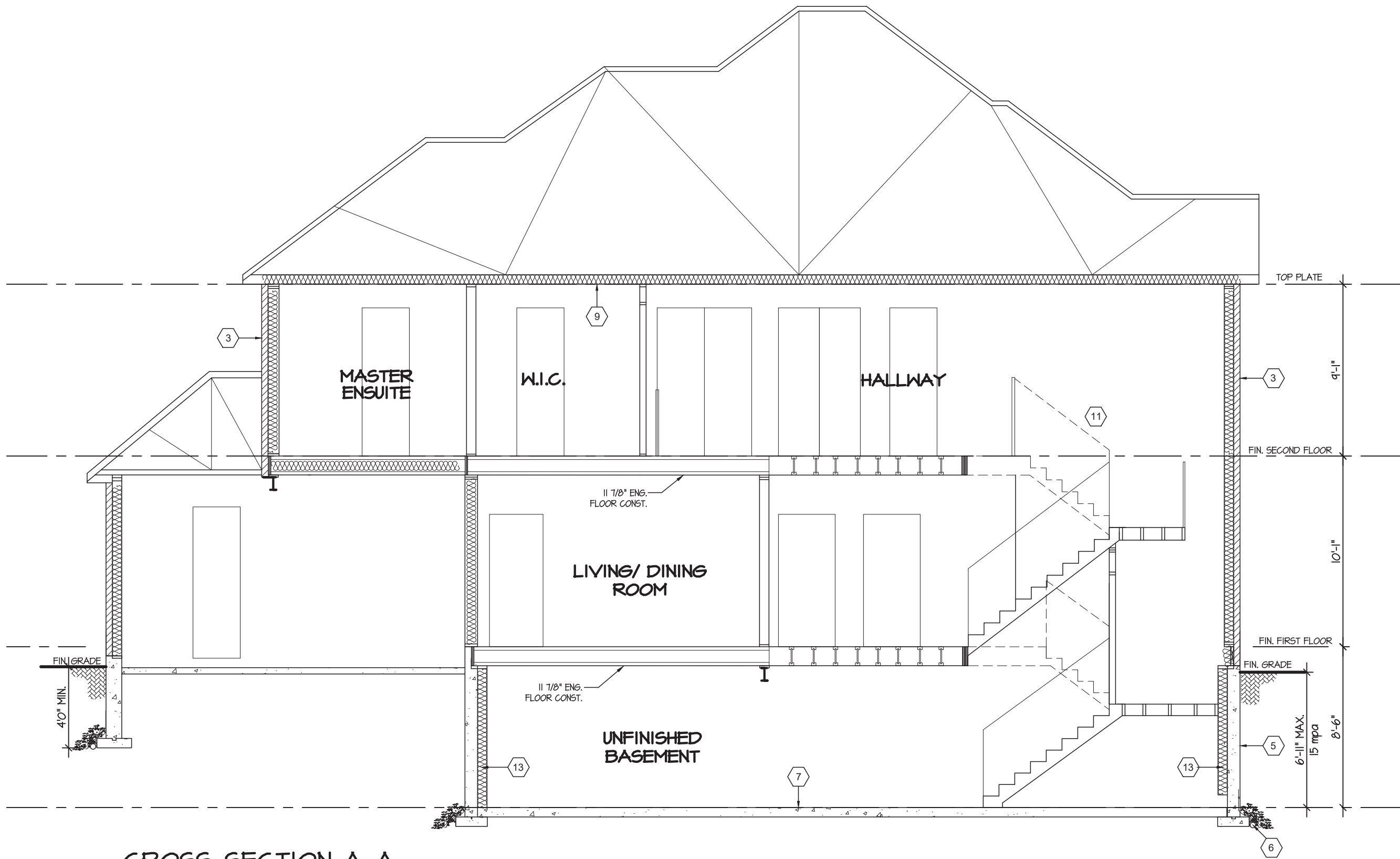
Greenpark

PROJECT NAME
ZADORRA

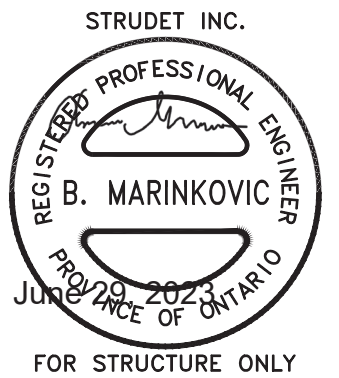
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CROSS-SECTION A-A



ROSE 10
COMPLIANCE PACKAGE "A1"

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4.					SCALE 3/16"=1'	BY VG	AREA 3533	PAGE No. 8	
3.					DATE APR 2023	TYPE	PROJECT XXX		
2.									
1. NEW DESIGN		APR 2023							
REVISIONS									

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[illegible][illegible]

STRUDET INC.



REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
10000
PROVINCE OF ONTARIO

June 29, 2023

ROSE 10

June 28, 2023 3:45:23 PM M:\PROJECTS\ZADORRA OSHAWA\STANDARD\ROSE 10\ROSE 10.DWG

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ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: *[Signature]*
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REAR ELEVATION I

ROSE 10
COMPLIANCE PACKAGE "A1"

5.		
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SHEET TITLE DECL ELEVATION ELEVATION 1	
SCALE 3/16"=1'	BY VG
DATE APR 2023	TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.	
AREA 3533	PAGE No. 10
PROJECT XXX	

PROJECT NAME
ZADORRA

JOHN G. WILLIAMS LTD., ARCHITECT
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4.					DECL ELEVATION						
3.					ELEVATION 2						
2.					SCALE	BY	AREA	PAGE No.			
1.	NEW DESIGN				APR 2023	3/16"=1'	VG	3533		10-2	
REVISIONS			DATE	TYPE	PROJECT	PROJECT NAME					
			APR 2023		XXX	ZADORRA					

MHP 23031

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REAR ELEVATION 3

ROSE 10
COMPLIANCE PACKAGE "A1"

5.		
4.		
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REVISIONS		

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F (905) 660-0746

**REGION
DESIGN
INC.**

SHEET TITLE DECL ELEVATION ELEVATION 3	
SCALE 3/16"=1'	BY VG
DATE APR 2023	TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.	
AREA 3533	PAGE No. 10-3
PROJECT XXX	

Greenpark™
PROJECT NAME
ZADORRA