



CORPORATION OF THE CITY OF OSHAWA  
TRUE COPY  
OF PERMIT PLANS  
Nov 04 2023  
PER: *C. Mura*  
CHIEF BUILDING OFFICIAL

# MHP 23025

## BUILDING PERMIT COVER PAGE

Development Services Department  
Building Permit and Inspection Services

BUILDING PERMIT PLANS REVIEW	ACCEPTED AS NOTED	
	REVIEWED BY	DATE
ZONING		
PLANNING		
ARCHITECTURAL	CM	NOV 4, 2023
STRUCTURAL		
FIRE		
PLUMBING	CARD	
MECHANICAL		
PLANS REVIEW COMPLETED	CM	NOV 4, 2023

### SOIL CONDITIONS

SOIL CONDITIONS SHALL BE VERIFIED BY A PROFESSIONAL ENGINEER COMPETENT IN THE FIELD OF SOIL ENGINEERING, PRIOR TO PLACING ANY FOUNDATION.

**THE PERMIT PLANS HAVE BEEN REVIEWED FOR ONE (1) DWELLING UNIT. ANY FUTURE CHANGES WILL REQUIRE A SEPARATE BUILDING PERMIT**

### PLUMBING INSTALLATIONS

ALL PLUMBING INSTALLATIONS ARE TO BE DONE BY A PLUMBING CONTRACTOR POSSESSING AN ONTARIO COLLEGE OF TRADES MEMBERSHIP. NO PLUMBING IS TO BE COVERED UNTIL INSPECTED AND APPROVED BY A PLUMBING INSPECTOR. TELEPHONE 905-436-5658 WHEN READY FOR AN INSPECTION AND TESTING.

ALL STANDARDS REFERRED TO IN THESE BUILDING PERMIT DOCUMENTS SHALL BE THE EDITION DESIGNATED IN OBC 2012 AS AMENDED.

RAIN WATER DOWNSPOUTS ARE TO BE DISCHARGED AT GRADE AND NOT CONNECTED TO WEEPING TILES.

### FUTURE ALTERATIONS

A SEPARATE BUILDING PERMIT IS REQUIRED FOR ANY PROPOSED INTERIOR PARTITIONS AND/OR ALTERATIONS.

### NOTE:

IT IS RECOMMENDED THAT CRUSHED CONCRETE OR SLAG AGGREGATE **NOT** TO BE USED FOR BACKFILL UNDER CONCRETE SLABS, AROUND SEWER LATERALS OR WEEPERS.

### AS BUILT SURVEY

UPON COMPLETION OF THE FOUNDATION, A SURVEY PREPARED BY AN ONTARIO LAND SURVEYOR INDICATING THE LOCATION OF THE BUILDING TO ALL PROPERTY LINES IS REQUIRED TO BE SUBMITTED TO THE BUILDING DEPARTMENT

COPY OF THE STAMPED/REVIEWED DRAWINGS MUST REMAIN ON SITE DURING CONSTRUCTION.

### MHP CERTIFICATION

ALL MARKUPS AND STAMPS APPLIED TO BASE MODEL AND BASE ELEVATION SHALL APPLY AS APPLICABLE TO THE ENTIRE MODEL HOUSE PLAN

### IMPORTANT NOTE

NEITHER THE ISSUANCE OF A PERMIT NOR THE CARRYING OUT OF INSPECTIONS BY THE CITY RELIEVE THE APPLICANT FROM FULL RESPONSIBILITY FOR COMPLIANCE WITH THE PROVISIONS OF THE BUILDING CODE ACT AND THE ONTARIO BUILDING CODE, BOTH AS AMENDED, AS WELL AS OTHER APPLICABLE STATUTES AND REGULATIONS OF THE PROVINCE OF ONTARIO AND ALL RELEVANT BY-LAWS OF THE CITY OF OSHAWA AND THE REGIONAL MUNICIPALITY OF DURHAM.

### OBC 9.10.14.5 - CLADDING

CLADDING ON THE EXPOSING BUILDING FACE IS PERMITTED TO BE VINYL WHEN WITHIN 600mm OF PROPERTY LINE, PROVIDED THAT THE VINYL CONFORMS TO OBC DIV. B. 9.27.13. IS INSTALLED OVER SHEATHING PAPER AND 12.7mm DRYWALL, HAS A FLAME SPREAD RATING NOT GREATER THAN 25, AND IS NOT MORE THAN 2mm THICK AND THE ENTIRE EXTERIOR WALL HAS A MINIMUM FIRE RESISTANCE RATING OF ¾ HOURS.

### PREFABRICATED WOOD TRUSSES

FABRICATION AND ERECTION DRAWINGS WITH DESIGN DATA, PREPARED AND SEALED BY A PROFESSIONAL ENGINEER, MUST BE AVAILABLE ON SITE FOR REVIEW BY THE BUILDING INSPECTOR

### ROOF CEILING INSULATION

ROOF FRAMING OR TRUSS HEEL JOINT MUST PERMIT SUFFICIENT SPACE FOR THE EXTENSION OF THE ROOF-CEILING INSULATION OVER EXTERIOR WALLS MINIMIZE THERMAL BRIDGES. AN UNOBSTRUCTED VENTILATION SPACE MUST BE PROVIDED OVER EXTERIOR WALLS TO ALLOW UNIMPEDED AIR FLOW FORM SOFFIT VENTS TO ROOF VENTS.

ALL ELECTRICAL WIRING MUST BE INSPECTED BY THE ELECTRICAL SAFETY AUTHORITY. SEPARATE INSPECTION APPLICATIONS (PERMITS) MUST BE FILED. WE RECOMMEND YOU USE A QUALIFIED ELECTRICAL CONTRACTOR. FOR MORE INFORMATION PLEASE CALL:



1-877-ESA-SAFE  
OR VISIT  
WWW.ESASAFE.COM

### RETURN AIR INLET FROM ANY ROOM

PROVISIONS SHALL BE MADE FOR THE RETURN OF AIR FROM ANY ROOM OR SPACE WITHOUT A RETURN AIR INLET, BY LEAVING GAPS BENEATH DOORS, USING LOUVERED DOORS, OR INSTALLING RETURN AIR DUCT INLETS.

### BEDROOM WINDOWS

- (1) EVERY FLOOR LEVEL CONTAINING BEDROOMS IN A SUITE SHALL BE PROVIDED WITH AT LEAST 1 OUTSIDE WINDOW THAT CAN BE OPENED FROM THE INSIDE WITHOUT THE USE OF TOOLS, AND EACH SUCH WINDOW SHALL PROVIDE AN INDIVIDUAL, UNOBSTRUCTED OPEN PORTION HAVING A MINIMUM AREA OF 0.35M<sup>2</sup> (3.8 SQ.FT.) WITH NO DIMENSION LESS THAN 380 MM (15 IN).
- (2) EXCEPT FOR BASEMENT AREAS, THE WINDOW DESCRIBED IN SENTENCE (1) SHALL HAVE A MAXIMUM SILL HEIGHT OF 1M (3 FT 3 IN) ABOVE THE FLOOR.
- (3) WHEN SLIDING WINDOWS ARE USED, THE MINIMUM DIMENSION DESCRIBED IN SENTENCE (1) SHALL APPLY TO THE OPENABLE PORTION OF THE WINDOW.

**ATTIC HATCHES SHALL NOT BE LESS THAN 550mm (21 5/8") BY 900mm (35")**

### OBC 9.26.4.1.

FLASHING REQUIRED AT ALL ROOF-WALL JUNCTIONS

### INTERIOR FINISH OF EXITS

THE FLAME SPREAD RATING OF WALL OR CEILING FINISH IN AN EXIT MUST NOT EXCEED 25.

### INTERIOR FINISH (EXCEPT EXITS)

FLAME SPREAD RATING OF INTERIOR FINISH MATERIALS SHALL NOT EXCEED 150 ON WALLS AND 150 ON CEILINGS. COMBUSTIBLE WALL AND CEILING FINISHES SUCH AS WOOD, PLYWOOD, PLASTIC, FABRIC, CARPET, ETC. MUST BE APPROVED BY THE INSPECTOR PRIOR TO THE INSTALLATION.

### DIV. B. 9.10.14.1 EXPOSING BUILDING FACE OF HOUSES

UNPROTECTED OPENINGS IN THE EXPOSING BUILDING FACE SHALL NOT BE PERMITTED IF THE LIMITING DISTANCE IS LESS THAN 1.2m (3'11") AND SHALL BE LIMITED IN CONFORMANCE WITH THE REQUIREMENTS FOR UNPROTECTED OPENINGS IN DIV. B ARTICLE 9.10.15.1. WHERE THE LIMITING DISTANCE IS 1.2m (3'11") OR GREATER.

THE EXPOSING BUILDING FACE SHALL HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 45 MINUTES WHERE THE LIMITING DISTANCE IS LESS THAN 1.2m.

### ATTACHED OR BUILT-IN GARAGE

THE SEPARATION BETWEEN THE GARAGE AND DWELLING UNIT SHALL BE CONSTRUCTED AS AN EFFECTIVE BARRIER TO GAS AND EXHAUST FUMES. THE DOOR BETWEEN THE GARAGE AND DWELLING UNIT SHALL BE EXTERIOR TYPE, TIGHT FITTING AND WEATHER-STRIPPED TO PROVIDE AN EFFECTIVE BARRIER AGAINST THE PASSAGE OF GAS AND EXHAUST FUMES, AND SHALL BE FITTED WITH AN APPROVED SELF CLOSING DEVICE

### RESISTANCE TO FORCED ENTRY 2012 O.B.C. DIV B. 9.7.5.2. & 9.7.5.3.

1. SWINGING DOORS PROVIDING ACCESS TO DWELLING UNITS SHALL SATISFY THE REQUIREMENTS FOR RESISTANCE TO FORCED ENTRY AS DESCRIBED IN SUBSECTION 9.7.5.2.
2. WINDOWS IN DWELLING UNITS THAT ARE LOCATED WITHIN 2M OF ADJACENT GROUND LEVEL SHALL CONFORM TO THE REQUIREMENTS FOR RESISTANCE TO FORCED ENTRY AS DESCRIBED IN CLAUSE 5.3.5.OF AAMA/WDMA/CSA 101/I.S.2/A440.

A return air inlet shall be located in any room where at least 1/2 of the floor area is located over an unconditioned space (e.g. room over a garage)

2012 Code

### 9.8.8.1.(8)(a)(b) Windows over Stairs, Ramps and Landings

- (2) In dwelling units, glazing installed over stairs, ramps and landings that extend to less than 900 mm (2 ft 11 in) above the surface to the treads, ramp or landing shall be,
  - (a) protected by *guards*, in accordance with this Subsection, or
  - (b) non-openable and designed to withstand the specified lateral loads for *guards* as provided in Article 4.1.5.14.

2012 OBC DIV. B, 9.8.2.1. to 9.8.4.7. STAIR DIMENSIONS						
STAIR TYPE	MAX. RISE, mm, ALL STEPS	MIN. RISE, mm, ALL STEPS	MAX. RUN, mm RECTANGULAR TREADS	MIN. RUN, mm RECTANGULAR TREADS	STAIR WIDTH, mm	HEADROOM, mm
PRIVATE STAIRS	200	125	355	255	860	1950
PUBLIC STAIRS	180	125	NO LIMIT	280	900	2050
SERVICE STAIRS	NO LIMIT	125	355	NO LIMIT	900	2050
STAIR TO UNOCCUPIED ATTIC SPACE	NO LIMIT	125	355	NO LIMIT	860	1950
STAIRS TO CRAWL SPACE	NO LIMIT	125	355	NO LIMIT	860	1950
STAIRS THAT SERVE MEZANINES NOT EXCEEDING 20 m <sup>2</sup> WITHIN LIVELINE UNITS	NO LIMIT	125	355	NO LIMIT	WIDTH AS PER DIV B 9.8.2.1.(3)	2050

**NOTE:** THE CURVED EDGES OF TREADS SHALL NOT REDUCE THE REQUIRED TREAD DEPTH BY MORE THAN 15mm AND SHALL NOT EXCEED 25mm HORIZONTALLY.

### STRUCTURAL ALTERATIONS

ALL STRUCTURAL ALTERATIONS MUST BE FIELD REVIEWED BY A PROFESSIONAL ENGINEER IF REQUIRED BY THE BUILDING INSPECTOR

### FINISHED SITE GRADING

THE BUILDING SHALL BE LOCATED AND THE BUILDING SITE GRADED SO THAT WATER WILL NOT ACCUMULATE AT OR NEAR THE BUILDING AND WILL NOT ADVERSELY AFFECT ANY ADJACENT PROPERTIES.

### 9.5.2.3. STUD WALL REINFORCEMENT

- (1) IF WOOD WALL STUDS OR SHEET STEEL WALL STUDS ENCLOSE THE MAIN BATHROOM IN A DWELLING UNIT, REINFORCEMENT SHALL BE INSTALLED TO PERMIT THE FUTURE INSTALLATION OF A GRAB BAR ON A WALL ADJACENT TO,
  - (a) A WATER CLOSET IN THE LOCATION REQUIRED BY CLAUSE 3.8.3.8.(1)(d), AND
  - (b) A SHOWER OR BATHTUB IN THE LOCATION BY CLAUSE 3.8.3.13.(1)(f).

(SEE APPENDIX A.)

**A CURSORY REVIEW OF THE STRUCTURAL ELEMENTS HAS BEEN COMPLETED AND IS RELIANT ON ENGINEER'S CERTIFICATION OF DRAWINGS.**

CORPORATION OF THE CITY OF OSHTAWA  
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**STRIP FOOTINGS FOR SINGLES AND SEMIS UP TO 2 STOREY**

<b>120 KPa NATIVE SOIL</b> 20"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS. 24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.	<b>90 KPa ENGINEERED FILL SOIL</b> 24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW FOUNDATION WALLS. 30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW PARTY WALLS.
<b>100 KPa NATIVE SOIL</b> 22"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS. 28"x10" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS OR 28"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW PARTY WALLS	<b>GENERAL NOTE:</b> ASSUMED 120/100 KPa NATIVE SOIL BEARING CAPACITY OR 90 KPa FOR ENGINEERED FILL. TO BE VERIFIED ON SITE. REFER TO ENGINEERED FILL FOOTING DETAIL FOR REINFORCEMENT.  (REFER TO ENG. FILL FOOTING DETAIL)

**AREA CALCULATIONS EL-1**

FIRST FLOOR AREA	=	1179 Sq. Ft.
SECOND FLOOR AREA	=	1417 Sq. Ft.
<b>TOTAL FLOOR AREA</b>	=	<b>2596 Sq. Ft.</b>
ADD OPEN AREAS	=	14 Sq. Ft.
ADD FIN. BASEMENT AREA	=	0 Sq. Ft.
<b>GROSS FLOOR AREA</b>	=	<b>2610 Sq. Ft.</b>
GROUND FLOOR COVERAGE	=	1179 Sq. Ft.
GARAGE COVERAGE / AREA	=	220 Sq. Ft.
PORCH COVERAGE / AREA	=	77 Sq. Ft.
COVERAGE W/ PORCH	=	1476 Sq. Ft.
	=	137.12 Sq. m.
COVERAGE W/O PORCH	=	1399 Sq. Ft.
	=	129.97 Sq. m.

**AREA CALCULATIONS EL-2**

FIRST FLOOR AREA	=	1189 Sq. Ft.
SECOND FLOOR AREA	=	1412 Sq. Ft.
<b>TOTAL FLOOR AREA</b>	=	<b>2601 Sq. Ft.</b>
ADD OPEN AREAS	=	14 Sq. Ft.
ADD FIN. BASEMENT AREA	=	0 Sq. Ft.
<b>GROSS FLOOR AREA</b>	=	<b>2615 Sq. Ft.</b>
GROUND FLOOR COVERAGE	=	1189 Sq. Ft.
GARAGE COVERAGE / AREA	=	220 Sq. Ft.
PORCH COVERAGE / AREA	=	47 Sq. Ft.
COVERAGE W/ PORCH	=	1456 Sq. Ft.
	=	135.27 Sq. m.
COVERAGE W/O PORCH	=	1409 Sq. Ft.
	=	130.90 Sq. m.

**AREA CALCULATIONS EL-3**

FIRST FLOOR AREA	=	1189 Sq. Ft.
SECOND FLOOR AREA	=	1412 Sq. Ft.
<b>TOTAL FLOOR AREA</b>	=	<b>2601 Sq. Ft.</b>
ADD OPEN AREAS	=	14 Sq. Ft.
ADD FIN. BASEMENT AREA	=	0 Sq. Ft.
<b>GROSS FLOOR AREA</b>	=	<b>2615 Sq. Ft.</b>
GROUND FLOOR COVERAGE	=	1189 Sq. Ft.
GARAGE COVERAGE / AREA	=	220 Sq. Ft.
PORCH COVERAGE / AREA	=	47 Sq. Ft.
COVERAGE W/ PORCH	=	1456 Sq. Ft.
	=	135.27 Sq. m.
COVERAGE W/O PORCH	=	1409 Sq. Ft.
	=	130.90 Sq. m.

**2610**

**9.14m LOTS**

**RIVER 6 (GR)**

**ELEVATION 1,2 & 3**

**A1 PACKAGE**

**O.REG. 332/12**

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.

AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.

JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

THIS DRAWING IS AN INSTRUMENT OF SERVICE. IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED.

**PAD FOOTING**

<b>120 KPa NATIVE SOIL</b> F1 = 42"x42"x18" CONCRETE PAD F2 = 36"x36"x18" CONCRETE PAD F3 = 30"x30"x12" CONCRETE PAD F4 = 24"x24"x12" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD  (REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)	<b>90 KPa ENGINEERED FILL SOIL</b> F1 = 48"x48"x20" CONCRETE PAD F2 = 40"x40"x16" CONCRETE PAD F3 = 34"x34"x14" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD	<b>100 KPa NATIVE SOIL</b> F1 = 48"x46"x20" CONCRETE PAD F2 = 38"x38"x16" CONCRETE PAD F3 = 32"x32"x14" CONCRETE PAD F4 = 28"x26"x12" CONCRETE PAD F5 = 17"x17"x8" CONCRETE PAD
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**NOTE:**  
WHEN VENEER CUT IS GREATER THAN 28" A 10" POURED CONC. FOUNDATION WALL IS REQUIRED.

**NOTE:**  
ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa WITH 5-8% AIR ENTRAINMENT.

**BRICK VENEER LINTELS:**

WL1 = 3 1/2" x 3 1/2" x 1 1/4" (90x90x6) + 2-2" x 8" SPR.	WL6 = 5' x 3 1/2" x 5 1/16" (125x90x8) + 2-2" x 12" SPR.
WL2 = 4' x 3 1/2" x 5 1/16" (100x90x8) + 2-2" x 8" SPR.	WL7 = 5' x 3 1/2" x 5 1/16" (125x90x8) + 3-2" x 10" SPR.
WL3 = 5' x 3 1/2" x 5 1/16" (125x90x8) + 2-2" x 10" SPR.	WL8 = 5' x 3 1/2" x 5 1/16" (125x90x8) + 3-2" x 12" SPR.
WL4 = 6' x 3 1/2" x 3/8" (150x90x10) + 2-2" x 12" SPR.	WL9 = 6' x 4' x 3/8" (150x100x10) + 3-2" x 12" SPR.
WL5 = 6' x 4' x 3/8" (150x100x10) + 2-2" x 12" SPR.	

**WOOD LINTELS:**

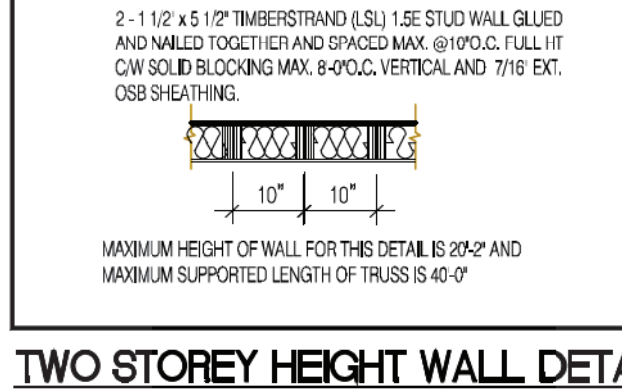
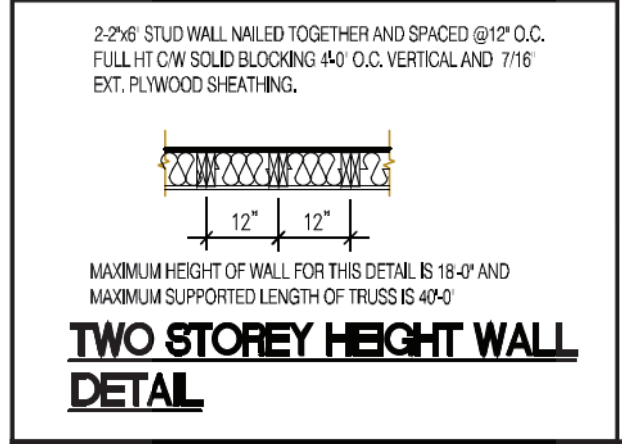
WB1 = 2-2" x 8" SPRUCE BEAM	WB6 = 3-2" x 12" SPRUCE BEAM
WB2 = 3-2" x 8" SPRUCE BEAM	WB7 = 5-2" x 12" SPRUCE BEAM
WB3 = 2-2" x 10" SPRUCE BEAM	WB10 = 4-2" x 8" SPRUCE BEAM
WB4 = 3-2" x 10" SPRUCE BEAM	WB11 = 4-2" x 10" SPRUCE BEAM
WB5 = 2-2" x 12" SPRUCE BEAM	

**STEEL LINTELS:**

L1 = 3 1/2" x 3 1/2" x 1 1/4" (90 x 90 x 6)	L4 = 6' x 3 1/2" x 3/8" (150 x 90 x 10)
L2 = 4' x 3 1/2" x 5 1/16" (100 x 90 x 8)	L5 = 6' x 4' x 3/8" (150 x 100 x 10)
L3 = 5' x 3 1/2" x 5 1/16" (125 x 90 x 8)	L6 = 7' x 4' x 3/8" (180 x 100 x 10)

**LAMINATED VENEER LUMBER (LVL BEAMS)**

LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)	LVL7A = 4-1 3/4" x 11 7/8" (4-45x300)
LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)	LVL8 = 2-1 3/4" x 14" (2-45x356)
LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)	LVL9 = 3-1 3/4" x 14" (3-45x356)
LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)	
LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)	
LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)	
LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)	
LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)	
LVL6A = 1-1 3/4" x 11 7/8" (1-45x300)	
LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)	
LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)	



**NOTE:**  
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED ROOF TRUSS DRAWINGS BY MANUFACTURER.

**Door Schedule**

NO.	WIDTH	HEIGHT 8' TO 9' CEILINGS	HEIGHT 10' OR MORE CEILINGS	TYPE
1	2'-10"	6'-8" (865x2033)	8'-0" (865x2439)	INSULATED ENTRANCE DOOR
1a	2'-8"	6'-8" (815x2033)	8'-0" (815x2439)	INSULATED FRONT DOORS
2	2'-8"	6'-8" (815x2033)	8'-0" (815x2439)	WOOD & GLASS DOOR
3	2'-8"	6'-8" x 1-3/4" (815x2033x45)	8'-0" x 1-3/4" (815x2439x45)	EXTERIOR SLAB DOOR
4	2'-8"	6'-8" x 1-3/8" (815x2033x35)	8'-0" x 1-3/8" (815x2439x35)	INTERIOR SLAB DOOR
5	2'-6"	6'-8" x 1-3/8" (760x2033x35)	8'-0" x 1-3/8" (760x2439x35)	INTERIOR SLAB DOOR
6	2'-2"	6'-8" x 1-3/8" (660x2033x35)	8'-0" x 1-3/8" (660x2439x35)	INTERIOR SLAB DOOR
7	1'-6"	6'-8" x 1-3/8" (460x2033x35)	8'-0" x 1-3/8" (460x2439x35)	INTERIOR SLAB DOOR
8	3'-0"	6'-8" x 1-3/8" (915x2033x35)	8'-0" x 1-3/8" (915x2439x35)	INTERIOR SLAB DOOR

**NOTE:**  
SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS, PROVIDE 1 ROW BRIDGING FOR SPANS OF 5-7', 2 ROWS FOR SPANS GREATER THAN 7'

**NOTE:**  
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS LAYOUT BY MANUFACTURER.

**NOTE:**  
PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN.

RIVER 6 ELEV.-1 ENERGY EFFICIENCY-A1 PACKAGE

ELEVATION	WALL FT <sup>2</sup>	OPENING FT <sup>2</sup>	PERCENTAGE
FRONT	518.36	93.34	18.01 %
LEFT SIDE	1327.90	99.00	7.46 %
RIGHT SIDE	1317.39	0.00	0.00 %
REAR	494.73	116.61	23.57 %
<b>TOTAL</b>	<b>3658.38</b>	<b>308.95</b>	<b>8.44 %</b>

RIVER 6 ELEV.-2 ENERGY EFFICIENCY-A1 PACKAGE

ELEVATION	WALL FT <sup>2</sup>	OPENING FT <sup>2</sup>	PERCENTAGE
FRONT	521.13	94.24	18.08 %
LEFT SIDE	1327.90	99.00	7.46 %
RIGHT SIDE	1317.39	0.00	0.00 %
REAR	494.73	116.61	23.57 %
<b>TOTAL</b>	<b>3661.15</b>	<b>309.85</b>	<b>8.46 %</b>

RIVER 6 ELEV.-3 ENERGY EFFICIENCY-A1 PACKAGE

ELEVATION	WALL FT <sup>2</sup>	OPENING FT <sup>2</sup>	PERCENTAGE
FRONT	508.96	93.27	18.33 %
LEFT SIDE	1338.61	99.00	7.40 %
RIGHT SIDE	1333.47	0.00	0.00 %
REAR	494.76	116.61	23.57 %
<b>TOTAL</b>	<b>3675.80</b>	<b>308.88</b>	<b>8.40 %</b>

STRUDET INC.

**B. MARINKOVIC**

FOR STRUCTURE ONLY

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or building drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Oshawa

7		
6		
5		
4		
3	MAY 9, 2023	ISSUED TO CLIENT FOR PERMIT
2	MAY 3, 2023	COORDINATED FLOOR, ROOF AND ENGINEER COMMENTS
1	FEB. 14, 2023	INTRODUCED FROM JOB 21-35 MODEL GARDEN 4

No. DATE: WORK DESCRIPTION:

**jardin**  
DESIGN GROUP INC

64 JARDIN DR. SUITE 3A  
VAUGHAN ONT. L4K 3P3  
TEL: 905 660-3377 FAX: 905 660-3713  
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

**Walter Botter** 21031  
NAME SIGNATURE BCIN

REGISTRATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

**Jardin design group inc.** 27763  
FIRM NAME BCIN

**TITLE SHEET**

ZADORRA ESTATE INC.  
CITY OF OSHTAWA

**BILD**

MODEL:	RIVER 6
SCALE:	3/16"=1'-0"
PROJ. No.	22-16
DWG. No.	0

CORPORATION OF THE CITY OF OSHAWA  
**TRUE COPY**  
**OF PERMIT PLANS**  
**Nov 04 2023**  
 PER: *Charr*  
 CHIEF BUILDING OFFICIAL

MHP 23025

**2610**  
**9.14m LOTS**  
**RIVER 6 (GR)**  
**ELEVATION 2**  
**A1 PACKAGE**  
**O.REG. 332/12**

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3	MAY 9, 2023	ISSUED TO CLIENT FOR PERMIT
2	MAY 3, 2023	COORDINATED FLOOR, ROOF AND ENGINEER COMMENTS
1	FEB. 14, 2023	INTRODUCED FROM JOB 21-35 MODEL GARDEN 4

No: DATE: WORK DESCRIPTION:

**jardin**  
**DESIGN GROUP INC**  
 64 JARDIN DR. SUITE 3A  
 VAUGHAN ONT. L4K 3P3  
 TEL: 905 660-3377 FAX: 905 660-3713  
 EMAIL: info@jardindesign.ca

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*Walter Botter* 21031  
 NAME SIGNATURE BCIN  
 REGISTRATION INFORMATION  
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**Jardin design group inc.** 27763  
 FIRM NAME BCIN

**BASEMENT PLAN EL-2**  
 ZADORRA ESTATE INC.  
 CITY OF OSHAWA

MODEL: RIVER 6  
 SCALE: 3/16" = 1'-0"  
 PROJ. No: 22-16 DWG. No: 1A

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**JOHN G. WILLIAMS LTD., ARCHITECT**  
 ARCHITECTURAL CONTROL REVIEW AND APPROVAL  
 APPROVED BY: *[Signature]*  
 DATE: JUL 31, 2023  
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STRUDET INC.  
 REGISTERED PROFESSIONAL ENGINEER  
*B. MARINKOVIC*  
 May 10, 2023  
 PROVINCE OF ONTARIO  
 FOR STRUCTURE ONLY

**NOTE:**  
 REFER TO SHEET NO. 0-1 FOR LINTEL, BEAMS AND DOOR SIZE

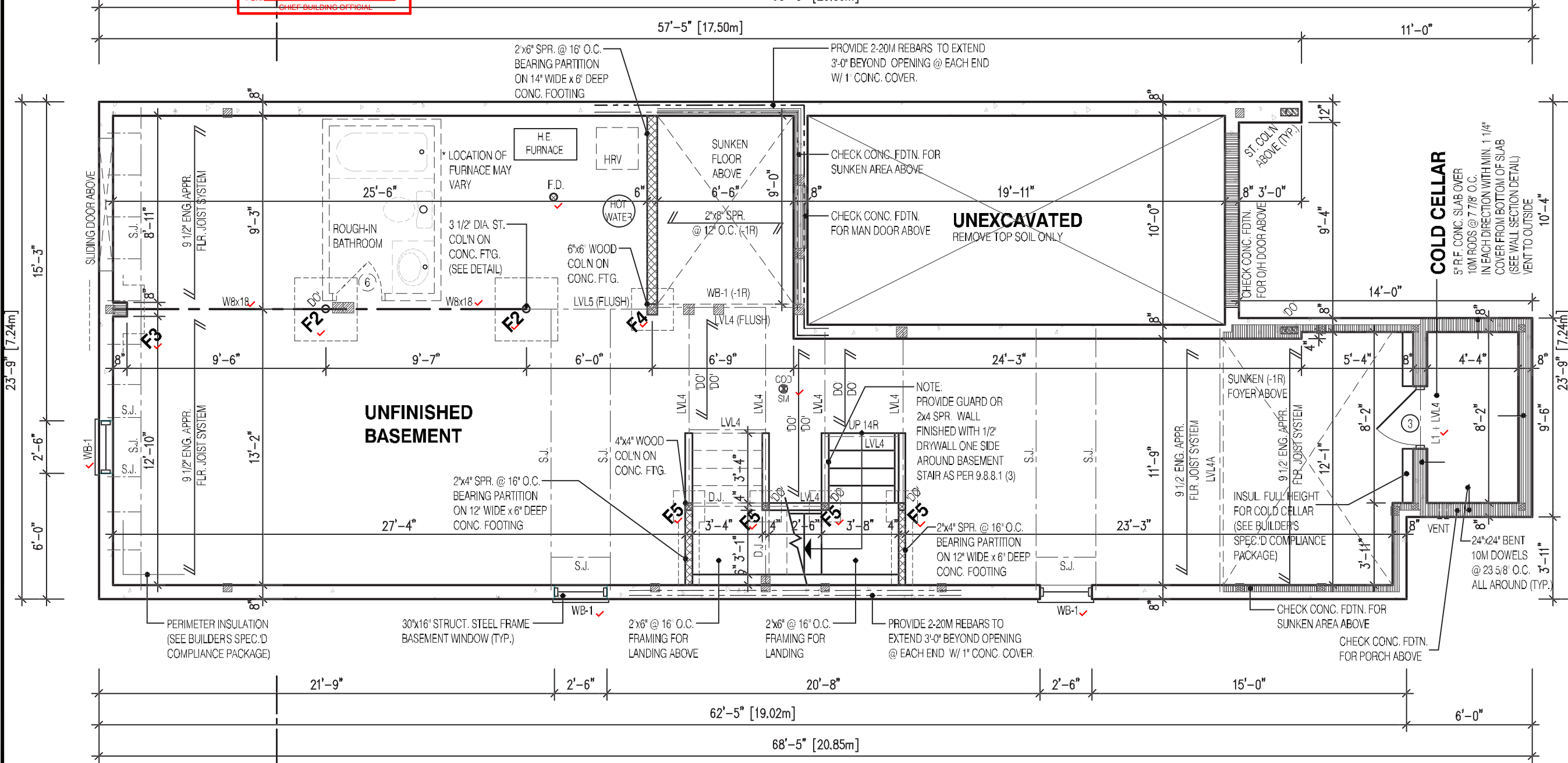
**NOTE:**  
 SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

**NOTE:**  
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**NOTE:**  
 SUBFLOOR TO BE 3/4" PLYWOOD ON THIS LEVEL  
 ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL

**LEGEND:**

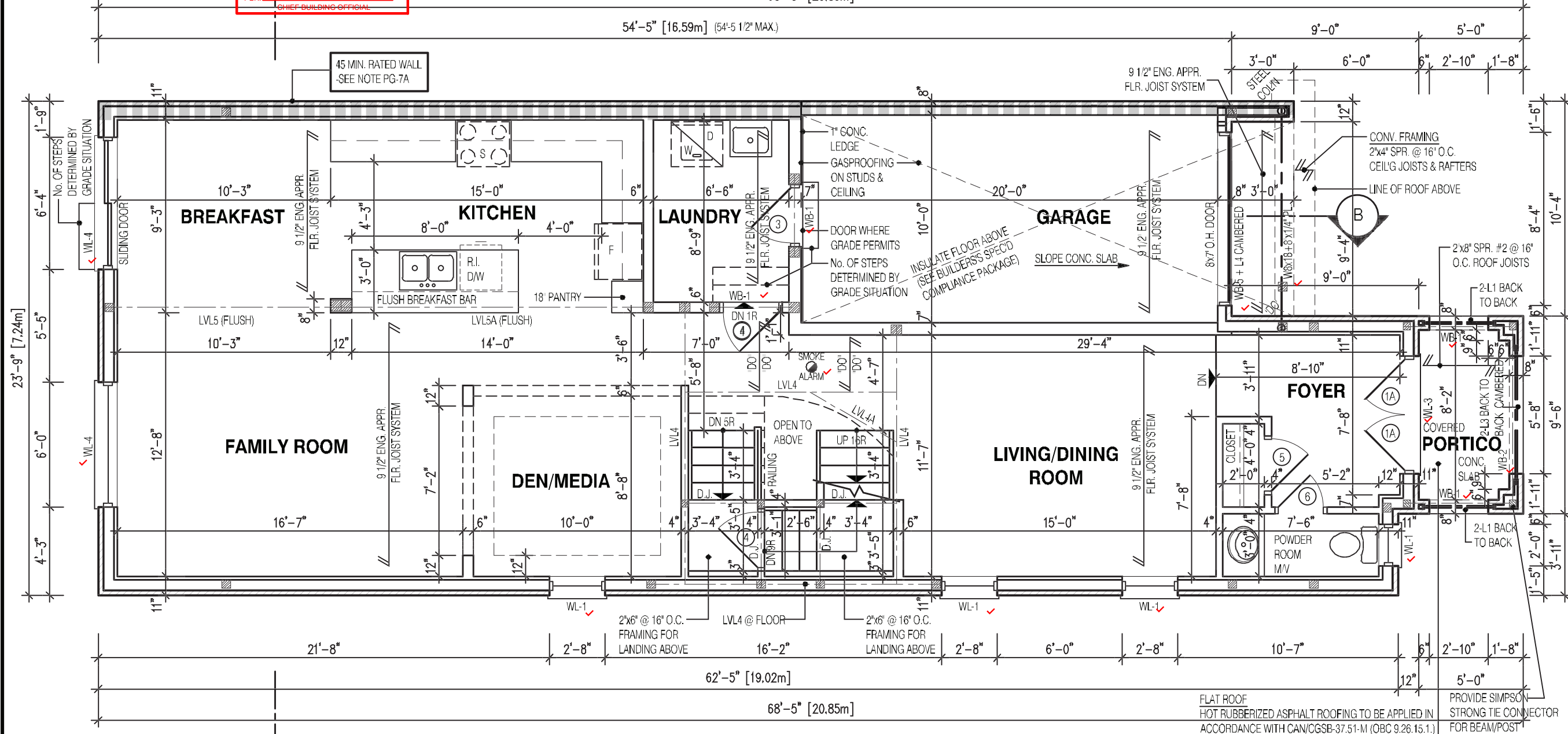
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- LVL LAMINATED VENEER LUMBER
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- D.J. DOUBLE JOIST
- T.J. TRIPLE JOIST
- DO REPEAT NOTE
- SHOWER WEEPERS



CORPORATION OF THE CITY OF OSHAWA  
**TRUE COPY**  
**OF PERMIT PLANS**  
**Nov 04 2023**  
 PER: *[Signature]*  
 CHIEF BUILDING OFFICIAL

MHP 23025

**2610**  
**9.14m LOTS**  
**RIVER 6 (GR)**  
**ELEVATION 2**  
**A1 PACKAGE**  
**O.REG. 332/12**



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No: DATE: WORK DESCRIPTION:

**jardin**  
 DESIGN GROUP INC  
 64 JARDIN DR. SUITE 3A  
 VAUGHAN ONT. L4K 3P3  
 TEL: 905 660-3377 FAX: 905 660-3713  
 EMAIL: info@jardindesign.ca

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Walter Botter *[Signature]* 21031  
 NAME SIGNATURE BCIN

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Jardin design group inc. 27763  
 FIRM NAME BCIN

**FIRST FLOOR PLAN EL-2**  
 ZADORRA ESTATE INC.  
 CITY OF OSHAWA

MODEL: RIVER 6  
 SCALE: 3/16" = 1'-0"  
 PROJ. No. 22-16 DWG. No. 2A

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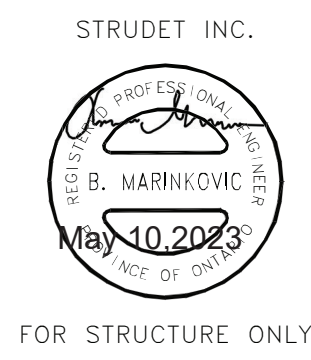
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 ARCHITECTURAL CONTROL REVIEW AND APPROVAL

APPROVED BY: *[Signature]*  
 DATE: JUL 31, 2023

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FLAT ROOF  
 HOT RUBBERIZED ASPHALT ROOFING TO BE APPLIED IN ACCORDANCE WITH CAN/CGSB-37.51-M (OBC 9.26.15.1) ON 1/2" SHEATHING ON ROOF JOISTS AS PER PLAN. PROVIDE ROOF DRAIN OR DRAIN TO SCUPPER

PROVIDE SIMPSON STRONG TIE CONNECTOR FOR BEAM/POST CONNECTION. (TYPICAL)



FOR STRUCTURE ONLY

<b>NOTE:</b> SUBFLOOR TO BE 5/8" PLYWOOD ON THIS LEVEL	<b>LEGEND:</b> <ul style="list-style-type: none"> <li>■ BUILDING FACE &lt; THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D)</li> <li>▨ INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE</li> <li>▩ STL. PLATE FOR STEEL COL'N ABOVE</li> <li>LVL LAMINATED VENEER LUMBER</li> <li>S.J. SINGLE JOIST</li> <li>D.J. DOUBLE JOIST</li> <li>T.J. TRIPLE JOIST</li> <li>○ REPEAT NOTE</li> <li>○ SHOWER WEEPERS</li> </ul>
<b>NOTE:</b> ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL	

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CORPORATION OF THE CITY OF OSHTAWA  
 TRUE COPY  
 OF PERMIT PLANS  
 Nov 04 2023  
 PER: *[Signature]*  
 CHIEF BUILDING OFFICIAL

MHP 23025

**2610**  
**9.14m LOTS**  
**RIVER 6 (GR)**  
**ELEVATION 2**  
**A1 PACKAGE**  
**O.REG. 332/12**

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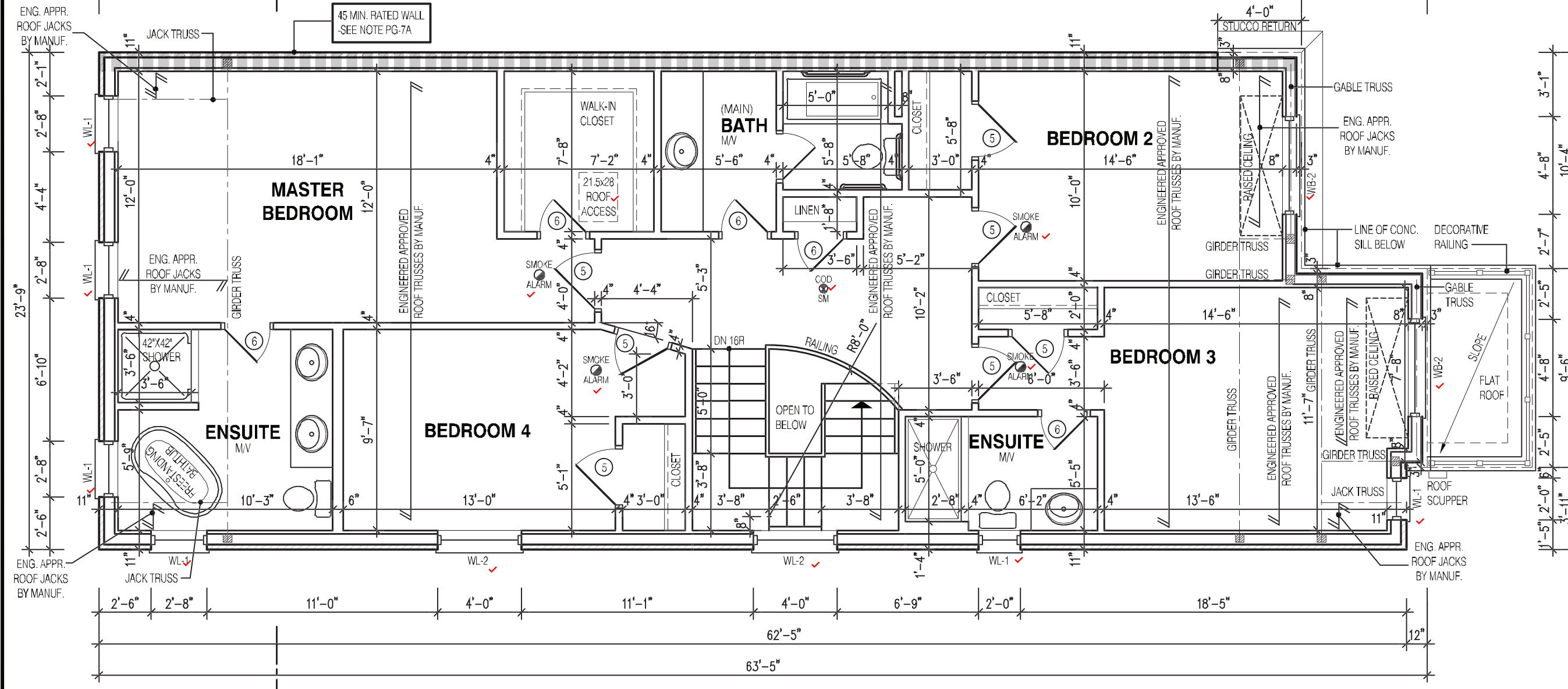
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 JARDIN design group inc. 27763  
 FIRM NAME BCIN

**SEC. FLOOR PLAN EL-2**  
 ZADORRA ESTATE INC.  
 CITY OF OSHTAWA

MODEL: RIVER 6  
 SCALE: 3/16"=1'-0"  
 PROJ. No. 22-16 DWG. No. 3A



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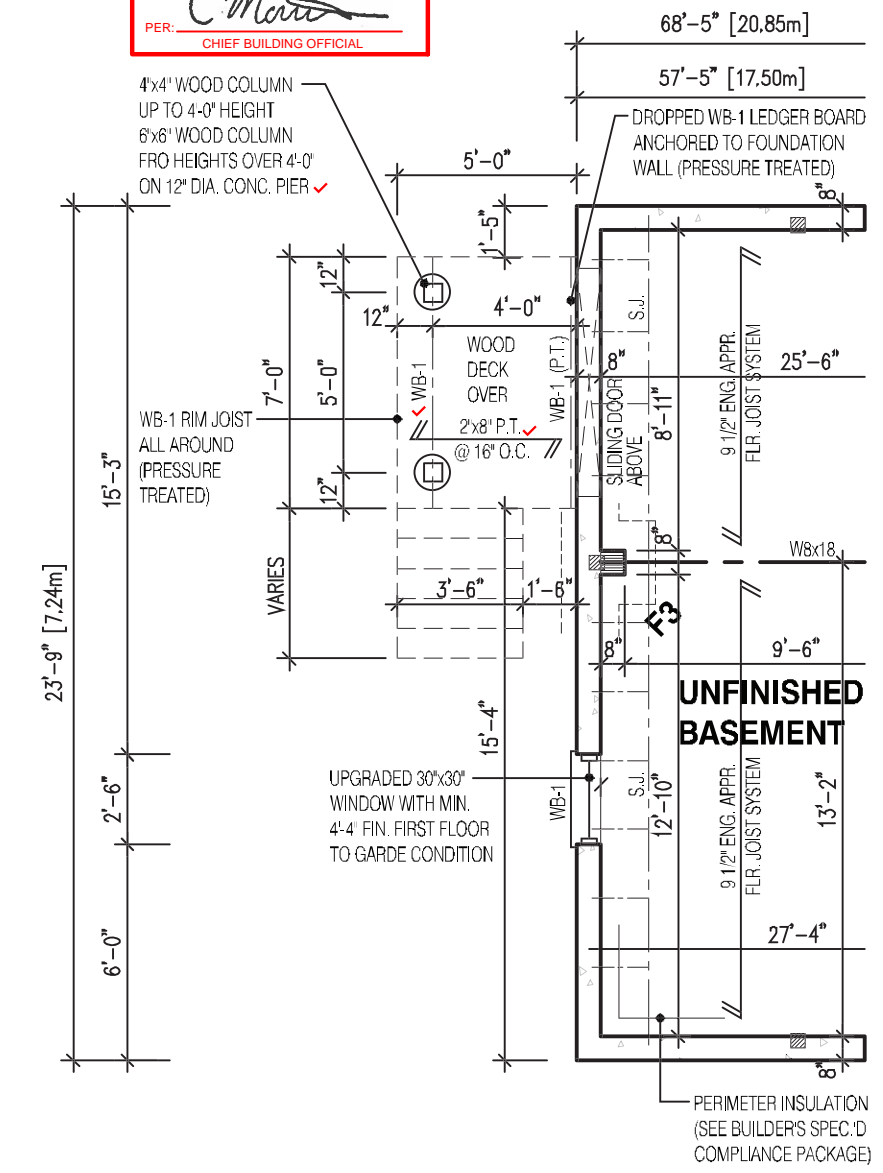
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  - REPEAT NOTE
  - SHOWER WEEPERS

STRUDET INC.  
*[Signature]*  
 B. MARINKOVIC  
 REGISTERED PROFESSIONAL ENGINEER  
 MAY 10 2023  
 FOR STRUCTURE ONLY

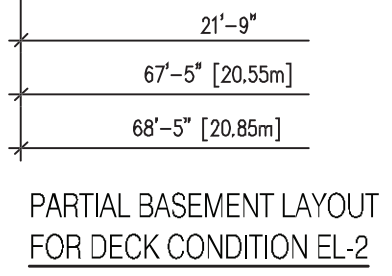
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 PER: *Charna*  
 CHIEF BUILDING OFFICIAL

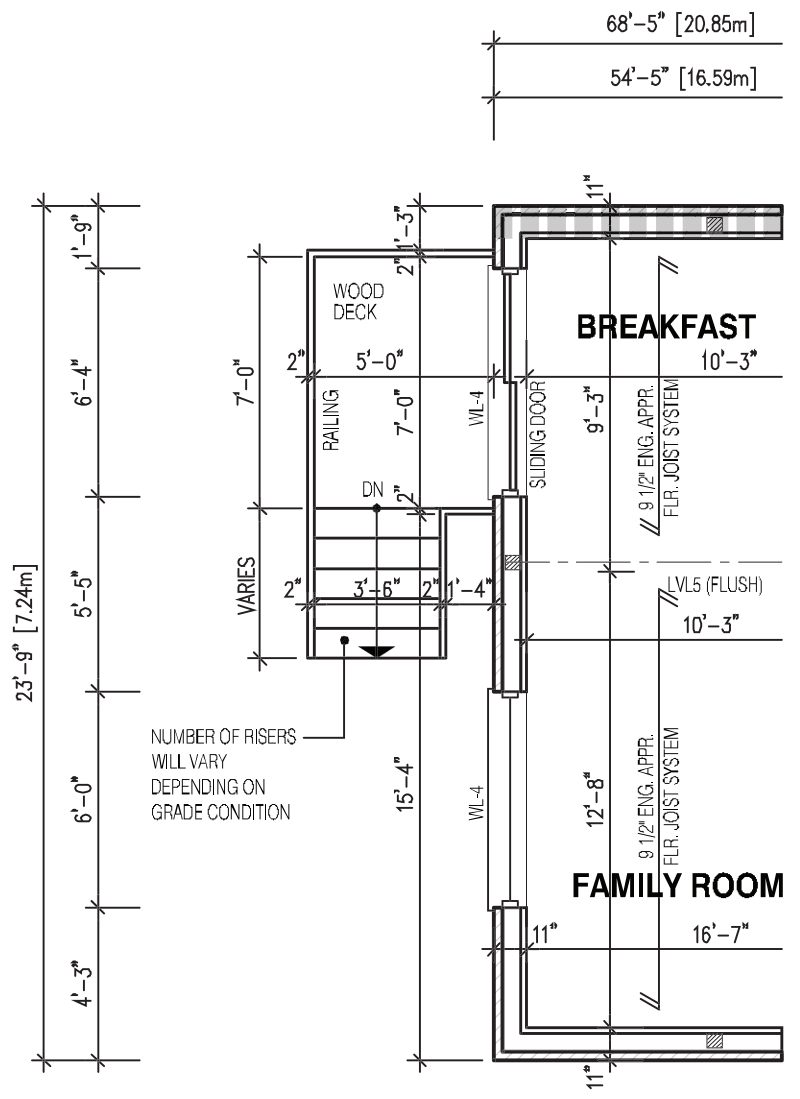
MHP 23025



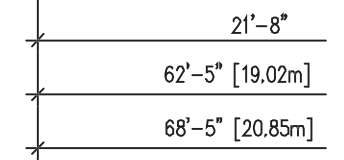
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PARTIAL BASEMENT LAYOUT FOR DECK CONDITION EL-2



**NOTE:**  
 SUBFLOOR TO BE 5/8" PLYWOOD ON THIS LEVEL  
 ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL



PARTIAL FIRST FLOOR LAYOUT FOR DECK CONDITION EL-2

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**2610**  
**9.14m LOTS**  
**RIVER 6 (GR)**  
**ELEVATION 2**  
**A1 PACKAGE**  
**O.REG. 332/12**

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No: DATE: WORK DESCRIPTION:

**jardin**  
**DESIGN GROUP INC**  
 64 JARDIN DR. SUITE 3A  
 VAUGHAN ONT. L4K 3P3  
 TEL: 905 660-3377 FAX: 905 660-3713  
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**jardin design group inc.** 27763  
 FIRM NAME BCIN

**DECK CONDITION EL-2**  
 ZADORRA ESTATE INC.  
 CITY OF OSHAWA

MODEL: RIVER 6  
 SCALE: 3/16"=1'-0"  
 PROJ. No. 22-16 DWG. No. 3A-1

**NOTE:**  
 WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC. FOUNDATION WALL IS REQUIRED. (FOUNDATION PLAN TO BE REVIEWED IN CONJUNCTION WITH SITE PLAN)

**NOTE:**  
 REFER TO SHEET NO. 0 - FOR UNTEL, BEAMS AND DOOR SIZE

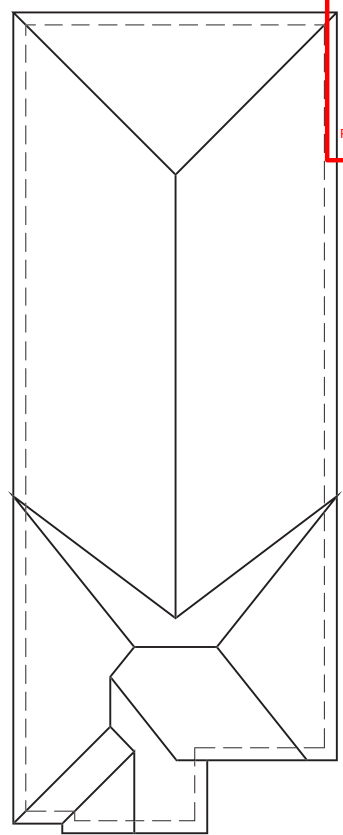
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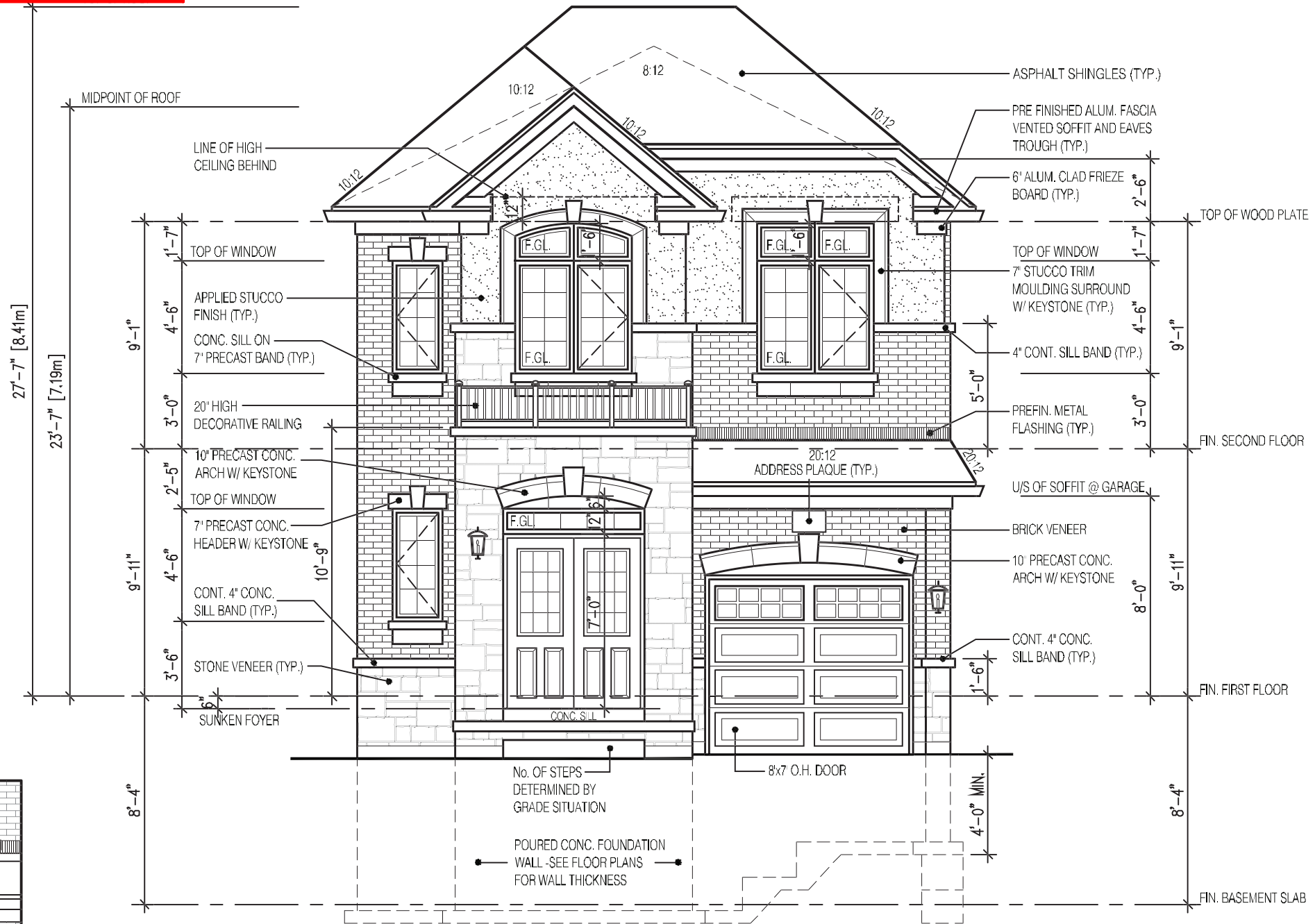
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CORPORATION OF THE CITY OF OSHAWA  
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 PER: *Charr*  
 CHIEF BUILDING OFFICER

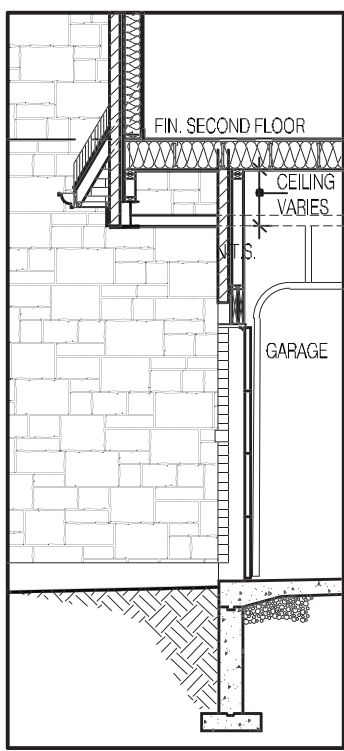
MHP 23025



ROOF PLAN



FRONT ELEVATION 2



SECTION - B



PORTICO INTERIOR ELEVATION 2

**2610**  
**9.14m LOTS**  
**RIVER 6 (GR)**  
**ELEVATION 2**  
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**O.REG. 332/12**

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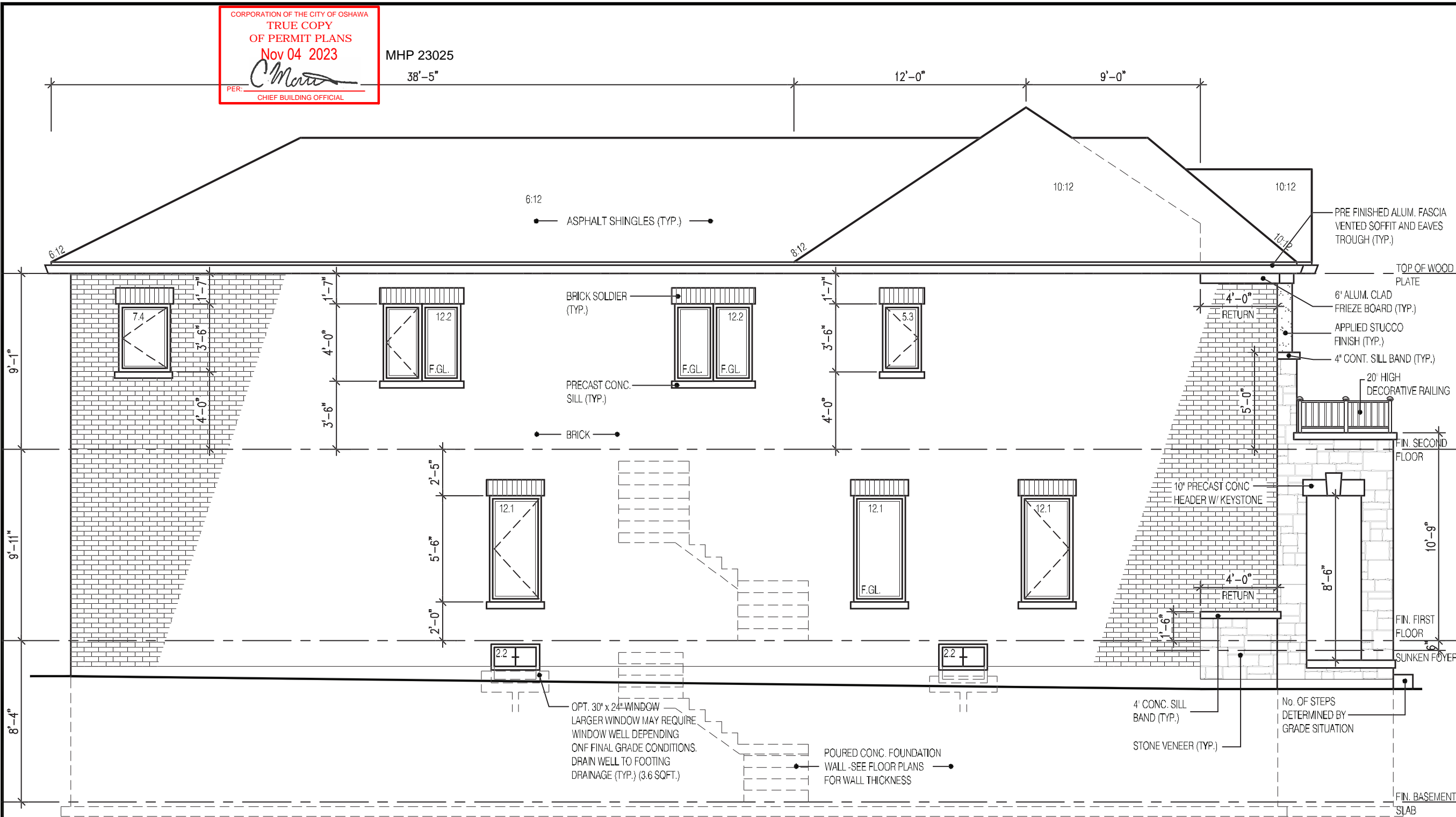
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FRONT ELEVATION 2  
 ZADORRA ESTATE INC.  
 CITY OF OSHAWA

MODEL: RIVER 6  
 SCALE: 3/16"=1'-0"  
 PROJ. No. 22-16 DWG. No. 4A

CORPORATION OF THE CITY OF OSHAWA  
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 PER: *Charr*  
 CHIEF BUILDING OFFICIAL

MHP 23025  
 38'-5"



**2610**  
**9.14m LOTS**  
**RIVER 6 (GR)**  
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3	MAY 9, 2023	ISSUED TO CLIENT FOR PERMIT
2	MAY 3, 2023	COORDINATED FLOOR, ROOF AND ENGINEER COMMENTS
1	FEB. 14, 2023	INTRODUCED FROM JOB 21-35 MODEL GARDEN 4

No: DATE: WORK DESCRIPTION:  
**jardin**  
 DESIGN GROUP INC  
 64 JARDIN DR. SUITE 3A  
 VAUGHAN ONT. L4K 3P3  
 TEL: 905 660-3377 FAX: 905 660-3713  
 EMAIL: info@jardindesign.ca

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*Walter Botter* 21031  
 NAME SIGNATURE BCIN  
 REGISTRATION INFORMATION  
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*Jardin design group inc.* 27763  
 FIRM NAME BCIN

**SIDE ELEVATION 2**  
 ZADORRA ESTATE INC.  
 CITY OF OSHAWA

MODEL: RIVER 6  
 SCALE: 3/16"=1'-0"  
 PROJ. No. 22-16 DWG. No. 5A

**LEFT SIDE ELEVATION 2**

**UNPROTECTED OPENINGS**

WALL AREA	13220 φ
ALLOWABLE WINDOW AREA @ 7.0% (1.2m SIDEYARD)	92.54 φ
ACTUAL GLAZED AREA	77.8 φ
<b>WITH OPTIONAL 30"x24" BASEMENT WINDOWS</b>	
ACTUAL GLASS AREA	80.6 φ

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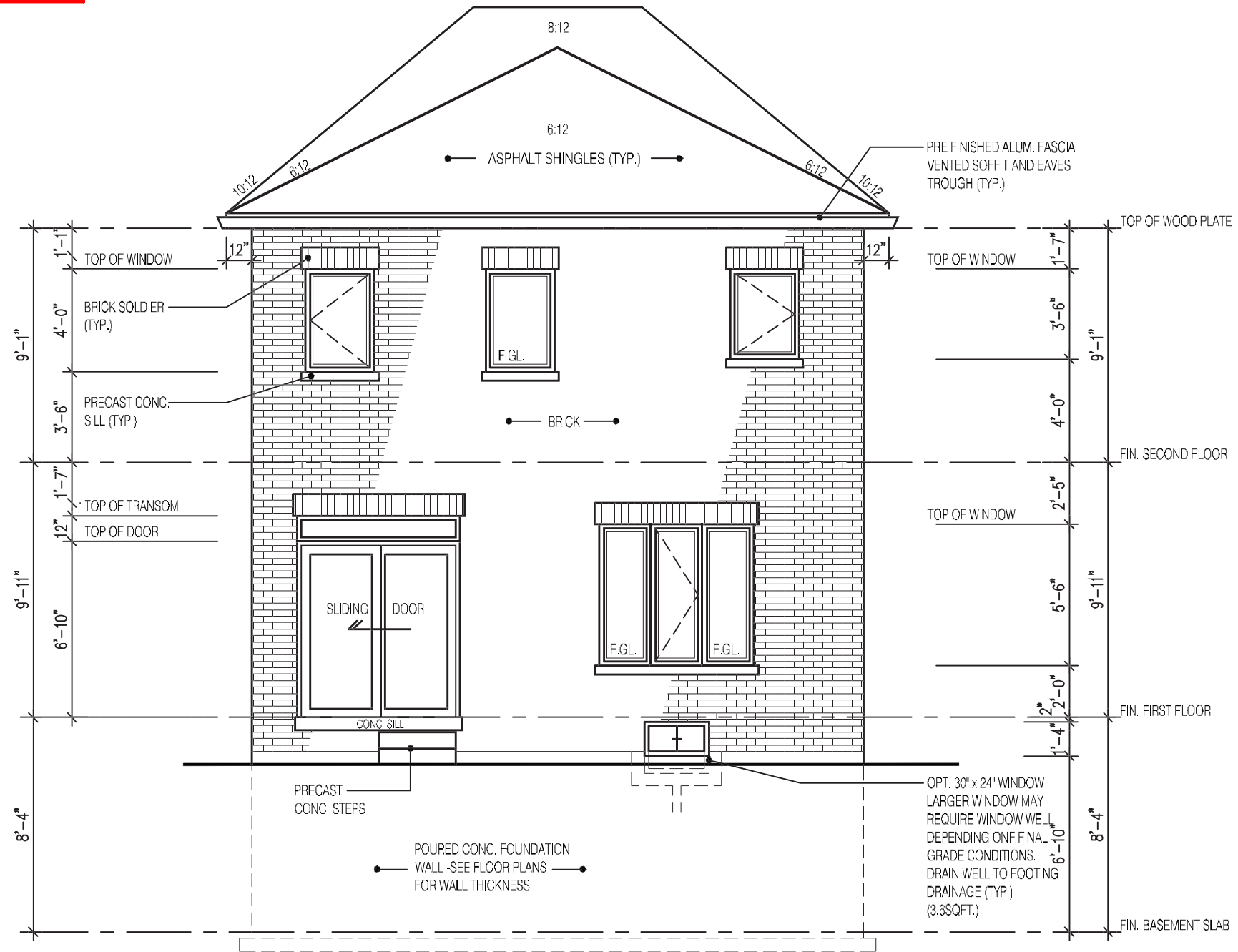
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**JOHN G. WILLIAMS LTD., ARCHITECT**  
 ARCHITECTURAL CONTROL REVIEW AND APPROVAL  
 APPROVED BY: *[Signature]*  
 DATE: JUL 31, 2023  
 This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



CORPORATION OF THE CITY OF OSHAWA  
 TRUE COPY  
 OF PERMIT PLANS  
 Nov 04 2023  
 PER: *Charr*  
 CHIEF BUILDING OFFICIAL

MHP 23025



**REAR ELEVATION 2**

**2610**  
**9.14m LOTS**  
**RIVER 6 (GR)**  
**ELEVATION 2**  
**A1 PACKAGE**  
**O.REG. 332/12**

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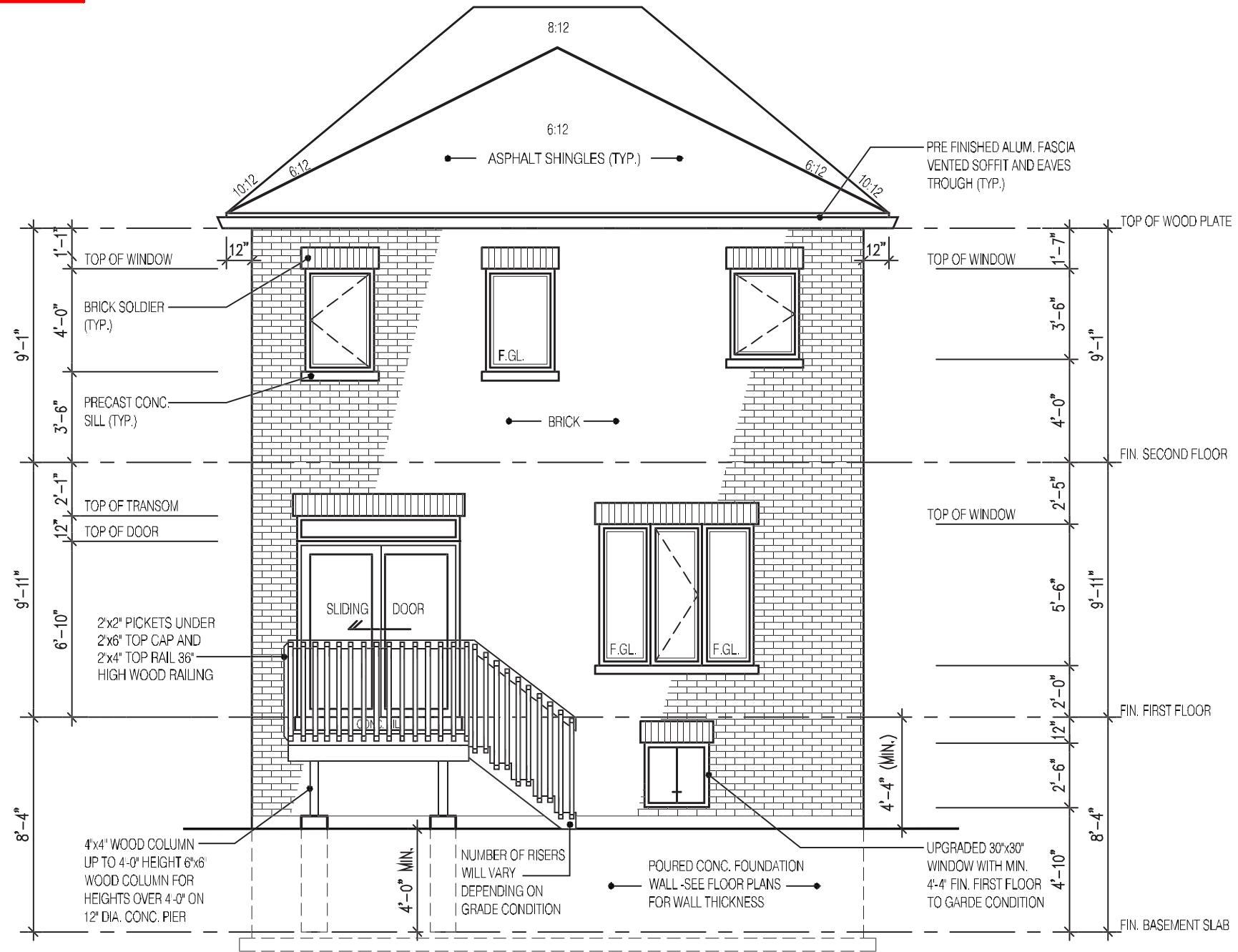
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 AND APPROVAL  
 APPROVED BY: *[Signature]*  
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**REAR ELEVATION 2**  
 ZADORRA ESTATE INC.  
 CITY OF OSHAWA  
 MODEL: RIVER 6  
 SCALE: 3/16"=1'-0"  
 PROJ. No. 22-16 DWG. No. 6A



**REAR ELEVATION 2  
 DECK CONDITION**

FOR ADDITIONAL DECK STRUCTURE  
 REFER TO PAGE 7 OF THE DETAIL PACKAGE

**NOTE:**  
**WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC. FOUNDATION WALL IS REQUIRED.**  
**(FOUNDATION PLAN TO BE REVIEWED IN CONJUNCTION WITH SITE PLAN)**

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**2610**  
**9.14m LOTS**  
**RIVER 6 (GR)**  
**ELEVATION 2**  
**A1 PACKAGE**  
**O.REG. 332/12**

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 NAME SIGNATURE BCIN

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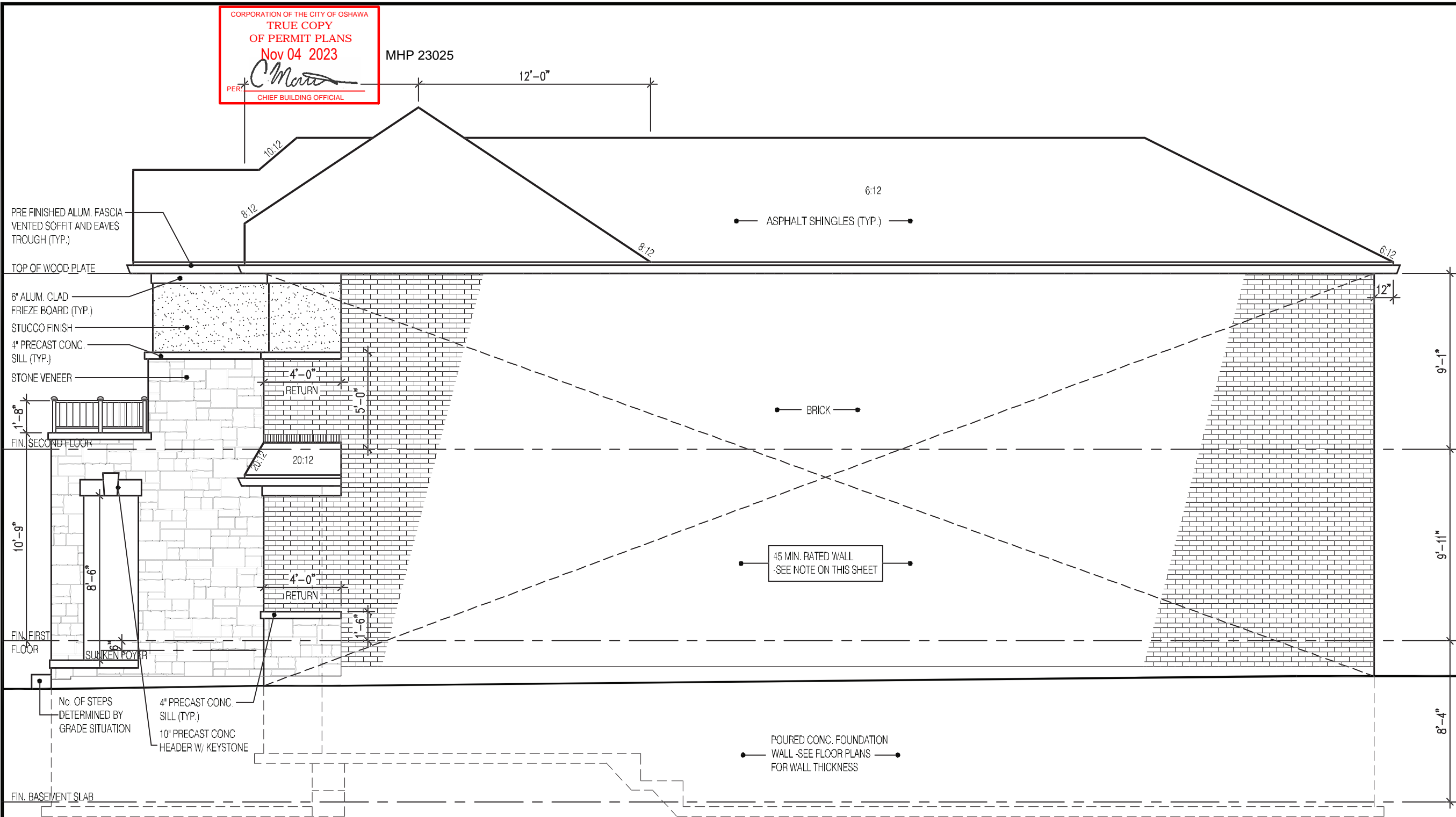
Jardin design group inc. 27763  
 FIRM NAME BCIN

**DECK CONDITION EL 2**  
 ZADORRA ESTATE INC.  
 CITY OF OSHAWA

MODEL: RIVER 6  
 SCALE: 3/16"=1'-0"  
 PROJ. No. 22-16 DWG. No. 6A-1



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 MHP 23025  
 PER *Charr*  
 CHIEF BUILDING OFFICIAL



**RIGHT SIDE ELEVATION 2**

**HEADER/RIM JOIST LEVEL**

(FOR WALLS LESS THAN 1.2m (3'-11") FROM LOT LINE)  
**45 MINUTE FIRE RATED AT HEADER**

PROVIDE 15.9mm (5/8") TYPE 'X' GYPSUM BOARD BETWEEN FLOOR JOIST AT THE HEADER OR CONTINUOUSLY ALONG THE RIM JOIST WHEN FLOOR JOISTS ARE PARALLEL TO RIM JOIST TO MAINTAIN 45 MINUTE FIRE RATING.

(REFER TO SUPPLEMENTARY STANDARD SB-2 2.3.

**BRICK VENEER CONSTRUCTION**

(FOR WALLS LESS THAN 1.2m (3'-11") FROM LOT LINE)  
**45 MINUTE FIRE RATED WALL**

PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH PREFORMED MINERAL FIBRE INSULATION WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS

(REFER TO SUPPLEMENTARY STANDARD SB-2 2.3.5.(2)

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**2610**  
**9.14m LOTS**  
**RIVER 6 (GR)**  
**ELEVATION 2**  
**A1 PACKAGE**  
**O.REG. 332/12**

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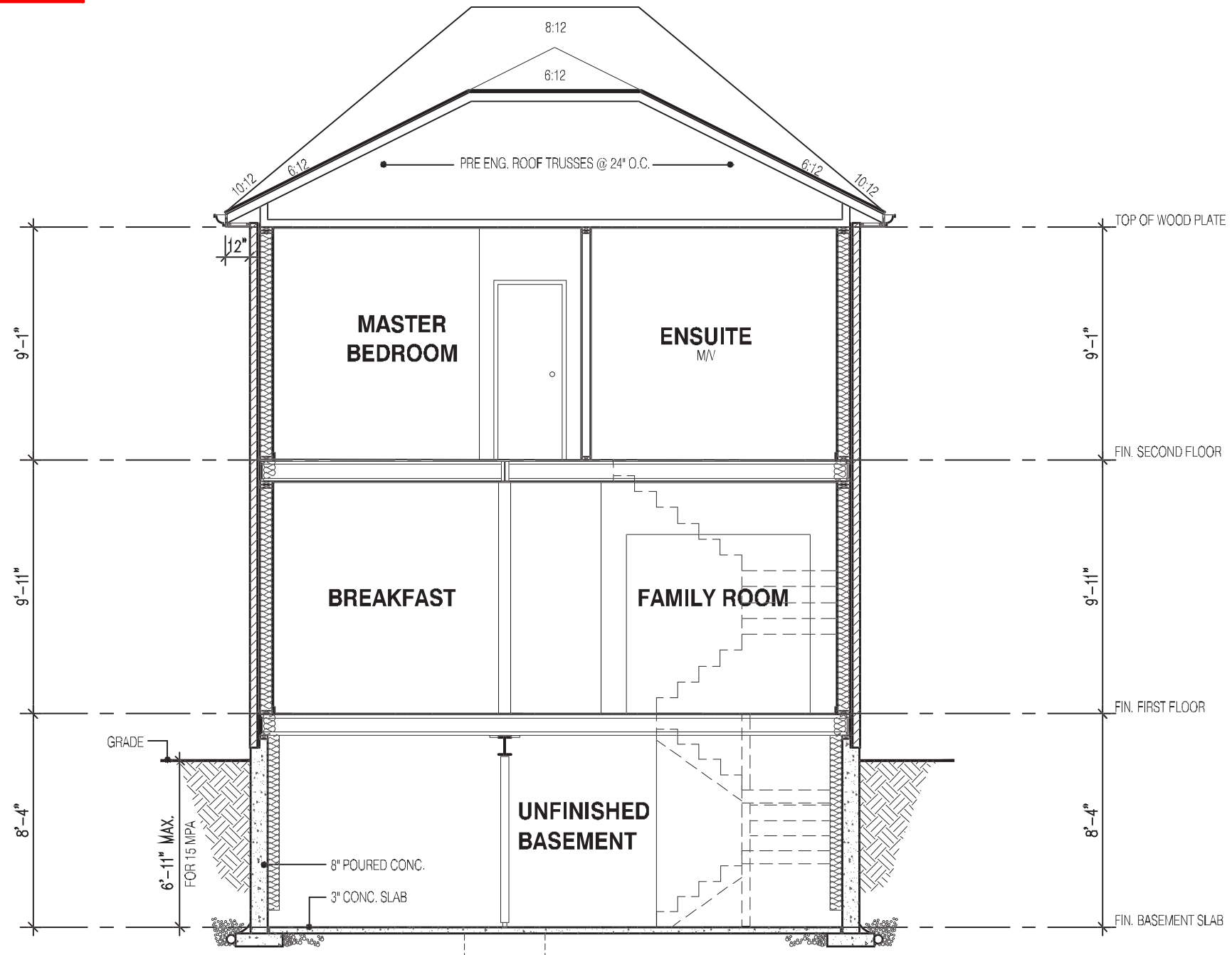
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 FIRM NAME BCIN

**SIDE ELEVATION 2**  
**ZADORRA ESTATE INC.**  
**CITY OF OSHAWA**

**BILD**  
 MODEL: RIVER 6  
 SCALE: 3/16"=1'-0"  
 PROJ. No. 22-16 DWG. No. 7A

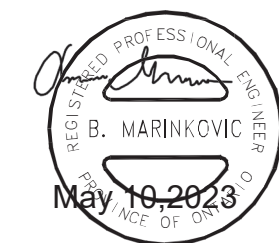
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 CHIEF BUILDING OFFICIAL

MHP 23025



**SECTION A-A  
 ELEVATION 2**

STRUDET INC.



FOR STRUCTURE ONLY

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 FIRM NAME BCIN

**SECTION ELEV-2**  
**ZADORRA ESTATE INC.**  
**CITY OF OSHAWA**

MODEL: RIVER 6  
 SCALE: 3/16"=1'-0"  
 PROJ. No. 22-16  
 DWG. No. 8A