



CORPORATION OF THE CITY OF OSHAWA  
TRUE COPY  
OF PERMIT PLANS  
Nov 04 2023  
PER:   
CHIEF BUILDING OFFICIAL

BUILDING PERMIT COVER PAGE

MHP 23025

Development Services Department  
Building Permit and Inspection Services

BUILDING PERMIT PLANS REVIEW	ACCEPTED AS NOTED	
	REVIEWED BY	DATE
ZONING		
PLANNING		
ARCHITECTURAL	CM	NOV 4, 2023
STRUCTURAL		
FIRE		
PLUMBING	CARD	
MECHANICAL		
PLANS REVIEW COMPLETED	CM	NOV 4, 2023

SOIL CONDITIONS

SOIL CONDITIONS SHALL BE VERIFIED BY A PROFESSIONAL ENGINEER COMPETENT IN THE FIELD OF SOIL ENGINEERING, PRIOR TO PLACING ANY FOUNDATION.

THE PERMIT PLANS HAVE BEEN REVIEWED FOR ONE (1) DWELLING UNIT. ANY FUTURE CHANGES WILL REQUIRE A SEPARATE BUILDING PERMIT

PLUMBING INSTALLATIONS

ALL PLUMBING INSTALLATIONS ARE TO BE DONE BY A PLUMBING CONTRACTOR POSSESSING AN ONTARIO COLLEGE OF TRADES MEMBERSHIP. NO PLUMBING IS TO BE COVERED UNTIL INSPECTED AND APPROVED BY A PLUMBING INSPECTOR. TELEPHONE 905-436-5658 WHEN READY FOR AN INSPECTION AND TESTING.

ALL STANDARDS REFERRED TO IN THESE BUILDING PERMIT DOCUMENTS SHALL BE THE EDITION DESIGNATED IN OBC 2012 AS AMENDED.

FUTURE ALTERATIONS

A SEPARATE BUILDING PERMIT IS REQUIRED FOR ANY PROPOSED INTERIOR PARTITIONS AND/OR ALTERATIONS.

NOTE:

IT IS RECOMMENDED THAT CRUSHED CONCRETE OR SLAG AGGREGATE **NOT** TO BE USED FOR BACKFILL UNDER CONCRETE SLABS, AROUND SEWER LATERALS OR WEEPERS.

RAIN WATER DOWNSPOUTS ARE TO BE DISCHARGED AT GRADE AND NOT CONNECTED TO WEEPING TILES.

COPY OF THE STAMPED/REVIEWED DRAWINGS MUST REMAIN ON SITE DURING CONSTRUCTION.

MHP CERTIFICATION

ALL MARKUPS AND STAMPS APPLIED TO BASE MODEL AND BASE ELEVATION SHALL APPLY AS APPLICABLE TO THE ENTIRE MODEL HOUSE PLAN

AS BUILT SURVEY

UPON COMPLETION OF THE FOUNDATION, A SURVEY PREPARED BY AN ONTARIO LAND SURVEYOR INDICATING THE LOCATION OF THE BUILDING TO ALL PROPERTY LINES IS REQUIRED TO BE SUBMITTED TO THE BUILDING DEPARTMENT

IMPORTANT NOTE

NEITHER THE ISSUANCE OF A PERMIT NOR THE CARRYING OUT OF INSPECTIONS BY THE CITY RELIEVE THE APPLICANT FROM FULL RESPONSIBILITY FOR COMPLIANCE WITH THE PROVISIONS OF THE BUILDING CODE ACT AND THE ONTARIO BUILDING CODE, BOTH AS AMENDED, AS WELL AS OTHER APPLICABLE STATUTES AND REGULATIONS OF THE PROVINCE OF ONTARIO AND ALL RELEVANT BY-LAWS OF THE CITY OF OSHAWA AND THE REGIONAL MUNICIPALITY OF DURHAM.

OBC 9.10.14.5 - CLADDING

CLADDING ON THE EXPOSING BUILDING FACE IS PERMITTED TO BE VINYL WHEN WITHIN 600mm OF PROPERTY LINE, PROVIDED THAT THE VINYL CONFORMS TO OBC DIV. B. 9.27.13. IS INSTALLED OVER SHEATHING PAPER AND 12.7mm DRYWALL, HAS A FLAME SPREAD RATING NOT GREATER THAN 25, AND IS NOT MORE THAN 2mm THICK AND THE ENTIRE EXTERIOR WALL HAS A MINIMUM FIRE RESISTANCE RATING OF ¾ HOURS.

RETURN AIR INLET FROM ANY ROOM

PROVISIONS SHALL BE MADE FOR THE RETURN OF AIR FROM ANY ROOM OR SPACE WITHOUT A RETURN AIR INLET, BY LEAVING GAPS BENEATH DOORS, USING LOUVERED DOORS, OR INSTALLING RETURN AIR DUCT INLETS.

PREFABRICATED WOOD TRUSSES

FABRICATION AND ERECTION DRAWINGS WITH DESIGN DATA, PREPARED AND SEALED BY A PROFESSIONAL ENGINEER, MUST BE AVAILABLE ON SITE FOR REVIEW BY THE BUILDING INSPECTOR

ROOF CEILING INSULATION

ROOF FRAMING OR TRUSS HEEL JOINT MUST PERMIT SUFFICIENT SPACE FOR THE EXTENSION OF THE ROOF-CEILING INSULATION OVER EXTERIOR WALLS MINIMIZE THERMAL BRIDGES. AN UNOBSTRUCTED VENTILATION SPACE MUST BE PROVIDED OVER EXTERIOR WALLS TO ALLOW UNIMPEDED AIR FLOW FORM SOFFIT VENTS TO ROOF VENTS.

ALL ELECTRICAL WIRING MUST BE INSPECTED BY THE ELECTRICAL SAFETY AUTHORITY. SEPARATE INSPECTION APPLICATIONS (PERMITS) MUST BE FILED. WE RECOMMEND YOU USE A QUALIFIED ELECTRICAL CONTRACTOR. FOR MORE INFORMATION PLEASE CALL:



ELECTRICAL SAFETY AUTHORITY

1-877-ESA-SAFE  
OR VISIT  
WWW.ESASAFE.COM

BEDROOM WINDOWS

- (1) EVERY FLOOR LEVEL CONTAINING BEDROOMS IN A *SUITE* SHALL BE PROVIDED WITH AT LEAST 1 OUTSIDE WINDOW THAT CAN BE OPENED FROM THE INSIDE WITHOUT THE USE OF TOOLS, AND EACH SUCH WINDOW SHALL PROVIDE AN INDIVIDUAL, UNOBSTRUCTED OPEN PORTION HAVING A MINIMUM AREA OF 0.35M<sup>2</sup> (3.8 SQ.FT.) WITH NO DIMENSION LESS THAN 380 MM (15 IN).
- (2) EXCEPT FOR *BASEMENT* AREAS, THE WINDOW DESCRIBED IN SENTENCE (1) SHALL HAVE A MAXIMUM SILL HEIGHT OF 1M (3 FT 3 IN) ABOVE THE FLOOR.
- (3) WHEN SLIDING WINDOWS ARE USED, THE MINIMUM DIMENSION DESCRIBED IN SENTENCE (1) SHALL APPLY TO THE OPENABLE PORTION OF THE WINDOW.

ATTIC HATCHES SHALL NOT BE LESS THAN 550mm (21 5/8") BY 900mm (35")

OBC 9.26.4.1.

FLASHING REQUIRED AT ALL ROOF-WALL JUNCTIONS

INTERIOR FINISH OF EXITS

THE FLAME SPREAD RATING OF WALL OR CEILING FINISH IN AN EXIT MUST NOT EXCEED 25.

INTERIOR FINISH (EXCEPT EXITS)

FLAME SPREAD RATING OF INTERIOR FINISH MATERIALS SHALL NOT EXCEED 150 ON WALLS AND 150 ON CEILINGS. COMBUSTIBLE WALL AND CEILING FINISHES SUCH AS WOOD, PLYWOOD, PLASTIC, FABRIC, CARPET, ETC. MUST BE APPROVED BY THE INSPECTOR PRIOR TO THE INSTALLATION.

DIV.B. 9.10.14.1 EXPOSING BUILDING FACE OF HOUSES

UNPROTECTED OPENINGS IN THE EXPOSING BUILDING FACE SHALL NOT BE PERMITTED IF THE LIMITING DISTANCE IS LESS THAN 1.2m (3'11") AND SHALL BE LIMITED IN CONFORMANCE WITH THE REQUIREMENTS FOR UNPROTECTED OPENINGS IN DIV. B ARTICLE 9.10.15.1. WHERE THE LIMITING DISTANCE IS 1.2m (3'11") OR GREATER.

THE EXPOSING BUILDING FACE SHALL HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 45 MINUTES WHERE THE LIMITING DISTANCE IS LESS THAN 1.2m.

RESISTANCE TO FORCED ENTRY  
2012 O.B.C. DIV B. 9.7.5.2. & 9.7.5.3.

1. SWINGING DOORS PROVIDING ACCESS TO DWELLING UNITS SHALL SATISFY THE REQUIREMENTS FOR RESISTANCE TO FORCED ENTRY AS DESCRIBED IN SUBSECTION 9.7.5.2.
2. WINDOWS IN DWELLING UNITS THAT ARE LOCATED WITHIN 2M OF ADJACENT GROUND LEVEL SHALL CONFORM TO THE REQUIREMENTS FOR RESISTANCE TO FORCED ENTRY AS DESCRIBED IN CLAUSE 5.3.5.OF AAMA/WDMA/CSA 101/1.S.2/A440.

A return air inlet shall be located in any room where at least 1/2 of the floor area is located over an unconditioned space (e.g. room over a garage)

2012 Code

9.8.8.1.(8)(a)(b) Windows over Stairs, Ramps and Landings

- (2) In *dwelling units*, glazing installed over stairs, ramps and landings that extend to less than 900 mm (2 ft 11 in) above the surface to the treads, ramp or landing shall be,
- (a) protected by *guards*, in accordance with this Subsection, or
- (b) non-openable and designed to withstand the specified lateral loads for *guards* as provided in Article 4.1.5.14.

2012 OBC DIV. B, 9.8.2.1. to 9.8.4.7. STAIR DIMENSIONS						
STAIR TYPE	MAX. RISE, mm, ALL STEPS	MIN. RISE, mm, ALL STEPS	MAX. RUN, mm RECTANGULAR TREADS	MIN. RUN, mm RECTANGULAR TREADS	STAIR WIDTH, mm	HEADROOM, mm
PRIVATE STAIRS	200	125	355	255	860	1950
PUBLIC STAIRS	180	125	NO LIMIT	280	900	2050
SERVICE STAIRS	NO LIMIT	125	355	NO LIMIT	900	2050
STAIR TO UNOCCUPIED ATTIC SPACE	NO LIMIT	125	355	NO LIMIT	860	1950
STAIRS TO CRAWL SPACE	NO LIMIT	125	355	NO LIMIT	860	1950
STAIRS THAT SERVE MEZZANINES NOT EXCEEDING 20 m <sup>2</sup> WITHIN LIVE/WORK UNITS	NO LIMIT	125	355	NO LIMIT	WIDTH AS PER DIV B 9.8.2.1.(3)	2050
<b>NOTE:</b> THE CURVED EDGES OF TREADS SHALL NOT REDUCE THE REQUIRED TREAD DEPTH BY MORE THAN 15mm AND SHALL NOT EXCEED 25mm HORIZONTALLY.						

STRUCTURAL ALTERATIONS

ALL STRUCTURAL ALTERATIONS MUST BE FIELD REVIEWED BY A PROFESSIONAL ENGINEER IF REQUIRED BY THE BUILDING INSPECTOR

FINISHED SITE GRADING


THE BUILDING SHALL BE LOCATED AND THE BUILDING SITE GRADED SO THAT WATER WILL NOT ACCUMULATE AT OR NEAR THE BUILDING AND WILL NOT ADVERSELY AFFECT ANY ADJACENT PROPERTIES.

A CURSORY REVIEW OF THE STRUCTURAL ELEMENTS HAS BEEN COMPLETED AND IS RELIANT ON ENGINEER'S CERTIFICATION OF DRAWINGS.

9.5.2.3. STUD WALL REINFORCEMENT

- (1) IF WOOD WALL STUDS OR SHEET STEEL WALL STUDS ENCLOSE THE MAIN BATHROOM IN A DWELLING UNIT, REINFORCEMENT SHALL BE INSTALLED TO PERMIT THE FUTURE INSTALLATION OF A GRAB BAR ON A WALL ADJACENT TO,
- (a) A WATER CLOSET IN THE LOCATION REQUIRED BY CLAUSE 3.8.3.8.(1)(d), AND
- (b) A SHOWER OR BATHTUB IN THE LOCATION BY CLAUSE 3.8.3.13.(1)(f).

(SEE APPENDIX A.)

CORPORATION OF THE CITY OF OSHAWA TRUE COPY OF PERMIT PLANS NOV 04 2023 MHP 23025 PER:  CHIEF BUILDING OFFICIAL	
<b>STRIP FOOTINGS FOR SINGLES AND SEMIS UP TO 2 STOREY</b>	
120 KPa NATIVE SOIL 20"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS. 24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.	90 KPa ENGINEERED FILL SOIL 24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW FOUNDATION WALLS. 30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW PARTY WALLS.
100 KPa NATIVE SOIL 22"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS. 28"x10" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS OR 28"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW PARTY WALLS	GENERAL NOTE : ASSUMED 120/100 KPa NATIVE SOIL BEARING CAPACITY OR 90 KPa FOR ENGINEERED FILL. TO BE VERIFIED ON SITE. REFER TO ENGINEERED FILL FOOTING DETAIL FOR REINFORCEMENT.  (REFER TO ENG. FILL FOOTING DETAIL)

<b>AREA CALCULATIONS EL-1</b>	
FIRST FLOOR AREA	= 1179 Sq. Ft.
SECOND FLOOR AREA	= 1417 Sq. Ft.
TOTAL FLOOR AREA	= 2596 Sq. Ft.
ADD OPEN AREAS	= 14 Sq. Ft.
ADD FIN. BASEMENT AREA	= 0 Sq. Ft.
GROSS FLOOR AREA	= 2610 Sq. Ft.
GROUND FLOOR COVERAGE	= 1179 Sq. Ft.
GARAGE COVERAGE / AREA	= 220 Sq. Ft.
PORCH COVERAGE / AREA	= 77 Sq. Ft.
COVERAGE W/ PORCH	= 1476 Sq. Ft.
	= 137.12 Sq. m.
COVERAGE W/O PORCH	= 1399 Sq. Ft.
	= 129.97 Sq. m.

<b>AREA CALCULATIONS EL-2</b>	
FIRST FLOOR AREA	= 1189 Sq. Ft.
SECOND FLOOR AREA	= 1412 Sq. Ft.
TOTAL FLOOR AREA	= 2601 Sq. Ft.
ADD OPEN AREAS	= 14 Sq. Ft.
ADD FIN. BASEMENT AREA	= 0 Sq. Ft.
GROSS FLOOR AREA	= 2615 Sq. Ft.
GROUND FLOOR COVERAGE	= 1189 Sq. Ft.
GARAGE COVERAGE / AREA	= 220 Sq. Ft.
PORCH COVERAGE / AREA	= 47 Sq. Ft.
COVERAGE W/ PORCH	= 1456 Sq. Ft.
	= 135.27 Sq. m.
COVERAGE W/O PORCH	= 1409 Sq. Ft.
	= 130.90 Sq. m.

<b>AREA CALCULATIONS EL-3</b>	
FIRST FLOOR AREA	= 1189 Sq. Ft.
SECOND FLOOR AREA	= 1412 Sq. Ft.
TOTAL FLOOR AREA	= 2601 Sq. Ft.
ADD OPEN AREAS	= 14 Sq. Ft.
ADD FIN. BASEMENT AREA	= 0 Sq. Ft.
GROSS FLOOR AREA	= 2615 Sq. Ft.
GROUND FLOOR COVERAGE	= 1189 Sq. Ft.
GARAGE COVERAGE / AREA	= 220 Sq. Ft.
PORCH COVERAGE / AREA	= 47 Sq. Ft.
COVERAGE W/ PORCH	= 1456 Sq. Ft.
	= 135.27 Sq. m.
COVERAGE W/O PORCH	= 1409 Sq. Ft.
	= 130.90 Sq. m.

<b>PAD FOOTING</b>		
120 KPa NATIVE SOIL	90 KPa ENGINEERED FILL SOIL	100 KPa NATIVE SOIL
F1 = 42"x42"x18" CONCRETE PAD	F1 = 48"x48"x20" CONCRETE PAD	F1 = 48"x46"x20" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD	F2 = 40"x40"x16" CONCRETE PAD	F2 = 38"x38"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD	F3 = 34"x34"x14" CONCRETE PAD	F3 = 32"x32"x14" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD	F4 = 28"x28"x12" CONCRETE PAD	F4 = 28"x26"x12" CONCRETE PAD
F5 = 16"x16"x8" CONCRETE PAD	F5 = 18"x18"x8" CONCRETE PAD	F5 = 17"x17"x8" CONCRETE PAD
(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)		

**NOTE:**  
WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC. FOUNDATION WALL IS REQUIRED.

**NOTE:**  
ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa  
WITH 5-8% AIR ENTRAINMENT.

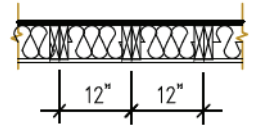
<b>BRICK VENEER LINTELS:</b>	
WL1 = 3 1/2" x 3 1/2" x 1 1/4" (90x90x6) + 2-2" x 8" SPR.	WL6 = 5' x 3 1/2" x 5 1/6" (125x90x8) + 2-2" x 12" SPR.
WL2 = 4' x 3 1/2" x 5 1/6" (100x90x8) + 2-2" x 8" SPR.	WL7 = 5' x 3 1/2" x 5 1/6" (125x90x8) + 3-2" x 10" SPR.
WL3 = 5' x 3 1/2" x 5 1/6" (125x90x8) + 2-2" x 10" SPR.	WL8 = 5' x 3 1/2" x 5 1/6" (125x90x8) + 3-2" x 12" SPR.
WL4 = 6' x 3 1/2" x 3 3/8" (150x90x10) + 2-2" x 12" SPR.	WL9 = 6' x 4' x 3 3/8" (150x100x10) + 3-2" x 12" SPR.
WL5 = 6' x 4' x 3 3/8" (150x100x10) + 2-2" x 12" SPR.	

<b>WOOD LINTELS:</b>	
WB1 = 2-2" x 8" SPRUCE BEAM	WB6 = 3-2" x 12" SPRUCE BEAM
WB2 = 3-2" x 8" SPRUCE BEAM	WB7 = 5-2" x 12" SPRUCE BEAM
WB3 = 2-2" x 10" SPRUCE BEAM	WB10 = 4-2" x 8" SPRUCE BEAM
WB4 = 3-2" x 10" SPRUCE BEAM	WB11 = 4-2" x 10" SPRUCE BEAM
WB5 = 2-2" x 12" SPRUCE BEAM	

<b>STEEL LINTELS:</b>	
L1 = 3 1/2" x 3 1/2" x 1 1/4" (90 x 90 x 6)	L4 = 6' x 3 1/2" x 3 3/8" (150 x 90 x 10)
L2 = 4' x 3 1/2" x 5 1/6" (100 x 90 x 8)	L5 = 6' x 4' x 3 3/8" (150 x 100 x 10)
L3 = 5' x 3 1/2" x 5 1/6" (125 x 90 x 8)	L6 = 7' x 4' x 3 3/8" (180 x 100 x 10)

<b>LAMINATED VENEER LUMBER (LVL BEAMS)</b>	
LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)	LVL7A = 4-1 3/4" x 11 7/8" (4-45x300)
LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)	LVL8 = 2-1 3/4" x 14" (2-45x356)
LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)	LVL9 = 3-1 3/4" x 14" (3-45x356)
LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)	
LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)	
LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)	
LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)	
LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)	
LVL6A = 1-1 3/4" x 11 7/8" (1-45x300)	
LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)	
LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)	

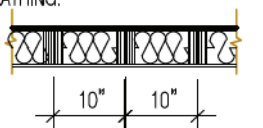
2-2"x6" STUD WALL NAILED TOGETHER AND SPACED @12" O.C.  
FULL HT C/W SOLID BLOCKING 4'0" O.C. VERTICAL AND 7/16"  
EXT. PLYWOOD SHEATHING.



MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 18'-0" AND  
MAXIMUM SUPPORTED LENGTH OF TRUSS IS 40'-0"

**TWO STOREY HEIGHT WALL DETAIL**

2 - 1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E STUD WALL GLUED  
AND NAILED TOGETHER AND SPACED MAX. @10" O.C. FULL HT  
C/W SOLID BLOCKING MAX. 8'-0" O.C. VERTICAL AND 7/16" EXT.  
OSB SHEATHING.



MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 20'-2" AND  
MAXIMUM SUPPORTED LENGTH OF TRUSS IS 40'-0"

**TWO STOREY HEIGHT WALL DETAIL**

**NOTE:**  
THESE DRAWINGS ARE TO BE READ IN  
CONJUNCTION WITH ENGINEER APPROVED ROOF  
TRUSS DRAWINGS BY MANUFACTURER.

**NOTE:**  
SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C.  
BELOW ALL CERAMIC TILE AREAS, PROVIDE 1 ROW  
BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS  
GREATER THAN 7'

**NOTE:**  
THESE DRAWINGS ARE TO BE READ IN  
CONJUNCTION WITH ENGINEER APPROVED  
FLOOR TRUSS LAYOUT BY MANUFACTURER.

**NOTE:**  
PLANS NOT DRAWN TO ACTUAL GRADE.  
REFER TO FINAL GRADING PLAN.

**Door Schedule**


NO.	WIDTH	HEIGHT 8' TO 9' CEILINGS	HEIGHT 10' OR MORE CEILINGS	TYPE
1	2'-10"	6'-8" (865x2033)	8'-0" (865x2439)	INSULATED ENTRANCE DOOR
1a	2'-8"	6'-8" (815x2033)	8'-0" (815x2439)	INSULATED FRONT DOORS
2	2'-8"	6'-8" (815x2033)	8'-0" (815x2439)	WOOD & GLASS DOOR
3	2'-8"	6'-8" x 1-3/4" (815x2033x45)	8'-0" x 1-3/4" (815x2439x45)	EXTERIOR SLAB DOOR
4	2'-8"	6'-8" x 1-3/8" (815x2033x35)	8'-0" x 1-3/8" (815x2439x35)	INTERIOR SLAB DOOR
5	2'-6"	6'-8" x 1-3/8" (760x2033x35)	8'-0" x 1-3/8" (760x2439x35)	INTERIOR SLAB DOOR
6	2'-2"	6'-8" x 1-3/8" (660x2033x35)	8'-0" x 1-3/8" (660x2439x35)	INTERIOR SLAB DOOR
7	1'-6"	6'-8" x 1-3/8" (460x2033x35)	8'-0" x 1-3/8" (460x2439x35)	INTERIOR SLAB DOOR
8	3'-0"	6'-8" x 1-3/8" (915x2033x35)	8'-0" x 1-3/8" (915x2439x35)	INTERIOR SLAB DOOR

RIVER 6 ELEV.-1 ENERGY EFFICIENCY- A1 PACKAGE			
ELEVATION	WALL FT²	OPENING FT²	PERCENTAGE
FRONT	518.36	93.34	18.01 %
LEFT SIDE	1327.90	99.00	7.46 %
RIGHT SIDE	1317.39	0.00	0.00 %
REAR	494.73	116.61	23.57 %
TOTAL	3658.38	308.95	8.44 %

RIVER 6 ELEV.-2 ENERGY EFFICIENCY- A1 PACKAGE			
ELEVATION	WALL FT²	OPENING FT²	PERCENTAGE
FRONT	521.13	94.24	18.08 %
LEFT SIDE	1327.90	99.00	7.46 %
RIGHT SIDE	1317.39	0.00	0.00 %
REAR	494.73	116.61	23.57 %
TOTAL	3661.15	309.85	8.46 %

RIVER 6 ELEV.-3 ENERGY EFFICIENCY- A1 PACKAGE			
ELEVATION	WALL FT²	OPENING FT²	PERCENTAGE
FRONT	508.96	93.27	18.33 %
LEFT SIDE	1338.61	99.00	7.40 %
RIGHT SIDE	1333.47	0.00	0.00 %
REAR	494.76	116.61	23.57 %
TOTAL	3675.80	308.88	8.40 %

STRUDET INC.



FOR STRUCTURE ONLY

It is the builder's complete responsibility to  
ensure that all plans submitted for approval  
fully comply with the Architectural Guidelines  
and all applicable regulations and requirements  
including zoning provisions and any provisions  
in the subdivision agreement. The Control  
Architect is not responsible in any way for  
examining or approving site (lotting) plans or  
working drawings with respect to any zoning or  
building code or permit matter or that any  
house can be properly built or located on its lot.

This is to certify that these plans comply  
with the applicable Architectural Design  
Guidelines approved by the City of  
Oshawa

2610

9.14m LOTS

RIVER 6 (GR)  
ELEVATION 1,2 & 3

A1 PACKAGE

O.REG. 332/12

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND  
CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION.  
ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP  
INC. PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY  
OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON  
THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE  
ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE  
ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.

AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING  
FOOTINGS.

JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT  
GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY  
FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO  
CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT  
DOCUMENTS.

THIS DRAWING IS AN INSTRUMENT OF SERVICE. IS PROVIDED BY AND IS  
THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT  
TO BE SCALED.

7		
6		
5		
4		
3	MAY 9, 2023	ISSUED TO CLIENT FOR PERMIT
2	MAY 3, 2023	COORDINATED FLOOR, ROOF AND ENGINEER COMMENTS
1	FEB. 14, 2023	INTRODUCED FROM JOB 21-35 MODEL GARDEN 4

No: DATE: WORK DESCRIPTION:

jardin  
DESIGN GROUP INC

64 JARDIN DR. SUITE 3A  
VAUGHAN ONT, L4K 3P3  
TEL: 905 660-3377 FAX: 905 660-3713  
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility  
for this design and has the qualifications and meets the  
requirements set out in the Ontario Building Code to be  
a designer

QUALIFICATION INFORMATION  
Required unless design is exempt under Division C, Subsection  
3.2.5 of the building code.

Walter Botter 21031  
NAME SIGNATURE BCIN

REGISTRATION INFORMATION  
Required unless design is exempt under Division C, Subsection  
3.2.4 of the building code

Jardin design group inc. 27763  
FIRM NAME BCIN

TITLE SHEET

ZADORRA ESTATE INC.  
CITY OF OSHAWA



MODEL:  
RIVER 6

SCALE:  
3/16"=1'-0"

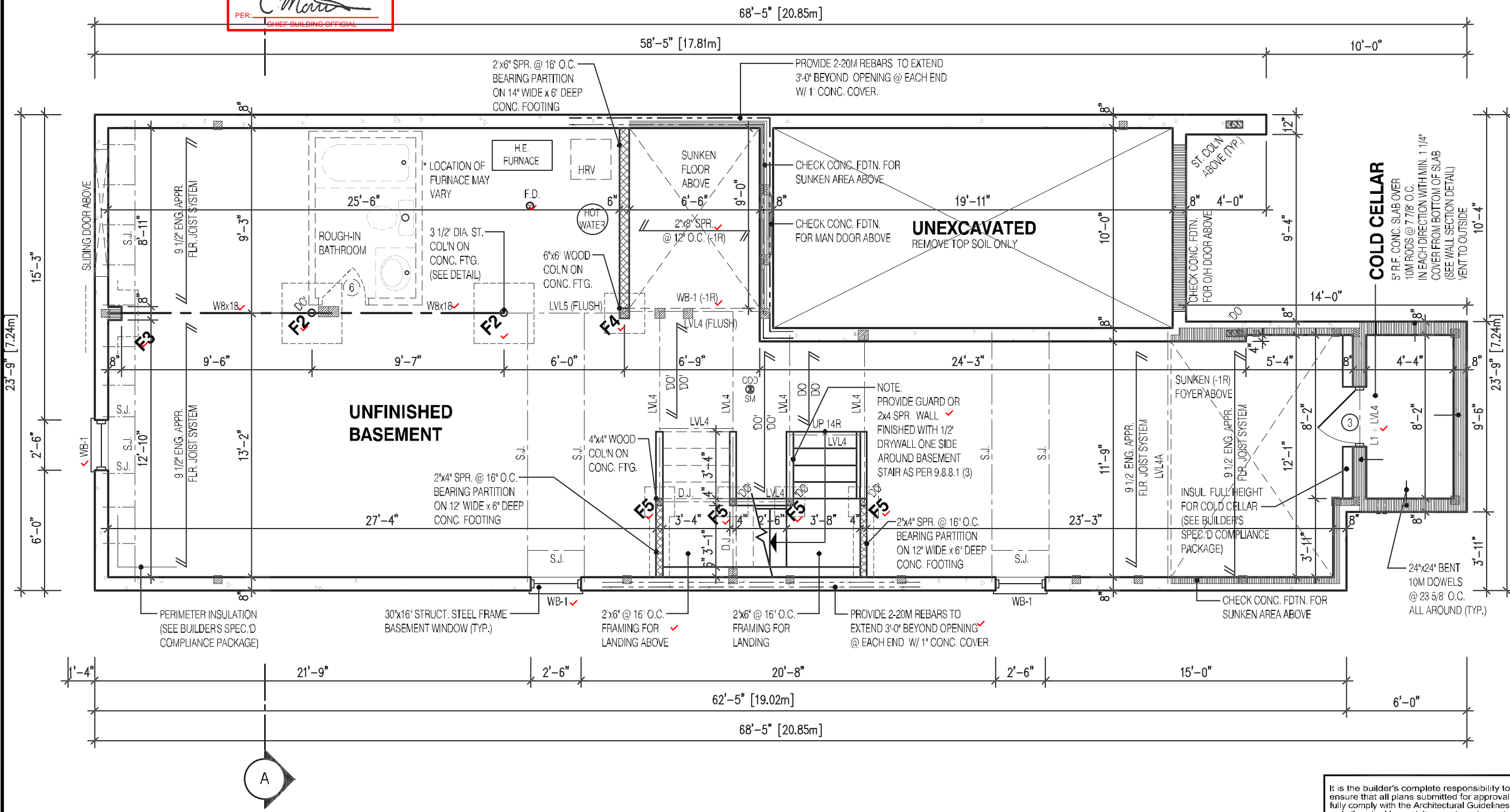
PROJ. No.  
22-16

DWG. No.  
0



CORPORATION OF THE CITY OF OSHAWA  
TRUE COPY  
OF PERMIT PLANS  
Nov 04 2023  
PER: *C. M...*  
CHIEF BUILDING OFFICIAL

MHP 23025



**NOTE:**  
REFER TO SHEET NO. 0-1 FOR LINTEL, BEAMS AND DOOR SIZE

**NOTE:**  
SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7"; 2 ROWS FOR SPANS GREATER THAN 7'

**NOTE:**  
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS LAYOUT BY MANUFACTURER.

**NOTE:**  
SUBFLOOR TO BE 3/4" PLYWOOD ON THIS LEVEL

**NOTE:**  
ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL

**LEGEND:**

- BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D)
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- STL. PLATE FOR STEEL COLN ABOVE LAMINATED VENEER LUMBER
- LVL SINGLE JOIST
- D.J. DOUBLE JOIST
- T.J. TRIPLE JOIST
- REPEAT NOTE
- SHOWER WEEPERS

STRUDET INC.

REGISTERED PROFESSIONAL ENGINEER  
B. MARINKOVIC  
May 10, 2023  
PROV. OF ONTARIO

FOR STRUCTURE ONLY

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JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW AND APPROVAL

APPROVED BY: *[Signature]*  
DATE: JUL 31, 2023

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

2610

9.14m LOTS

RIVER 6 (GR)

ELEVATION 3

A1 PACKAGE

O.REG. 332/12

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7		
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3	MAY 9, 2023	ISSUED TO CLIENT FOR PERMIT
2	MAY 3, 2023	COORDINATED FLOOR, ROOF AND ENGINEER COMMENTS
1	FEB. 14, 2023	INTRODUCED FROM JOB 21-35 MODEL GARDEN 4

No:      DATE:      WORK DESCRIPTION:

jardin

DESIGN GROUP INC

64 JARDIN DR. SUITE 3A  
VAUGHAN ONT. L4K 3P3  
TEL: 905 660-3377 FAX: 905 660-3713  
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION  
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Walter Botter *[Signature]* 21031  
NAME SIGNATURE BCIN

REGISTRATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

jardin design group inc. 27763  
FIRM NAME BCIN

BASEMENT PLAN EL-3

ZADORRA ESTATE INC.  
CITY OF OSHAWA

MODEL:  
RIVER 6

SCALE:  
3/16" = 1'-0"

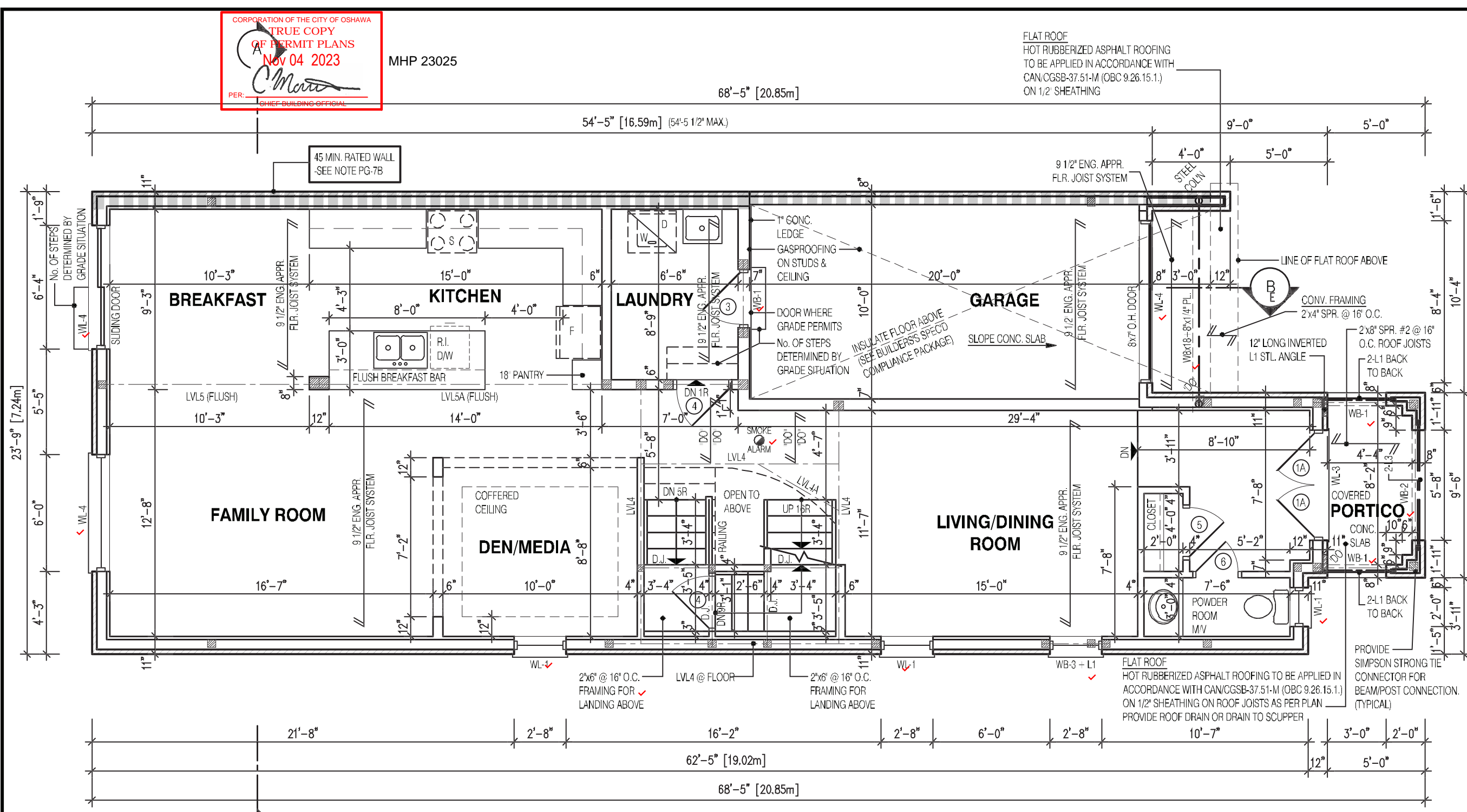
PROJ. No.  
22-16

DWG. No.  
1B

CORPORATION OF THE CITY OF OSHAWA  
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PER: *C. M...*  
CHIEF BUILDING OFFICIAL

MHP 23025

FLAT ROOF  
HOT RUBBERIZED ASPHALT ROOFING  
TO BE APPLIED IN ACCORDANCE WITH  
CAN/CGSB-37.51-M (OBC 9.26.15.1.)  
ON 1/2" SHEATHING



2610  
9.14m LOTS  
RIVER 6 (GR)  
ELEVATION 3  
A1 PACKAGE  
O.REG. 332/12

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VAUGHAN ONT. L4K 3P3  
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Walter Botter *Walter Botter* 21031  
NAME SIGNATURE BCIN

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jardin design group inc. 27763  
FIRM NAME BCIN

FIRST FLOOR PLAN EL-3

ZADORRA ESTATE INC.  
CITY OF OSHAWA

MODEL: RIVER 6  
SCALE: 3/16"=1'-0"  
PROJ. No. 22-16 DWG. No. 2B

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LVL LAMINATED VENEER LUMBER  
S.J. SINGLE JOIST  
D.J. DOUBLE JOIST  
T.J. TRIPLE JOIST  
○ REPEAT NOTE  
○ SHOWER WEEPERS

STRUDET INC.  
*B. MARINKOVIC*  
REGISTERED PROFESSIONAL ENGINEER  
DIVISION OF ONTARIO  
May 10, 2023  
FOR STRUCTURE ONLY

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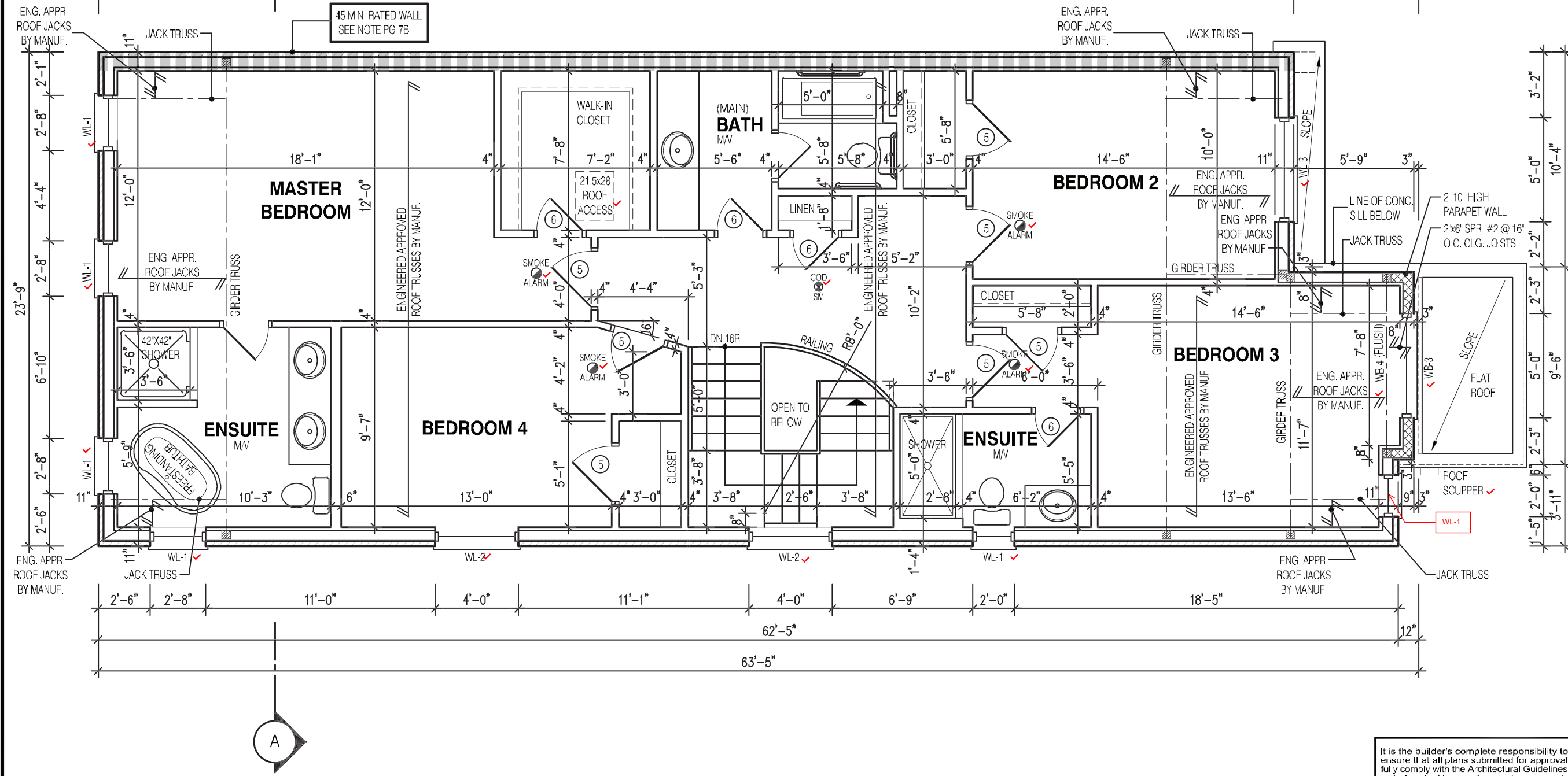
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ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL  
APPROVED BY: *[Signature]*  
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CORPORATION OF THE CITY OF OSHAWA  
TRUE COPY  
OF PERMIT PLANS  
Nov 04 2023  
PER: *Chief Building Official*  
CHIEF BUILDING OFFICIAL

MHP 23025



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2610

9.14m LOTS

RIVER 6 (GR)

ELEVATION 3

A1 PACKAGE

O.REG. 332/12

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1	FEB. 14, 2023	INTRODUCED FROM JOB 21-35 MODEL GARDEN 4

No:      DATE:      WORK DESCRIPTION:

jardin

DESIGN GROUP INC

64 JARDIN DR. SUITE 3A  
VAUGHAN ONT. L4K 3P3  
TEL: 905 660-3377 FAX: 905 660-3713  
EMAIL: info@jardindesign.ca

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Walter Botter *[Signature]* 21031  
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jardin design group inc. 27763  
FIRM NAME BCIN

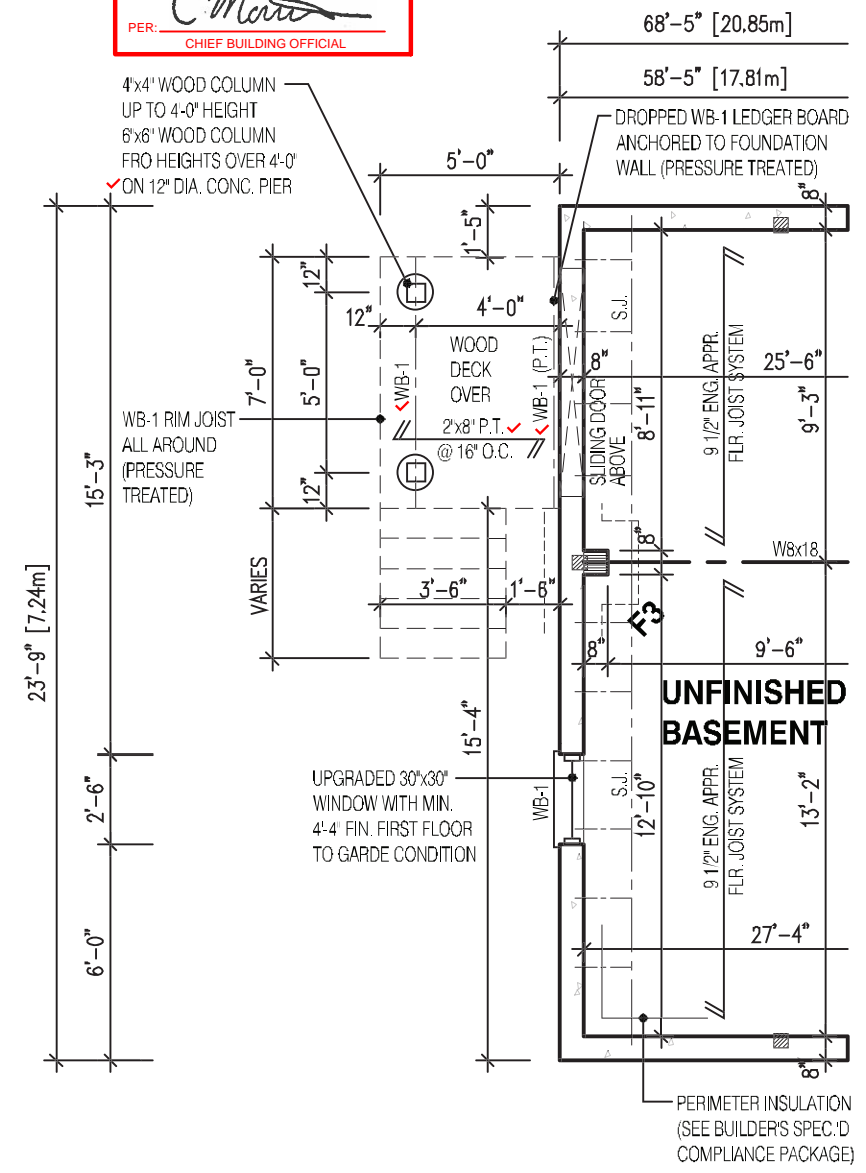
SEC. FLOOR PLAN EL-3

ZADORRA ESTATE INC.  
CITY OF OSHAWA

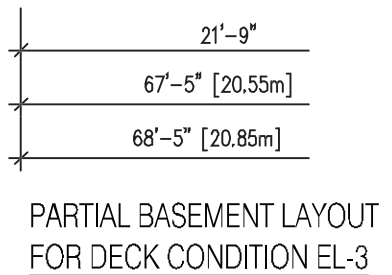
MODEL:  
RIVER 6  
SCALE:  
3/16" = 1'-0"  
PROJ. No.  
22-16  
DWG. No.  
3B

CORPORATION OF THE CITY OF OSHAWA  
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PER:   
CHIEF BUILDING OFFICIAL

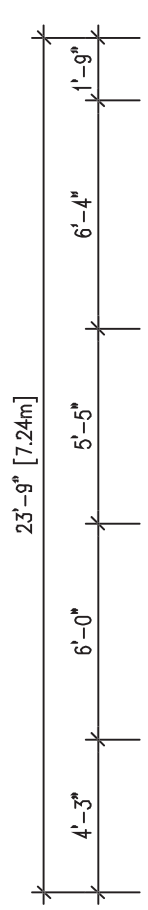
MHP 23025



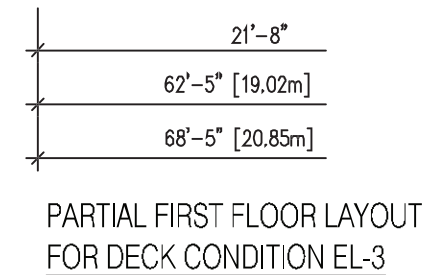
NOTE:  
SUBFLOOR TO BE 3/4" PLYWOOD ON THIS LEVEL  
ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL



PARTIAL BASEMENT LAYOUT FOR DECK CONDITION EL-3




NOTE:  
SUBFLOOR TO BE 5/8" PLYWOOD ON THIS LEVEL  
ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL



PARTIAL FIRST FLOOR LAYOUT FOR DECK CONDITION EL-3

- LEGEND:**
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STRUDET INC.  
  
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JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL  
APPROVED BY:   
DATE: JUL 31, 2023  
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2610

9.14m LOTS

RIVER 6 (GR)

ELEVATION 3

A1 PACKAGE

O.REG. 332/12

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1	FEB. 14, 2023	INTRODUCED FROM JOB 21-35 MODEL GARDEN 4

No:      DATE:      WORK DESCRIPTION:


jardin

DESIGN GROUP INC

64 JARDIN DR. SUITE 3A  
VAUGHAN ONT. L4K 3P3  
TEL: 905 660-3377 FAX: 905 660-3713  
EMAIL: info@jardindesign.ca

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Walter Botter  21031  
NAME      SIGNATURE      BCIN

REGISTRATION INFORMATION  
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jardin design group inc. 27763  
FIRM NAME      BCIN

DECK CONDITION EL-3

ZADORRA ESTATE INC.  
CITY OF OSHAWA



MODEL:  
RIVER 6

SCALE:  
3/16" = 1'-0"

PROJ. No.  
22-16

DWG. No.  
3B-1

**NOTE:**  
WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC. FOUNDATION WALL IS REQUIRED. (FOUNDATION PLAN TO BE REVIEWED IN CONJUNCTION WITH SITE PLAN)

**NOTE:**  
REFER TO SHEET NO. 0 - FOR UNTEL, BEAMS AND DOOR SIZE

**NOTE:**  
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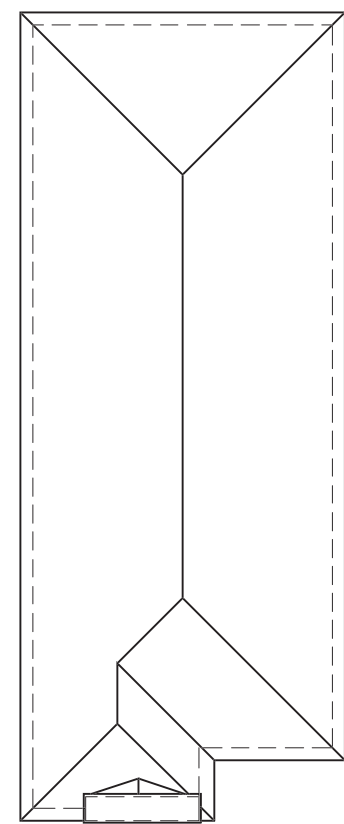
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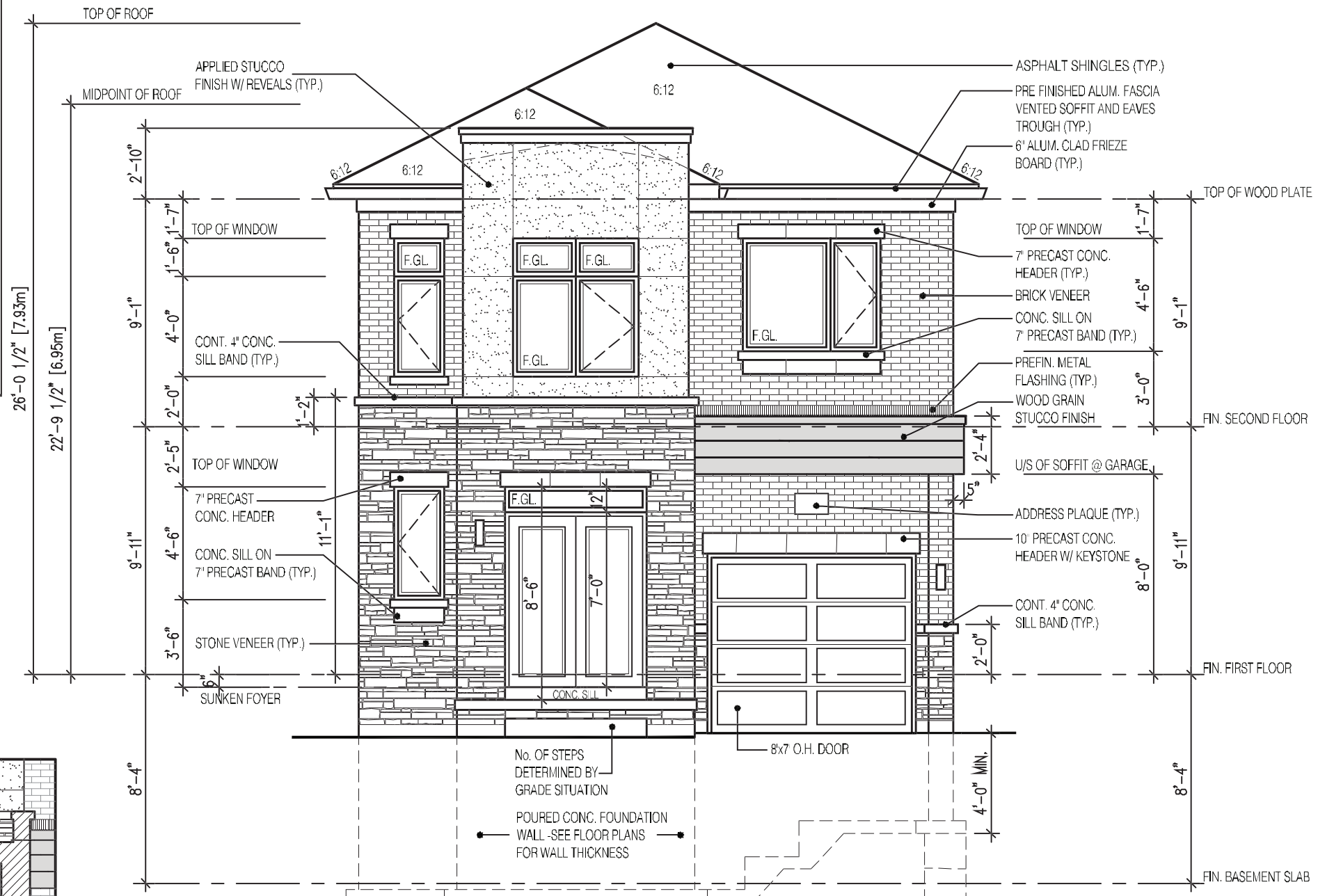
CORPORATION OF THE CITY OF OSHAWA  
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CHIEF BUILDING OFFICIAL

MHP 23025



ROOF PLAN

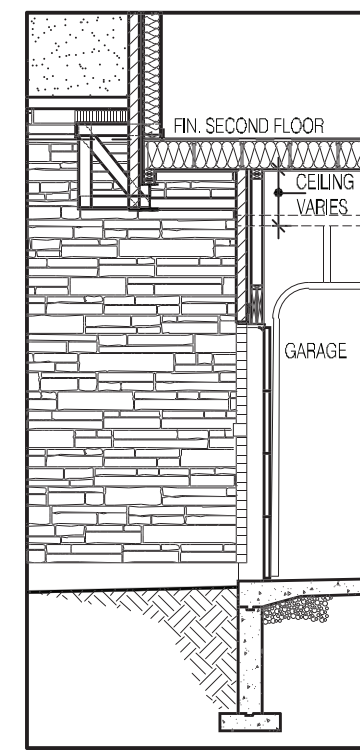
N.T.S.



FRONT ELEVATION 3



PORTICO INTERIOR  
ELEVATION 3



SECTION - B

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ARCHITECTURAL CONTROL REVIEW  
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2610  
9.14m LOTS  
RIVER 6 (GR)  
ELEVATION 3  
A1 PACKAGE  
O.REG. 332/12

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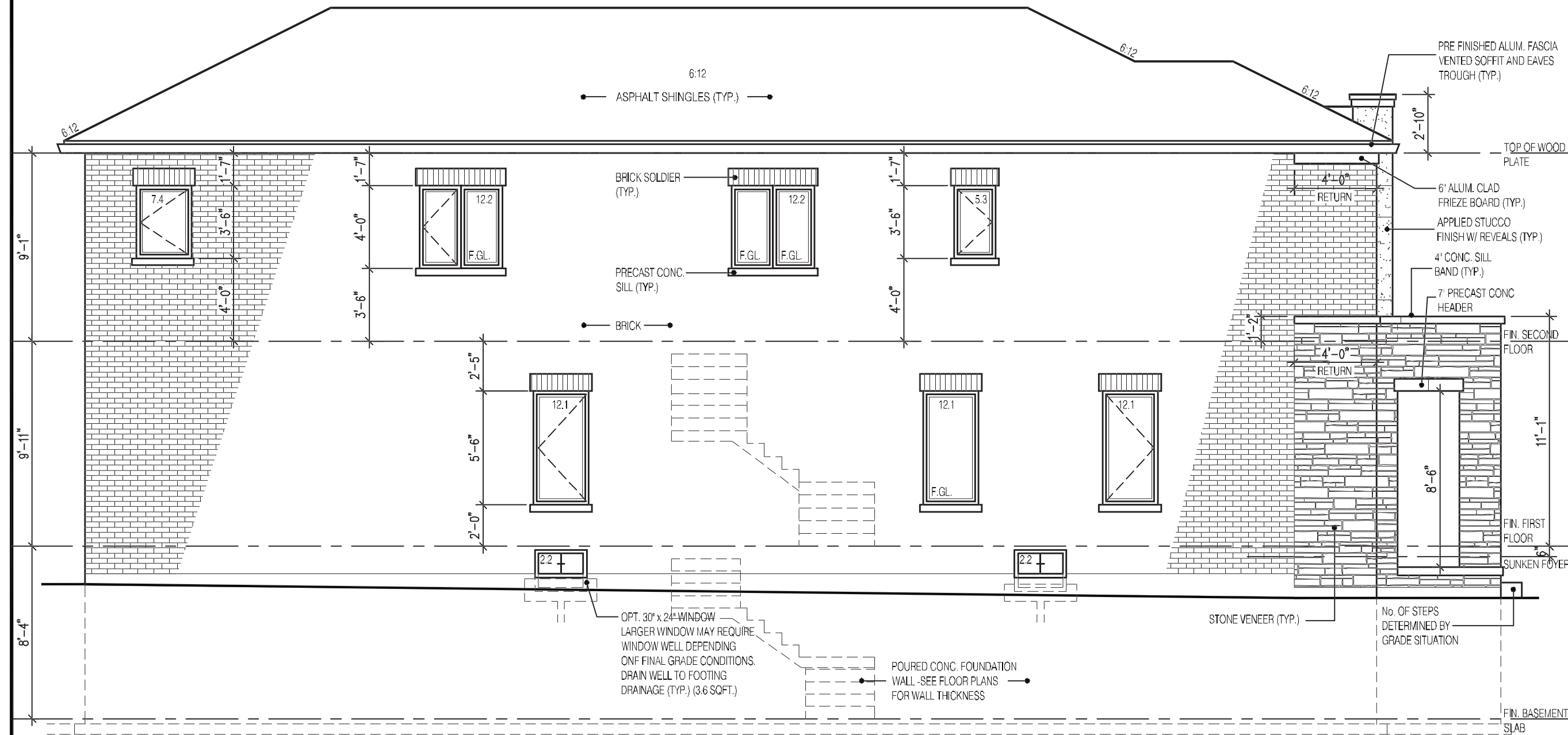
**jardin**  
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NAME SIGNATURE BCIN  
REGISTRATION INFORMATION  
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jardin design group inc. 27763  
FIRM NAME BCIN

FRONT ELEVATION 2  
ZADORRA ESTATE INC.  
CITY OF OSHAWA

MODEL: RIVER 6  
SCALE: 3/16" = 1'-0"  
PROJ. No. 22-16 DWG. No. 4B



## LEFT SIDE ELEVATION 3

### UNPROTECTED OPENINGS

WALL AREA	1321	⌘
ALLOWABLE WINDOW AREA @ 7.0% (1.2m SIDEYARD)	92.47	⌘
ACTUAL GLAZED AREA	77.8	⌘
WITH OPTIONAL 30"x24" BASEMENT WINDOWS		
ACTUAL GLASS AREA	80.6	⌘

2610

9.14m LOTS

RIVER 6 (GR)

ELEVATION 3

A1 PACKAGE

O.REG. 332/12

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64 JARDIN DR. SUITE 3A

VAUGHAN ONT. L4K 3P3

TEL: 905 660-3377 FAX: 905 660-3713

EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

Walter Botter

21031

NAME

SIGNATURE

BCIN

REGISTRATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

jardin design group inc.

27763

FIRM NAME

BCIN

SIDE ELEVATION 3

ZADORRA ESTATE INC.

CITY OF OSHAWA



BILD

MODEL:

RIVER 6

SCALE:

3/16" = 1'-0"

PROJ. No.

22-16

DWG. No.

5B

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JOHN G. WILLIAMS LTD., ARCHITECT

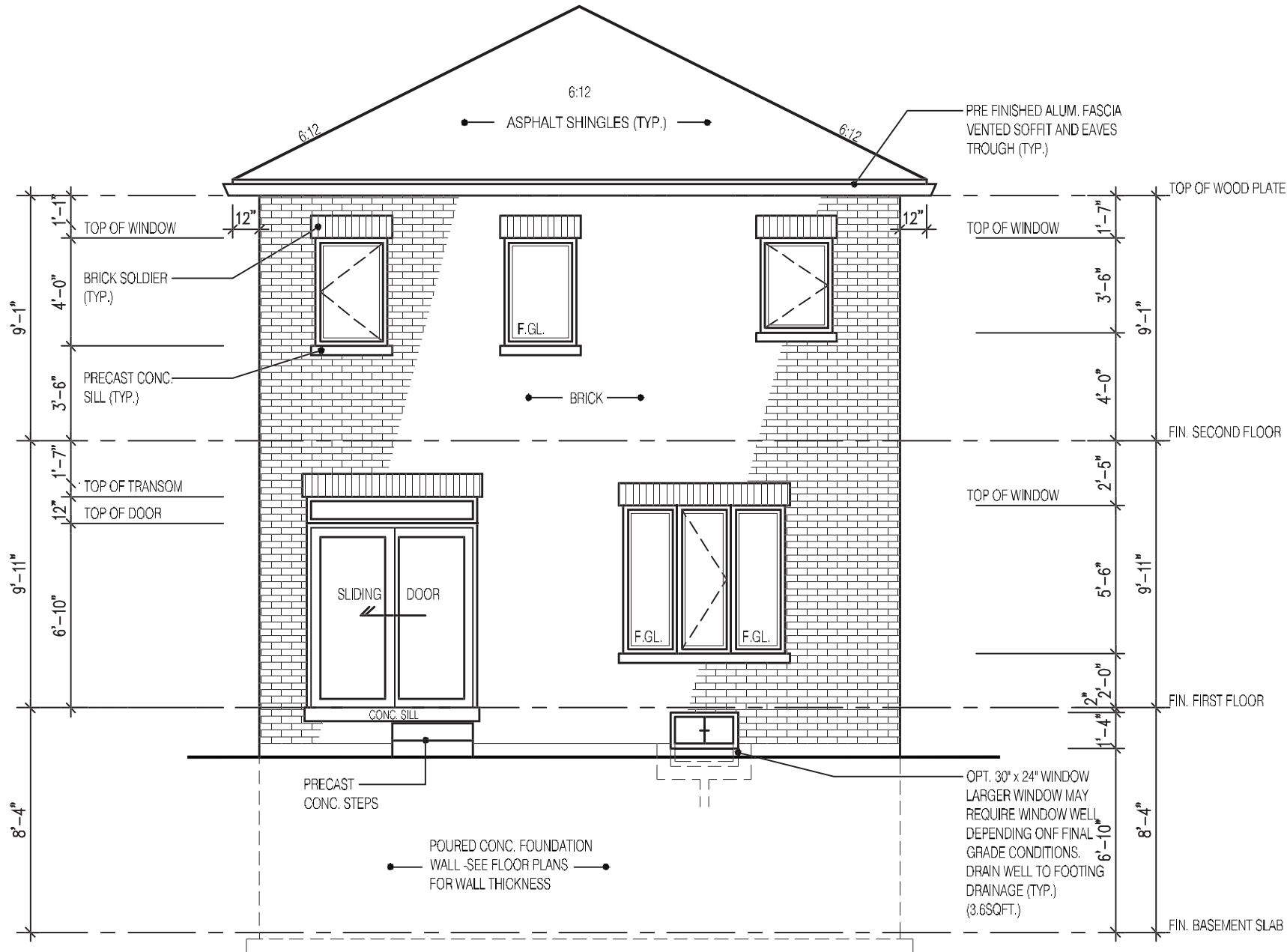
ARCHITECTURAL CONTROL REVIEW AND APPROVAL

APPROVED BY: 

DATE: JUL 31, 2023

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.





REAR ELEVATION 3

2610

9.14m LOTS

RIVER 6 (GR)  
ELEVATION 3

A1 PACKAGE

O.REG. 332/12

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.

AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.

JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT OFFICIAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

THIS DRAWING IS AN INSTRUMENT OF SERVICE. IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE SCALED.

7		
6		
5		
4		
3	MAY 9, 2023	ISSUED TO CLIENT FOR PERMIT
2	MAY 3, 2023	COORDINATED FLOOR, ROOF AND ENGINEER COMMENTS
1	FEB. 14, 2023	INTRODUCED FROM JOB 21-35 MODEL GARDEN 4

No: DATE: WORK DESCRIPTION:

**jardin**  
DESIGN GROUP INC  
64 JARDIN DR. SUITE 3A  
VAUGHAN ONT. L4K 3P3  
TEL: 905 660-3377 FAX: 905 660-3713  
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Walter Botter  21031  
NAME SIGNATURE BCIN

REGISTRATION INFORMATION  
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jardin design group inc. 27763  
FIRM NAME BCIN

REAR ELEVATION 3

ZADORRA ESTATE INC.  
CITY OF OSHAWA

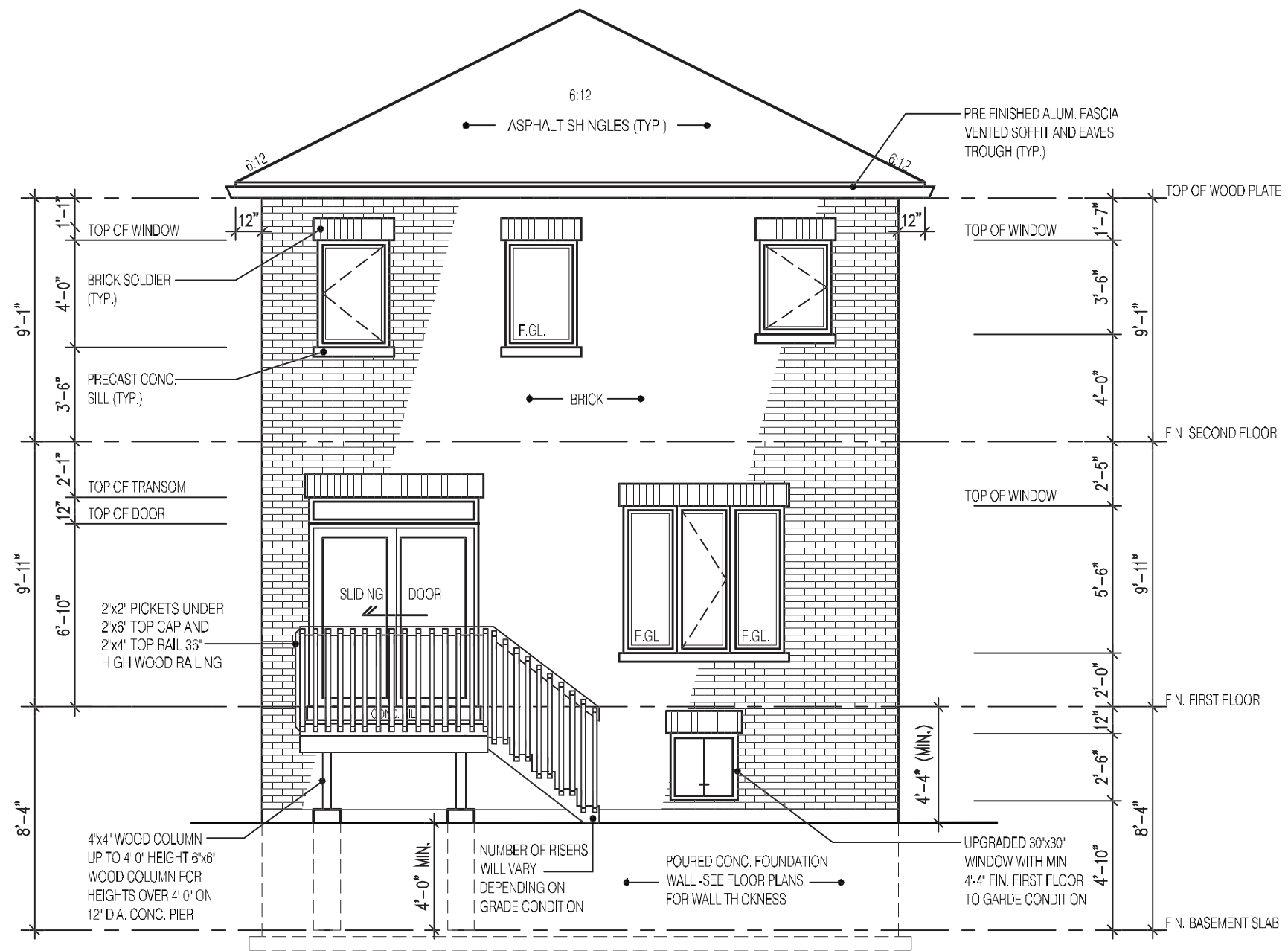


MODEL:  
RIVER 6  
SCALE:  
3/16" = 1'-0"  
PROJ. No.  
22-16  
DWG. No.  
6B

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ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL  
APPROVED BY:   
DATE: JUL 31, 2023  
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REAR ELEVATION 3  
DECK CONDITION

FOR ADDITIONAL DECK STRUCTURE  
REFER TO PAGE 7 OF THE DETAIL PACKAGE

**NOTE:**  
WHEN VENEER CUT IS GREATER THAN  
26" A 10" POURED CONC. FOUNDATION  
WALL IS REQUIRED.  
(FOUNDATION PLAN TO BE REVIEWED  
IN CONJUNCTION WITH SITE PLAN)

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**JOHN G. WILLIAMS LTD., ARCHITECT**  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY: *[Signature]*  
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2610

9.14m LOTS

RIVER 6 (GR)  
ELEVATION 3

A1 PACKAGE

O.REG. 332/12

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No:      DATE:      WORK DESCRIPTION:

jardin

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jardin design group inc. 27763  
FIRM NAME BCIN

DECK CONDITION EL 3

ZADORRA ESTATE INC.  
CITY OF OSHAWA

MODEL:  
RIVER 6

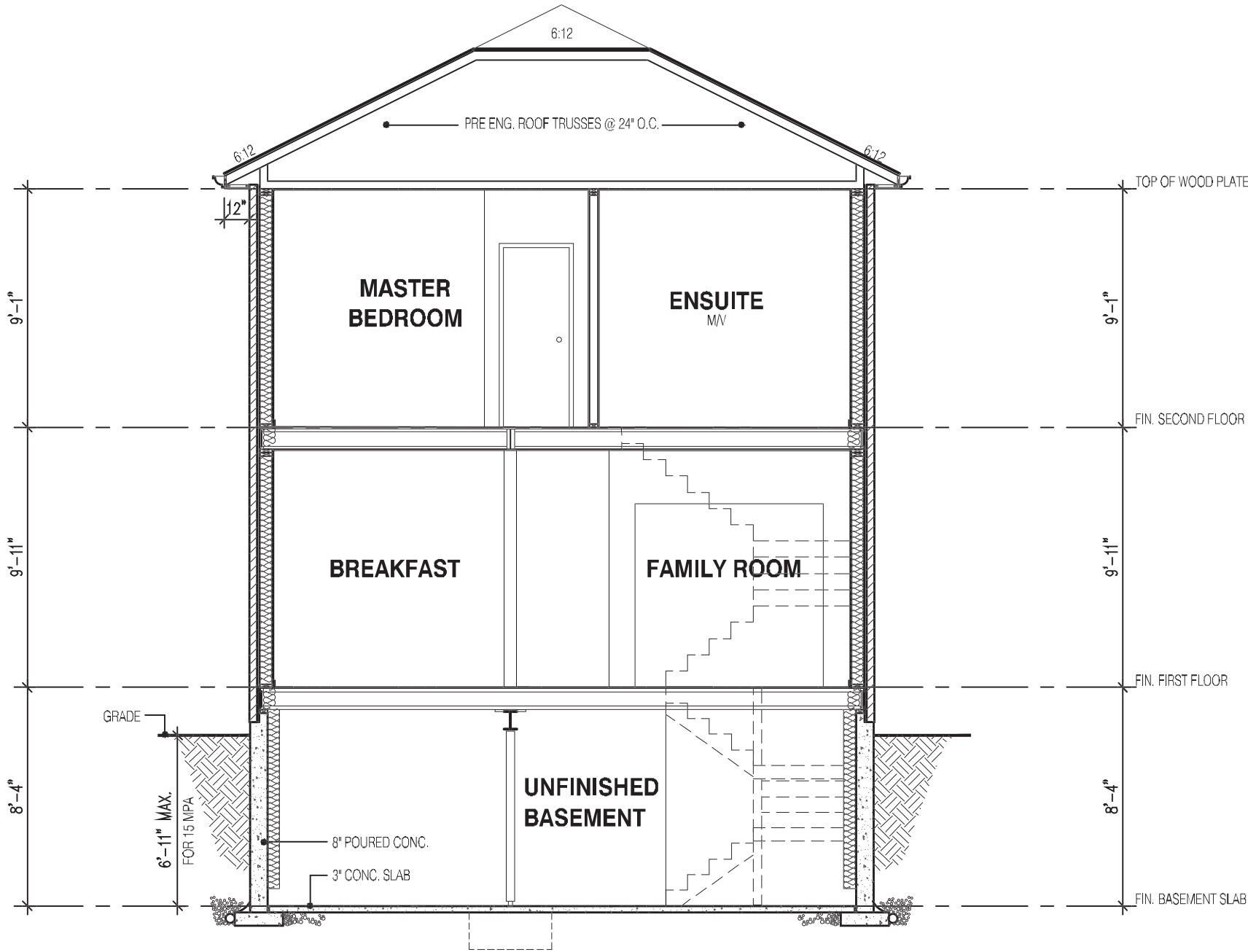
SCALE:  
3/16" = 1'-0"

PROJ. No.  
22-16

DWG. No.  
6B-1







SECTION A-A  
ELEVATION 3

STRUDET INC.



FOR STRUCTURE ONLY

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2610  
9.14m LOTS  
RIVER 6 (GR)  
ELEVATION 3  
A1 PACKAGE  
O.REG. 332/12

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jardin design group inc. 27763  
FIRM NAME BCIN

SECTION ELEV-3  
ZADORRA ESTATE INC.  
CITY OF OSHAWA

MODEL: RIVER 6  
SCALE: 3/16"=1'-0"  
PROJ. No. 22-16 DWG. No. 8B