

CONSTRUCTION SUMMARY				
Legacy Hill - Trinigroup Development Inc.				
PURCHASERS: Yuen Lam CHUNG and Kar Hung IP			RECEIVED NOV 15 2023	TEL:
LOT / PHASE 34 / 1	REG. PLAN #	HOUSE TYPE Rose 3 Elev 2		

CABINETRY

1 - KITCHEN CABINETRY - REDESIGN KITCHEN LAYOUT AS PER ATTACHED SKETCH INCLUDES STANDARD LEVEL CABINETRY & STANDARD LEVEL GRANITE COUNTERTOP 14Nov23 Note:	
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CONSTRUCTION

1 - FLEX ROOM - ADD WALL AND 30" DOOR TO CONVERT FLEX ARA INTO A FLEX ROOM STAIGHTEN OUT CURVE IN RAILING AT OPEN TO BELOW STAIR AREA 14Nov23 Note:	
1 - LOWER LEVEL - BASEMENT 8 FOOT 6 INCH CONCRETE POUR - MEASURED FROM TOP OF FOOTING TO TOP OF FOUNDATION WALL 14Nov23 Note:	
1 - FIRST FLOOR INCREASE CEILING HEIGHT FROM 9 FEET TO 10 FEET 14Nov23 Note:	

PROMOTIONAL

1 - LESS CREDIT FROM PURCHASER EXTRA SHEET IN OFFER 14Nov23 Note:	
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EXTRAS AS PER OFFER

The Vendor agrees that notwithstanding any other term or provision in this Agreement included in the Purchase Price and in addition to those items detailed in Schedule GP to the Agreement of Purchase and Sale, the Purchaser is entitled to a credit of Ten Worksheet Note:	
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This Document is Extremely Time Sensitive - Printed 14 Nov 23 at 11:26

LOT 34
TRINIGROUP
LEGACY HILL
CITY OF RICHMOND HILL

ROSE 3
ELEVATION 2

REVISIONS:

- REDESIGN KITCHEN WITH
SINK ON PENINSULA.

NOTE: DIMENSIONS ARE APPROXIMATE.

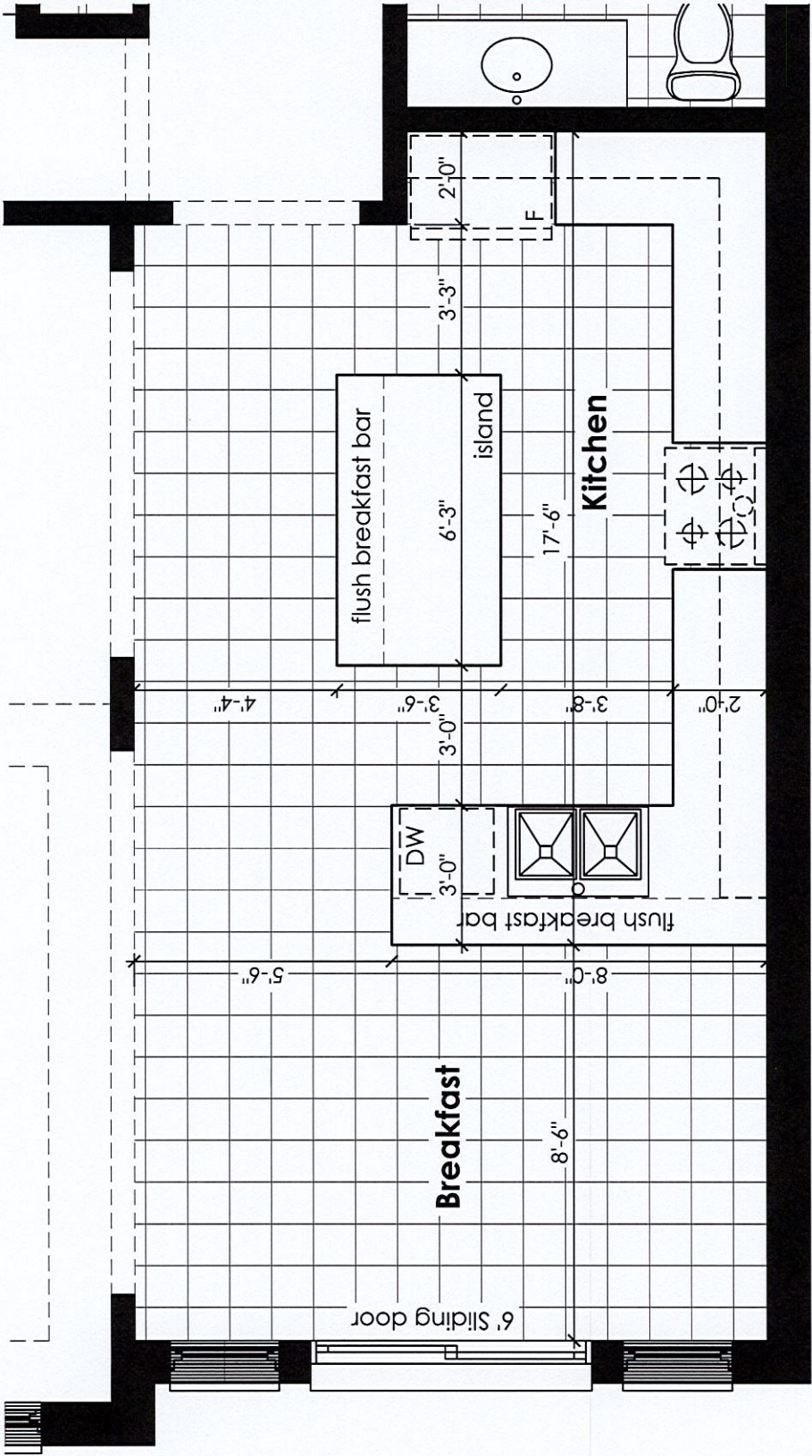
DISCLAIMERS: SKETCH NOT TO SCALE. DIMENSIONS, SPECIFICATIONS AND ARCHITECTURAL DETAILS SUBJECT TO MODIFICATION BY THE VENDOR. SKETCH IS ONLY FOR THE PURPOSE OF ILLUSTRATING REVISIONS REQUESTED BY THE PURCHASER AND ALL REVISIONS ARE SUBJECT TO VENDOR'S FINAL APPROVAL. ONLY REVISIONS ACCEPTED IN WRITING BY THE PURCHASER AND VENDOR ON A PURCHASER'S EXTRA SHEET WILL BE INCORPORATED INTO THE PLANS FILED WITH THE MUNICIPALITY. E. & O.E.



SCALE		N.T.S.
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MB		



MAIN LEVEL



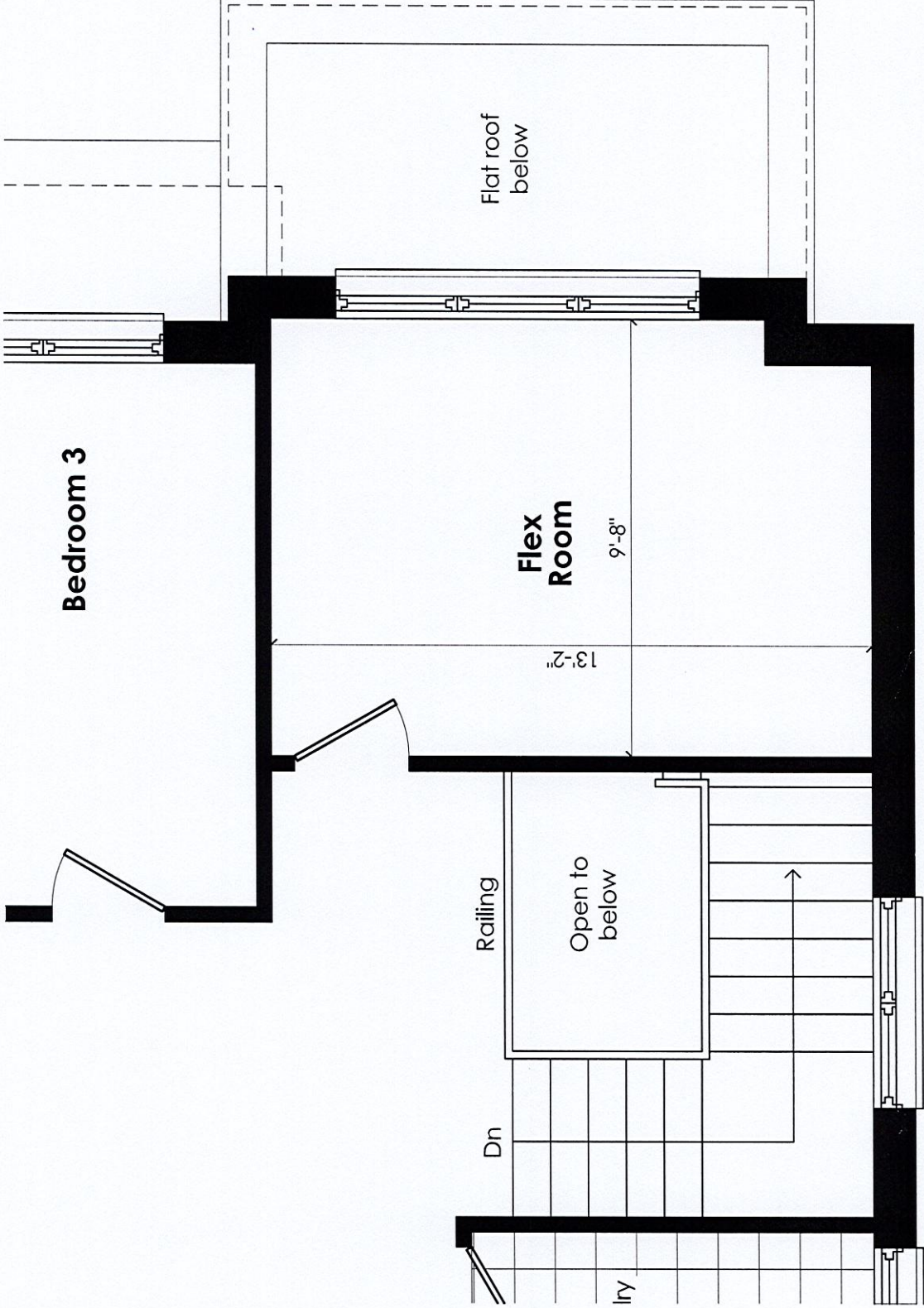
LOT 34
TRINIGROUP

LEGACY HILL
CITY OF RICHMOND HILL

ROSE 3
ELEVATION 2

REVISIONS:

- ADD WALL AND 30" DOOR TO CONVERT FLEX AREA INTO A FLEX ROOM.
- STRAIGHTEN OUT CURVE IN RAILING AT OPEN TO BELOW STAIR AREA.



UPPER LEVEL

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REGION
DESIGN
INC.

SCALE
BY MB
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Rose 3 40' Lot

Elev. 1: 3,141 sq.ft. Elev. 2: 3,141 sq.ft. Elev. 3: 3,141 sq.ft.
Includes 24 sq.ft. of Open Area

LH



10 Ft Ceilings 1st Fl.
Basement 8'6" Concrete Pour

Orientation of home may be reversed and purchaser agrees to accept the same. Steps and porches may vary at any exterior entrance ways due to grading variance. Actual usable floor space may vary from the stated floor area. All renderings are artist's concept. Dimensions, specifications and architectural detailing subject to modifications. Roofline and adjoining model types may vary due to siting. E. & O. E. September 2023