

STRIP FOOTINGS FOR SINGLES AND SEMIS UP TO 2 STOREY

120 KPa NATIVE SOIL

20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.

90 KPa ENGINEERED FILL SOIL

24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW FOUNDATION WALLS.
30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW PARTY WALLS.

100 KPa NATIVE SOIL

22"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
28"x10" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS
OR
28"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW PARTY WALLS

GENERAL NOTE :

ASSUMED 120/100 KPa NATIVE SOIL BEARING CAPACITY OR 90 KPa
FOR ENGINEERED FILL, TO BE VERIFIED ON SITE. REFER TO ENGINEERED FILL
FOOTING DETAIL FOR REINFORCEMENT.

(REFER TO ENG. FILL FOOTING DETAIL)

PAD FOOTING

120 KPa NATIVE SOIL

F1 = 42"x42"x18" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD
F5 = 16"x16"x8" CONCRETE PAD

90 KPa ENGINEERED FILL SOIL

F1 = 48"x48"x20" CONCRETE PAD
F2 = 40"x40"x16" CONCRETE PAD
F3 = 34"x34"x14" CONCRETE PAD
F4 = 28"x28"x12" CONCRETE PAD
F5 = 18"x18"x8" CONCRETE PAD

100 KPa NATIVE SOIL

F1 = 46"x46"x20" CONCRETE PAD
F2 = 38"x38"x16" CONCRETE PAD
F3 = 32"x32"x14" CONCRETE PAD
F4 = 26"x26"x12" CONCRETE PAD
F5 = 17"x17"x8" CONCRETE PAD

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)

NOTE:

WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC. FOUNDATION WALL IS REQUIRED.

NOTE:

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa
WITH 5-8% AIR ENTRAINMENT.

BRICK VENEER LINTELS:

WL1 = 3 1/2" x 3 1/2" x 1 1/4" (90x90x6) + 2- 2" x 8" SPR.
WL2 = 4" x 3 1/2" x 5/16" (100x90x8) + 2- 2" x 8" SPR.
WL3 = 5" x 3 1/2" x 5/16" (125x90x8) + 2- 2" x 10" SPR.
WL4 = 6" x 3 1/2" x 3/8" (150x90x10) + 2- 2" x 12" SPR.
WL5 = 6" x 4" x 3/8" (150x100x10) + 2- 2" x 12" SPR.

WL6 = 5" x 3 1/2" x 5/16" (125x90x8) + 2- 2" x 8" SPR.
WL7 = 5" x 3 1/2" x 5/16" (125x90x8) + 3- 2" x 10" SPR.
WL8 = 5" x 3 1/2" x 5/16" (125x90x8) + 3- 2" x 12" SPR.
WL9 = 6" x 4" x 3/8" (150x100x10) + 3- 2" x 12" SPR.

NOT THE GRANTING OF A PERMIT NOR REVIEWING
OF SPECS & DRAWINGS NOR INSPECTIONS MADE
DURING INSTALLATION BY THE OFFICIAL HAVING
JURISDICTION SHALL RELIEVE THE OWNER FROM
REQUIREMENTS OF THE ONTARIO BUILDING CODE
AND ANY OTHER REFERENCED REQUIREMENTS.

WOOD LINTELS:

WB1 = 2- 2" x 8" SPRUCE BEAM
WB2 = 3- 2" x 8" SPRUCE BEAM
WB3 = 2- 2" x 10" SPRUCE BEAM
WB4 = 3- 2" x 10" SPRUCE BEAM
WB5 = 2- 2" x 12" SPRUCE BEAM

WB6 = 3- 2" x 12" SPRUCE BEAM
WB7 = 5- 2" x 12" SPRUCE BEAM
WB10 = 4- 2" x 8" SPRUCE BEAM
WB11 = 4- 2" x 10" SPRUCE BEAM

STEEL LINTELS:

L1 = 3 1/2" x 3 1/2" x 1 1/4" (90 x 90 x 6)
L2 = 4" x 3 1/2" x 5/16" (100 x 90 x 8)
L3 = 5" x 3 1/2" x 5/16" (125 x 90 x 8)

L4 = 6" x 3 1/2" x 3/8" (150 x 90 x 10)
L5 = 6" x 4" x 3/8" (150 x 100 x 10)
L6 = 7" x 4" x 3/8" (180 x 100 x 10)

LAMINATED VENEER LUMBER (LVL BEAMS)

LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)
LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)
LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)
LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)
LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)
LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)
LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)
LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)
LVL6A = 1-1 3/4" x 11 7/8" (1-45x300)
LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)
LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)

LVL7A = 4-1 3/4" x 11 7/8" (4-45x300)
LVL8 = 2-1 3/4" x 14" (2-45x356)
LVL9 = 3-1 3/4" x 14" (3-45x356)

MASTER PLAN
MODEL: GARDEN 12 ELEVATION: 3
BEDROOMS: 4
OPTIONS: N/A, LOOK OUT DECK

P.ENG SOILS REPORT IS REQ'D TO
CONFIRM BEARING CAPACITY OF
SOILS. SEE FIELD INSPECTOR

2-2"x6" STUD WALL NAILED TOGETHER AND SPACED @12" O.C.
FULL HT C/W SOLID BLOCKING 4'-0" O.C. VERTICAL AND 7/16"
EXT. PLYWOOD SHEATHING.

12"12"

MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 18'-0" AND
MAXIMUM SUPPORTED LENGTH OF TRUSS IS 40'-0"

TWO STOREY HEIGHT WALL
DETAIL

2- 1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E STUD WALL GLUED
AND NAILED TOGETHER AND SPACED MAX. @10" O.C. FULL HT
C/W SOLID BLOCKING MAX. 8'-0" O.C. VERTICAL AND 7/16" EXT.
OSB SHEATHING.

10"10"

MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 20'-2" AND
MAXIMUM SUPPORTED LENGTH OF TRUSS IS 40'-0"

TWO STOREY HEIGHT WALL DETAIL

NOTE:

THESE DRAWINGS ARE TO BE READ IN
CONJUNCTION WITH ENGINEER APPROVED ROOF
TRUSS DRAWINGS BY MANUFACTURER .

NOTE:

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C.
BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW
BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS
GREATER THAN 7'

NOTE:

THESE DRAWINGS ARE TO BE READ IN
CONJUNCTION WITH ENGINEER APPROVED
FLOOR TRUSS LAYOUT BY MANUFACTURER .

NOTE:

PLANS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

Door Schedule

NO.	WIDTH	HEIGHT 8' TO 9' CEILINGS	HEIGHT 10' OR MORE CEILINGS	TYPE
1	2'-10"	6'-8" (865x2033)	8'-0" (865x2439)	INSULATED ENTRANCE DOOR
1a	2'-8"	6'-8" (815x2033)	8'-0" (815x2439)	INSULATED FRONT DOORS
2	2'-8"	6'-8" (815x2033)	8'-0" (815x2439)	WOOD & GLASS DOOR
3	2'-8"	6'-8" x 1-3/4" (815x2033x45)	8'-0" x 1-3/4" (815x2439x45)	EXTERIOR SLAB DOOR
4	2'-8"	6'-8" x 1-3/8" (815x2033x35)	8'-0" x 1-3/8" (815x2439x35)	INTERIOR SLAB DOOR
5	2'-6"	6'-8" x 1-3/8" (760x2033x35)	8'-0" x 1-3/8" (760x2439x35)	INTERIOR SLAB DOOR
6	2'-2"	6'-8" x 1-3/8" (660x2033x35)	8'-0" x 1-3/8" (660x2439x35)	INTERIOR SLAB DOOR
7	1'-6"	6'-8" x 1-3/8" (460x2033x35)	8'-0" x 1-3/8" (460x2439x35)	INTERIOR SLAB DOOR
8	3'-0"	6'-8" x 1-3/8" (915x2033x35)	8'-0" x 1-3/8" (915x2439x35)	INTERIOR SLAB DOOR

AREA CALCULATIONS EL-1

FIRST FLOOR AREA	=	1182 Sq. Ft.
SECOND FLOOR AREA	=	1402 Sq. Ft.
TOTAL FLOOR AREA	=	2584 Sq. Ft.
ADD OPEN AREAS	=	0 Sq. Ft.
ADD FIN. BASEMENT AREA	=	0 Sq. Ft.
GROSS FLOOR AREA	=	2584 Sq. Ft.
GROUND FLOOR COVERAGE	=	1182 Sq. Ft.
GARAGE COVERAGE / AREA	=	262 Sq. Ft.
PORCH COVERAGE / AREA	=	85 Sq. Ft.
COVERAGE W/ PORCH	=	1529 Sq. Ft.
	=	142.05 Sq. m.
COVERAGE W/O PORCH	=	1444 Sq. Ft.
	=	134.15 Sq. m.

AREA CALCULATIONS EL-2

FIRST FLOOR AREA	=	1182 Sq. Ft.
SECOND FLOOR AREA	=	1402 Sq. Ft.
TOTAL FLOOR AREA	=	2584 Sq. Ft.
ADD OPEN AREAS	=	0 Sq. Ft.
ADD FIN. BASEMENT AREA	=	0 Sq. Ft.
GROSS FLOOR AREA	=	2584 Sq. Ft.
GROUND FLOOR COVERAGE	=	1182 Sq. Ft.
GARAGE COVERAGE / AREA	=	262 Sq. Ft.
PORCH COVERAGE / AREA	=	85 Sq. Ft.
COVERAGE W/ PORCH	=	1529 Sq. Ft.
	=	142.05 Sq. m.
COVERAGE W/O PORCH	=	1444 Sq. Ft.
	=	134.15 Sq. m.

AREA CALCULATIONS EL-3

FIRST FLOOR AREA	=	1182 Sq. Ft.
SECOND FLOOR AREA	=	1402 Sq. Ft.
TOTAL FLOOR AREA	=	2584 Sq. Ft.
ADD OPEN AREAS	=	0 Sq. Ft.
ADD FIN. BASEMENT AREA	=	0 Sq. Ft.
GROSS FLOOR AREA	=	2584 Sq. Ft.
GROUND FLOOR COVERAGE	=	1182 Sq. Ft.
GARAGE COVERAGE / AREA	=	262 Sq. Ft.
PORCH COVERAGE / AREA	=	85 Sq. Ft.
COVERAGE W/ PORCH	=	1529 Sq. Ft.
	=	142.05 Sq. m.
COVERAGE W/O PORCH	=	1444 Sq. Ft.
	=	134.15 Sq. m.

ENERGY PERFORMANCE LABELS FOR ALL
GLAZING PRODUCTS IDENTIFYING THE
CERTIFIED VALUES SHALL REMAIN ON
FOR REVIEW DURING CONSTRUCTION

FINAL GRADING CERTIFICATE REQ'D
BEFORE FINAL INSPECTION SIGN-OFF

P.ENG SOILS REPORT MAY BE REQ'D TO
CONFIRM BEARING CAPACITY OF
SOILS. SEE FIELD INSPECTOR

INSTALLATION OF FLUSH STEEL BEAMS
SHALL CONFORM TO THE REQUIREMENTS OF
9.23.9.2.(3), (4) & (5)

PROVIDE P.ENG APPROVED TRUSS & FLOOR
DRAWINGS AND SPECIFICATIONS TO BUILDING
INSPECTOR AT FRAMING INSPECTION

REINFORCING REQUIRED IN FOUNDATION
WALL OR PORCH SLAB SHALL BE
REVIEWED PRIOR TO POURING CONCRETE
(see inspector)

SIDING MATERIALS SHALL CONFORM TO
SECTION 9.27 OF DIVISION B OR HAVE A CCMC
OR BMCC APPROVAL, OR A MINISTERS RULING

A SEPARATE PERMIT IS REQUIRED FOR THE
FINISHING OF ALL ROUGHIN PLUMBING FIXTURES

A CARBON MONOXIDE DETECTOR SHALL BE
LOCATED ADJACENT TO SLEEPING AREAS

THE ONTARIO BUILDING CODE REQUIRES THAT A SMOKE ALARM BE INSTALLED
ON EACH FLOOR LEVEL AND WITHIN EACH SLEEPING ROOM. ALL SMOKE
ALARMS SHALL BE INTERCONNECTED. EACH DEVICE SHALL HAVE A VISUAL
SIGNALING COMPONENT IN ADDITION TO THE TEMPORAL PATTERN IN
CONFORMANCE WITH 18.5.3. OF "LIGHT, COLOUR AND PULSE
CHARACTERISTICS" OF NFPA 72

CITY OF CAMBRIDGE
BUILDING DIVISION

THESE PLANS have been examined for compliance
with the Ontario Building Code Requirements. A
Building Permit is in Order to issue subject to any
changes noted under the condition that the building will
be constructed in accordance with the code

Thomas Weiskopf2023-03-17
INSPECTORDATE

ALL NEW WINDOWS AND SLIDING GLASS DOORS
TO COMPLY WITH THE THERMAL REQUIREMENTS
OF SB-12. MAX U-1.6, ER-25

FLOORING IN KITCHENS, WASHROOMS, LAUNDRY,
AND STORAGE AREAS, SHALL CONSIST OF
FELTED-SYNTHETIC-FIBRE FLOOR COVERING,
CONCRETE, TILE, OR OTHER FLOORING
PROVIDING A SIMILAR WATER RESISTANCE.

MAX. HOT WATER TEMP. SHALL NOT
EXCEED 49°C (120°F) EXCEPT FOR
DISHWASHERS AND CLOTHES WASHERS

22.34 %
14.90 %

GARDEN 12 ELEV.-3

ENERGY EFFICIENCY- A1 PACKAGE

ELEVATION	WALL FT²	OPENING FT²	PERCENTAGE
FRONT	610.48	153.33	25.12 %
LEFT SIDE	1172.90	237.33	20.23 %
RIGHT SIDE	1130.18	0.00	0.00 %
REAR	592.64	132.94	22.43 %
TOTAL	3506.20	523.60	14.93 %

STRUDET INC.

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
Sept 15/2022
PROVINCE OF ONTARIO

FOR STRUCTURE ONLY

It is the builder's complete responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The Control
Architect is not responsible in any way for
examining or approving site (lotting) plans or
working drawings with respect to any zoning or
building code or permit matter or that any
house can be properly built or located on its lot.

This is to certify that these plans comply with
the applicable Architectural Design
Guidelines approved by the City of
CAMBRIDGE.

2584

9.14m LOT

GARDEN 12 (GR)
ELEVATION 1, 2 & 3

A1 PACKAGE

O.REG. 332/12

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND
CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION.
ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP
INC. PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY
OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON
THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE
ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE
ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.

AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING
FOOTINGS.

JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT
GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY
FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO
CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT
DOCUMENTS.

THIS DRAWING IS AN INSTRUMENT OF SERVICE. IS PROVIDED BY AND IS
THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT
TO BE SCALED.

7

AUG. 10, 2022

ISSUED FOR BUILDING PERMIT

6

AUG. 3, 2022

COORDINATED FLOOR, ROOF AND
ENGINEER COMMENTS

5

MAY 31, 2022

REVISED AS PER CLIENT COMMENTS
& RE-ISSUED TO CLIENT

4

MAY 10, 2022

PREPARED TO PRE-COORDINATION
STAGE & ISSUED TO CLIENT

3

MAR. 23, 2022

REVISED AS PER CLIENT &
ISSUED FOR BROCHURE

2

JAN. 26, 2022

ISSUED TO CLIENT FOR
PRELIMINARY REVIEW

No: DATE: WORK DESCRIPTION:

jardin

DESIGN GROUP INC

64 JARDIN DR. SUITE 3A
VAUGHAN ONT, L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility
for this design and has the qualifications and meets the
requirements set out in the Ontario Building Code to be
a designer

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection
3.2.5 of the building code

Walter Botter21031
NAMESIGNATUREBCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection
3.2.4 of the building code

jardin design group inc.27763
FIRM NAMEBCIN

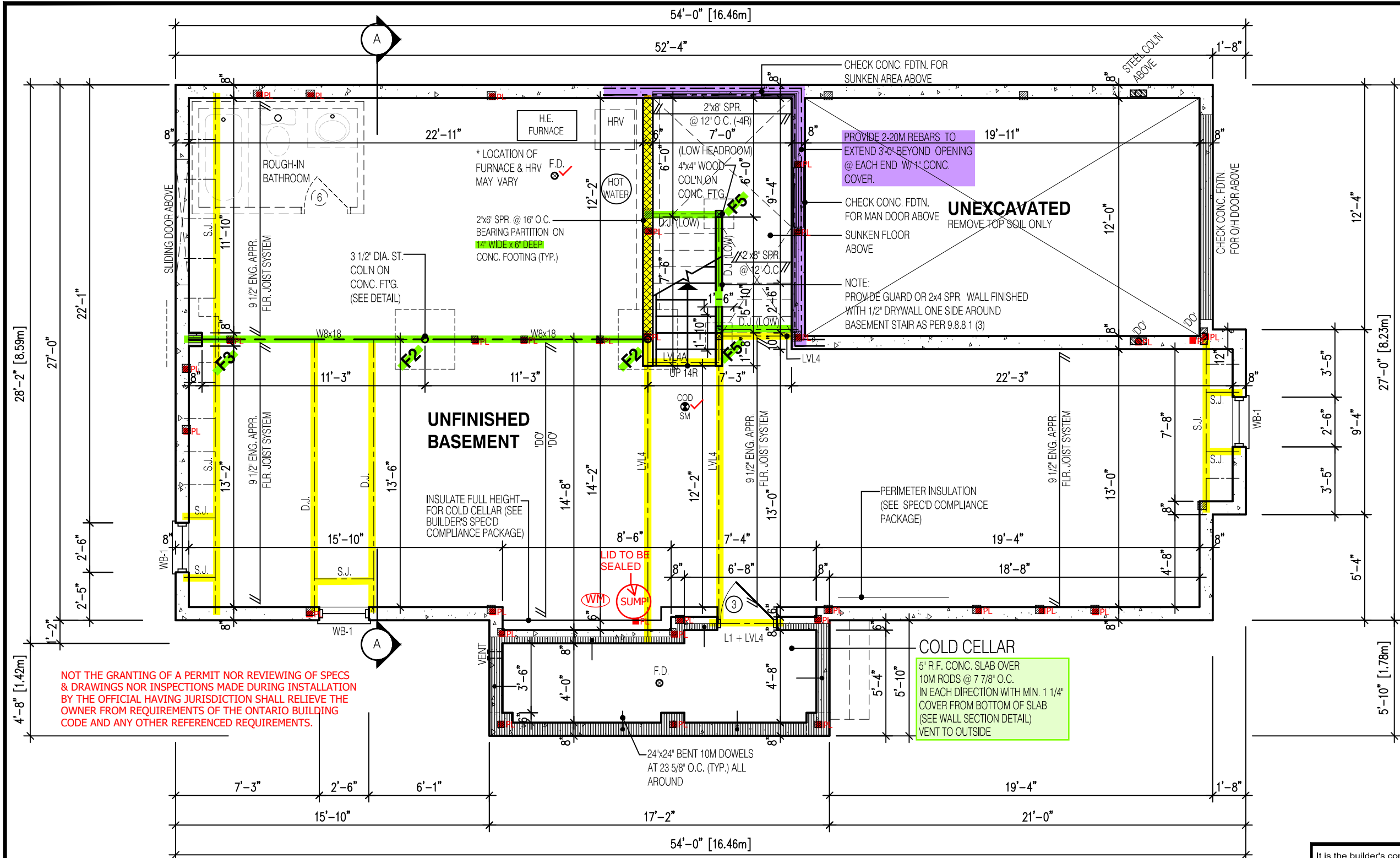
TITLE SHEET

BARLASSINA CONSTRUCTION
CITY OF CAMBRIDGE

BILD

MODEL:
GARDEN 12
SCALE:
3/16"=1'-0"
PROJ. No.
21-35
DWG. No.
0

DRAWN BY: DRAWING NAME:



REQUIRED CONTINUOUS INSULATION CANNOT BE INTERRUPTED BY FRAMING MEMBERS SUCH AS STUDS

NON-LOAD BEARING WALLS NOT PERMITTED TO BE FRAMED (TYP.)

MINIMUM CEILING HEIGHT 6'-11"

MINIMUM CEILING HEIGHT UNDER BULKHEADS 6'-5"

3 1/2"x 3 1/2"x 1/4" STEEL BRICK ANGLE TYPICAL UP TO MAX. 8'-1" SPAN

VERIFY WATER METER AND DWHR UNIT LOCATION WITH INSPECTOR

SPRAY FOAM/RIGID INSULATION TO BE PROTECTED AS PER 9.10.17.10.(1)

WATER METER TO BE INSTALLED WITHIN 2m (6'-6") FROM THE POINT THE WATER SERVICE PIPE MEETS THE BUILDING LINE

NOTE:
REFER TO SHEET NO. 0-1 FOR LINTEL, BEAMS AND DOOR SIZE

NOTE:
SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7"; 2 ROWS FOR SPANS GREATER THAN 7'

NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS LAYOUT BY MANUFACTURER.

NOTE:
SUBFLOOR TO BE 3/4" PLYWOOD ON THIS LEVEL

NOTE:
ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL

LEGEND:

- BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D)
- INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
- STL. PLATE FOR STEEL COL'N ABOVE
- LVL LAMINATED VENEER LUMBER
- S.J. SINGLE JOIST
- D.J. DOUBLE JOIST
- T.J. TRIPLE JOIST
- REPEAT NOTE
- SHOWER WEEPERS

STRUDET INC.

REGISTERED PROFESSIONAL ENGINEER

B. MARINKOVIC

Sept 15/2022

FOR STRUCTURE ONLY

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of CAMBRIDGE.

2584

9.14m LOT

GARDEN 12 (GR)

ELEVATION 3

A1 PACKAGE

O.REG. 332/12

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JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.

AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.

JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

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7		
6	AUG. 10, 2022	ISSUED FOR BUILDING PERMIT
5	AUG. 3, 2022	COORDINATED FLOOR, ROOF AND ENGINEER COMMENTS
4	MAY 31, 2022	REVISED AS PER CLIENT COMMENTS & RE-ISSUED TO CLIENT
3	MAY 10, 2022	PREPARED TO PRE-COORDINATION STAGE & ISSUED TO CLIENT
2	MAR. 23, 2022	REVISED AS PER CLIENT & ISSUED FOR BROCCURE
1	JAN. 26, 2022	ISSUED TO CLIENT FOR PRELIMINARY REVIEW

No: DATE: WORK DESCRIPTION:

jardin

DESIGN GROUP INC

64 JARDIN DR. SUITE 3A

VAUGHAN ONT, L4K 3P3

TEL: 905 660-3377 FAX: 905 660-3713

EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

Walter Botter

21031

NAME

SIGNATURE

BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

jardin design group inc.

27763

FIRM NAME

BCIN

BASEMENT PLAN EL-3

BARLASSINA CONSTRUCTION

CITY OF CAMBRIDGE

BILD

MODEL:

GARDEN 12

SCALE:

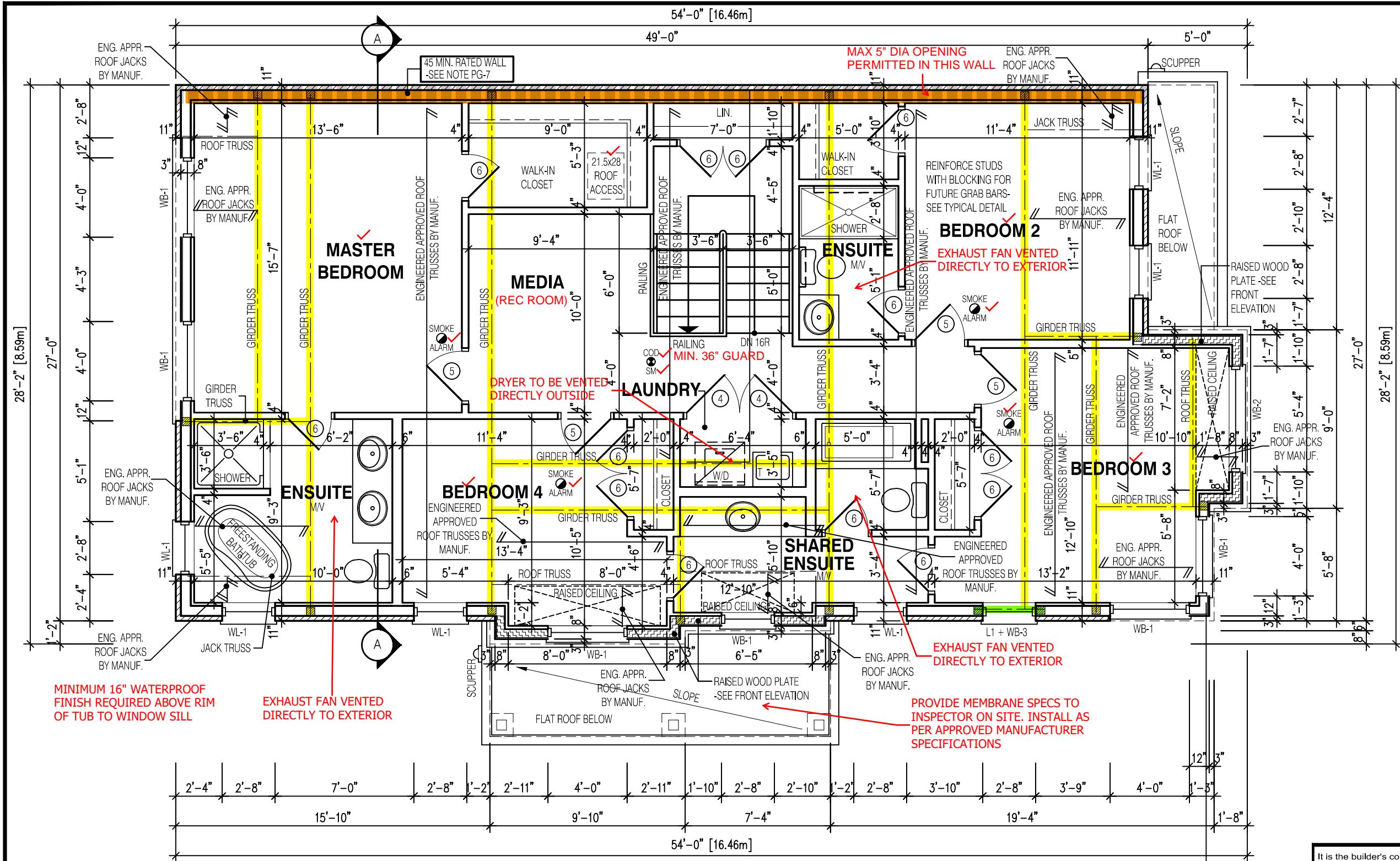
3/16"=1'-0"

PROJ. No.

21-35

DWG. No.

1B



2584
9.14m LOT
GARDEN 12 (GR)
ELEVATION 3
A1 PACKAGE
O.REG. 332/12

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QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

Walter Botter *Walter Botter* 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

jardin design group inc. 27763
FIRM NAME BCIN

SEC. FLOOR PLAN EL-3
BARLASSINA CONSTRUCTION
CITY OF CAMBRIDGE

MODEL:
GARDEN 12

SCALE:
3/16" = 1'-0"

PROJ. No. 21-35 DWG. No. 3B



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STRUDET INC.

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
Sept 15/2022
FOR STRUCTURE ONLY

- LEGEND:**
- BUILDING FACE < THAN 4'-0" (1.2m)
(45 MIN. FIRE RATING REQ'D)
 - INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
 - STL. PLATE FOR STEEL COL'N ABOVE
 - LVL LAMINATED VENEER LUMBER
 - S.J. SINGLE JOIST
 - D.J. DOUBLE JOIST
 - T.J. TRIPLE JOIST
 - REPEAT NOTE
 - SHOWER WEEPERS

NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED ROOF TRUSS DRAWINGS BY MANUFACTURER.

1 WINDOW SHALL PROVIDE AN UNOBSTRUCTED AREA OF 3.8SF w/ NO DIMENSION LESS THAN 15". WINDOW SILL TO BE MAX 39-3/8" ABOVE FINISHED FLOOR.

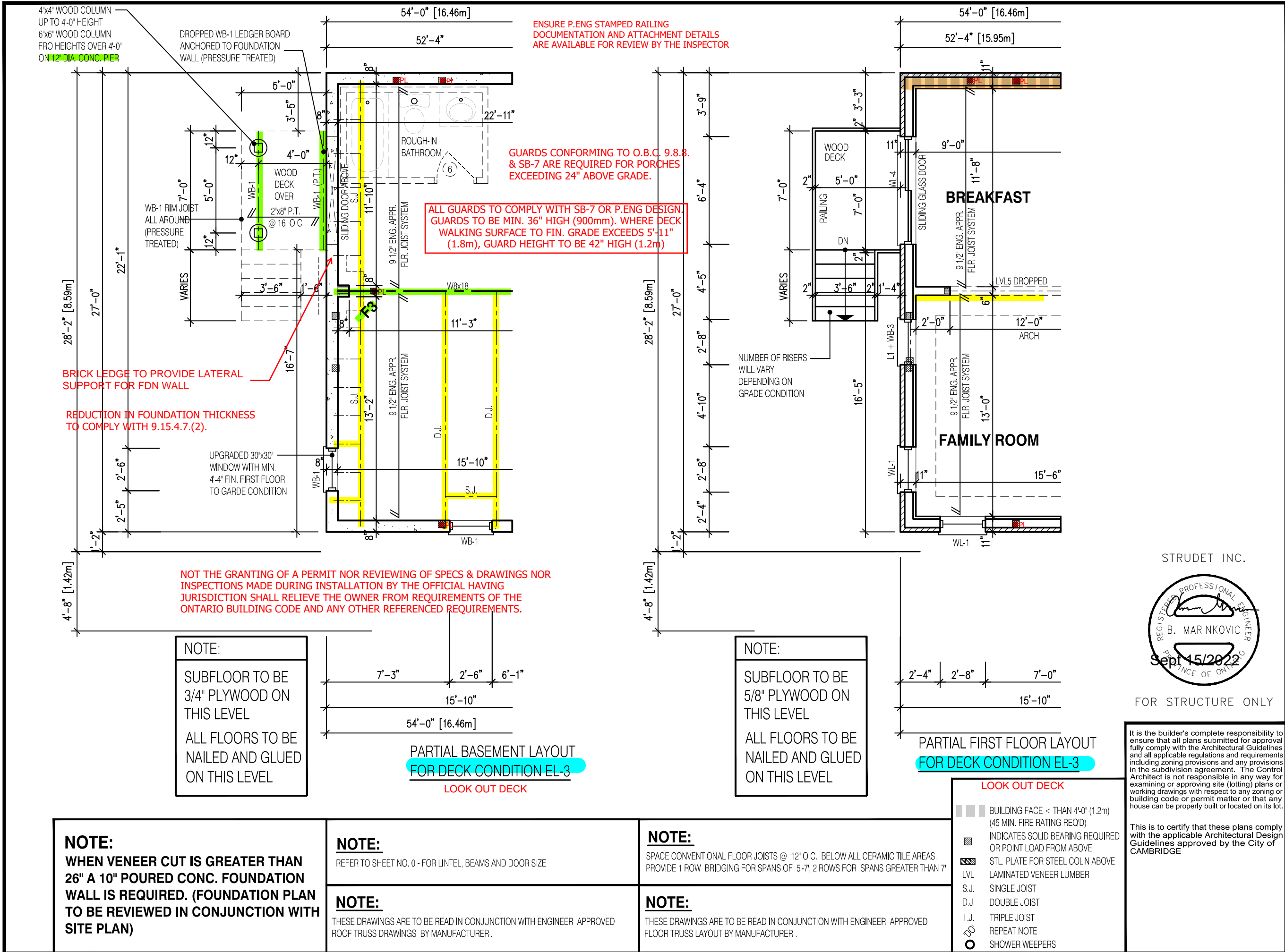
MAIN BATHROOM TO HAVE STUD BLOCKING FOR FUTURE INSTALLATION OF GRAB BARS ADJACENT TO SHOWER/TUB AND TOILET.

EXPOSED BUILDING FACE REQUIRES A 45MIN F.R.R. w/ 5/8" TYPE "X" DRYWALL & STUDS FILLED w/ INSUL. HAVING A MASS NOT LESS THAN 1.22 KG/M² WHERE LIMITING DISTANCE < 1.2m

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OVERFRAMING
2x6 RAFTERS @ 16" o/c. 2x8 RIDGE, HIPS AND VALLEYS

3 1/2"x 3 1/2"x 1/4" STEEL BRICK ANGLE TYPICAL UP TO MAX. 8'-1" SPAN



2584		
9.14m LOT		
GARDEN 12 (GR) ELEVATION 3		
A1 PACKAGE		
O.REG. 332/12		
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2	MAR. 23, 2022	REVISED AS PER CLIENT & ISSUED FOR BROCCURE
1	JAN. 26, 2022	ISSUED TO CLIENT FOR PRELIMINARY REVIEW
No: DATE:		WORK DESCRIPTION:
<div><div>STRUDET INC.</div><div><div>REGISTERED PROFESSIONAL ENGINEER</div><div>B. MARINKOVIC</div><div>SEP 15/2022</div><div>PROFESSIONAL ENGINEER</div></div></div> <div>FOR STRUCTURE ONLY</div> <div><div>It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.</div><div>This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of CAMBRIDGE</div></div>		
jardin DESIGN GROUP INC 64 JARDIN DR. SUITE 3A VAUGHAN ONT, L4K 3P3 TEL: 905 660-3377 FAX: 905 660-3713 EMAIL: info@jardindesign.ca		
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer Qualification Information Required unless design is exempt under Division C, Subsection 3.2.5 of the building code		
Walter Botter 21031 NAME SIGNATURE BCIN		
REGISTRATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.4 of the building code jardin design group inc. 27763 FIRM NAME BCIN		
DECK CONDITION EL-3		
BARLASSINA CONSTRUCTION CITY OF CAMBRIDGE		
	MODEL: GARDEN 12	
	SCALE: 3/16" = 1'-0"	
	PROJ. No. 21-35	DWG. No. 3B-1

9.14m LOT

A1 PACKAGE

O.REG. 332/12

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jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

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QUALIFICATION INFORMATION
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Walter Botter  21031
NAME SIGNATURE BCIN

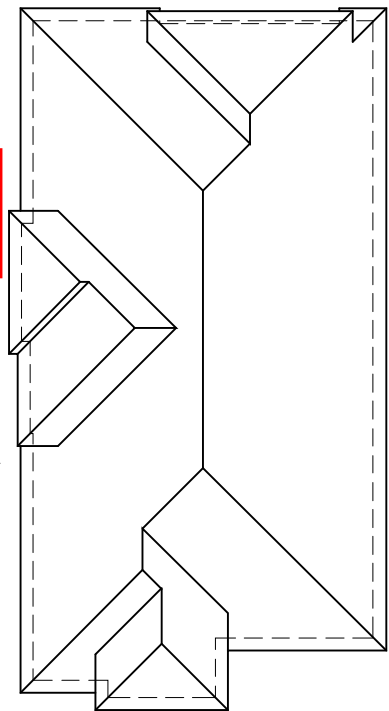
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jardin design group inc.	27763
FIRM NAME	BCIN

FRONT ELEVATION 3

BARLASSINA CONSTRUCTION
CITY OF CAMBRIDGE

 BILD®	MODEL: GARDEN 12	
	SCALE: $3/16" = 1'-0"$	
	PROJ. No. 21-35	DWG. No. 4B



ROOF PLAN EL-3
N.T.S.

ASPHALT SHINGLES (TYP.)

PRE FINISHED ALUM. FASCIA VENTED SOFFIT AND EAVES TROUGH (TYP.)

6' ALUM. CLAD WD. FRIEZE BOARD (TYP.)

TOP OF WOOD PLATE

TOP OF WINDOW

APPLIED STUCCO FINISH W/ REVEALS (TYP.)

WOOD GRAIN STUCCO FINISH (TYP.)

FIN. SECOND FLOOR

U/S OF SOFFIT @ PORCH

14 x 14" MASONRY PIER (TYP.)

FIN. FIRST FLOOR

No. OF STEPS DETERMINED BY GRADE SITUATION

POURED CONC. FOUNDATION WALL - SEE FLOOR PLANS FOR WALL THICKNESS

FIN. BASEMENT SLAB

1/300 VENTILATION REQUIRED

3 1/2"x 3 1/2"x 1/4" STEEL BRICK ANGLE TYPICAL UP TO MAX. 8'-1" SPAN

PROVIDE HIGH CEILING

7' PRECAST CONC. HEADER (TYP.)

E.G.L.

ADDRESS PLAQUE (TYP.)

10' PRECAST CONC. HEADER (TYP.)

4" CONT. SILL (TYP.)

STONE VENEER (TYP.)

10x7" O.H. DOOR

STEPPED FOOTING (TYP.)

OPT. 30' x 24" WINDOW LARGER WINDOW MAY REQUIRE WINDOW WELL DEPENDING ON FINAL GRADE CONDITIONS. DRAIN WELL TO FOOTING DRAINAGE (TYP.) (3.6SQ.F.T.)

STUCCO SYSTEM SHALL BE INSTALLED AS PER MANUFACTURERS INSTALLATION REQUIREMENTS & CCMC APPROVAL, BY A CERTIFIED INSTALLER ON AN APPROVED EXTERIOR SHEATHING. ENSURE WINDOWS AND DOORS ARE PROPERLY FLASHED AS PER APPROVALS

GARDEN 12
FRONT ELEVATION 3

FACES STREET, UPO OK

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**A LIGHT IS REQUIRED AT ALL ENTRANCES
TO A SINGLE FAMILY DWELLING**

STEP FOOTINGS. MAX 24"
RISE, MIN 24" RUN

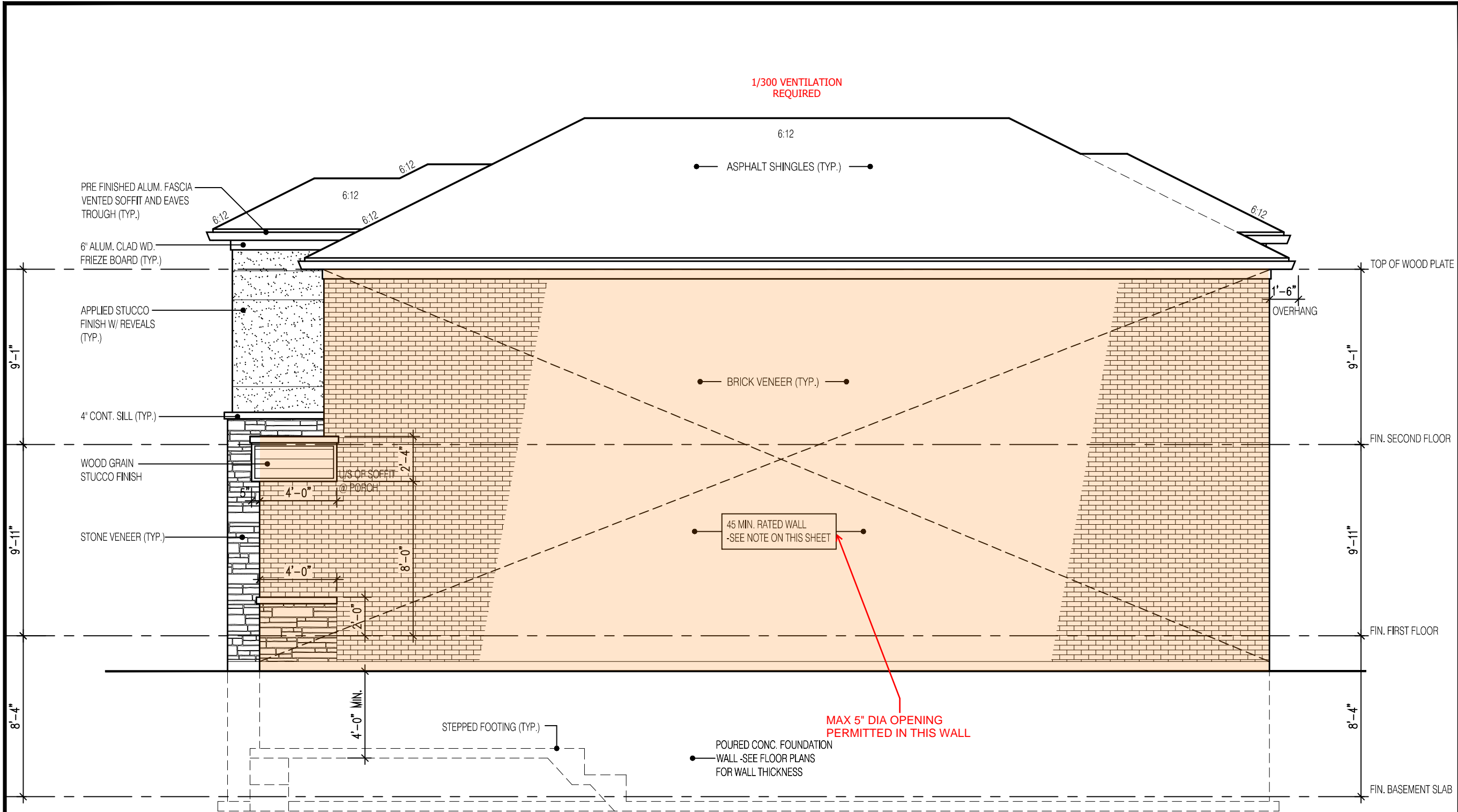
GUARDS CONFORMING TO O.B.C. 9.8.8.
& SB-7 ARE REQUIRED FOR PORCHES
EXCEEDING 24" ABOVE GRADE.

ENSURE P.ENG STAMPED RAILING
DOCUMENTATION AND ATTACHMENT DETAILS
ARE AVAILABLE FOR REVIEW BY THE INSPECTOR

EXTERIOR CONCRETE STAIRS w/ MORE
THAN 2 RISERS TO MEET THE
REQUIREMENTS OF 9.8.9.2.(1)

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SIDE ELEVATION 3

EXPOSED BUILDING FACE REQUIRES A 45MIN F.R.R. w/ 5/8" TYPE "X" DRYWALL & STUDS FILLED w/ INSUL. HAVING A MASS NOT LESS THAN 1.22 KG/M² WHERE LIMITING DISTANCE < 1.2m

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HEADER/RIM JOIST LEVEL

(FOR WALLS LESS THAN 1.2m (3'-11") FROM LOT LINE)

45 MINUTE FIRE RATED AT HEADER

PROVIDE 15.9mm (5/8") TYPE "X" GYPSUM BOARD BETWEEN FLOOR JOIST AT THE HEADER OR CONTINUOUSLY ALONG THE RIM JOIST WHEN FLOOR JOISTS ARE PARALLEL TO RIM JOIST TO MAINTAIN

(REFER TO SECTION 2.3 OF SUPPLEMENTARY GUIDELINES)

BRICK VENEER CONSTRUCTION

(FOR WALLS LESS THAN 1.2m (3'-11") FROM LOT LINE)

45 MINUTE FIRE RATED WALL

PROVIDE A CONTINUOUS LAYER 12.7mm (1/2") TYPE "X" GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH PREFORMED MINERAL FIBRE INSULATION WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE "X" & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTIONS. MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE "X" IS INSTALLED IN GARAGE EXTERIOR WALLS.

(REFER TO SECTION 2.3 OF SUPPLEMENTARY GUIDELINES)

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2584

9.14m LOT

GARDEN 12 (GR)
ELEVATION 3

A1 PACKAGE

O.REG. 332/12

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Walter Botter *Walter Botter* 21031
NAME SIGNATURE BCIN

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jardin design group inc. 27763
FIRM NAME BCIN

SIDE ELEVATION 3
BARLASSINA CONSTRUCTION
CITY OF CAMBRIDGE

BILD
MODEL: GARDEN 12
SCALE: 3/16" = 1'-0"
PROJ. No. 21-35 DWG. No. 7B

