

P.ENG SOILS REPORT IS REQ'D TO CONFIRM BEARING CAPACITY OF SOILS. SEE FIELD INSPECTOR

STRIP FOOTINGS FOR SINGLES AND SEMIS UP TO 2 STOREY

120 KPa NATIVE SOIL 20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS. 24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.	90 KPa ENGINEERED FILL SOIL 24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW FOUNDATION WALLS. 30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW PARTY WALLS.
100 KPa NATIVE SOIL 22"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS. 28"x10" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS OR 28"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW PARTY WALLS	GENERAL NOTE: ASSUMED 120/100 KPa NATIVE SOIL BEARING CAPACITY OR 90 KPa FOR ENGINEERED FILL, TO BE VERIFIED ON SITE. REFER TO ENGINEERED FILL FOOTING DETAIL FOR REINFORCEMENT. (REFER TO ENG. FILL FOOTING DETAIL)

AREA CALCULATIONS EL-1

FIRST FLOOR AREA	=	1088 Sq. Ft.
SECOND FLOOR AREA	=	1312 Sq. Ft.
TOTAL FLOOR AREA	=	2400 Sq. Ft.
ADD OPEN AREAS	=	0 Sq. Ft.
ADD FIN. BASEMENT AREA	=	0 Sq. Ft.
GROSS FLOOR AREA	=	2400 Sq. Ft.
GROUND FLOOR COVERAGE	=	1088 Sq. Ft.
GARAGE COVERAGE / AREA	=	242 Sq. Ft.
PORCH COVERAGE / AREA	=	62 Sq. Ft.
COVERAGE W/ PORCH	=	1392 Sq. Ft.
COVERAGE W/O PORCH	=	1330 Sq. Ft.
	=	123.56 Sq. m.

AREA CALCULATIONS EL-2

FIRST FLOOR AREA	=	1088 Sq. Ft.
SECOND FLOOR AREA	=	1312 Sq. Ft.
TOTAL FLOOR AREA	=	2400 Sq. Ft.
ADD OPEN AREAS	=	0 Sq. Ft.
ADD FIN. BASEMENT AREA	=	0 Sq. Ft.
GROSS FLOOR AREA	=	2400 Sq. Ft.
GROUND FLOOR COVERAGE	=	1088 Sq. Ft.
GARAGE COVERAGE / AREA	=	242 Sq. Ft.
PORCH COVERAGE / AREA	=	62 Sq. Ft.
COVERAGE W/ PORCH	=	1392 Sq. Ft.
COVERAGE W/O PORCH	=	1330 Sq. Ft.
	=	123.56 Sq. m.

AREA CALCULATIONS EL-3

FIRST FLOOR AREA	=	1088 Sq. Ft.
SECOND FLOOR AREA	=	1327 Sq. Ft.
TOTAL FLOOR AREA	=	2415 Sq. Ft.
ADD OPEN AREAS	=	0 Sq. Ft.
ADD FIN. BASEMENT AREA	=	0 Sq. Ft.
GROSS FLOOR AREA	=	2415 Sq. Ft.
GROUND FLOOR COVERAGE	=	1088 Sq. Ft.
GARAGE COVERAGE / AREA	=	241 Sq. Ft.
PORCH COVERAGE / AREA	=	62 Sq. Ft.
COVERAGE W/ PORCH	=	1391 Sq. Ft.
COVERAGE W/O PORCH	=	129.23 Sq. m.
	=	1329 Sq. Ft.
	=	123.47 Sq. m.

2400 9.14m LOTS

GARDEN 3 (GR) ELEVATION 1, 2 & 3

A1 PACKAGE

O.REG. 332/12

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.

AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.

JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

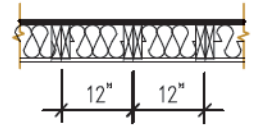
THIS DRAWING IS AN INSTRUMENT OF SERVICE. IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE SCALED.

PAD FOOTING

120 KPa NATIVE SOIL	90 KPa ENGINEERED FILL SOIL	100 KPa NATIVE SOIL
F1 = 42"x42"x18" CONCRETE PAD	F1 = 48"x48"x20" CONCRETE PAD	F1 = 46"x46"x20" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD	F2 = 40"x40"x16" CONCRETE PAD	F2 = 38"x38"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD	F3 = 34"x34"x14" CONCRETE PAD	F3 = 32"x32"x14" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD	F4 = 28"x28"x12" CONCRETE PAD	F4 = 26"x26"x12" CONCRETE PAD
F5 = 18"x18"x8" CONCRETE PAD	F5 = 18"x18"x8" CONCRETE PAD	F5 = 17"x17"x8" CONCRETE PAD

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)

2-2"x8" STUD WALL NAILED TOGETHER AND SPACED @12" O.C. FULL HT C/W SOLID BLOCKING 4'-0" O.C. VERTICAL AND 7/16" EXT. PLYWOOD SHEATHING.



MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 18'-0" AND MAXIMUM SUPPORTED LENGTH OF TRUSS IS 4'-0"

TWO STOREY HEIGHT WALL DETAIL

GARDEN 3 ELEV.-1 (3 BEDROOM) ENERGY EFFICIENCY- A1 PACKAGE

ELEVATION	WALL FT²	OPENING FT²	PERCENTAGE
FRONT	523.40	83.24	15.90 %
LEFT SIDE	1216.85	91.50	7.52 %
RIGHT SIDE	1196.36	0.00	0.00 %
REAR	494.79	121.27	24.51 %
TOTAL	3431.20	296.01	8.63 %

GARDEN 3 ELEV.-1 (ALT. 4 BEDROOM) ENERGY EFFICIENCY- A1 PACKAGE

ELEVATION	WALL FT²	OPENING FT²	PERCENTAGE
FRONT	523.40	83.24	15.90 %
LEFT SIDE	1216.85	102.14	8.40 %
RIGHT SIDE	1196.36	0.00	0.00 %
REAR	494.79	121.27	24.51 %
TOTAL	3431.20	306.65	8.94 %

NOTE: WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC. FOUNDATION WALL IS REQUIRED.

NOTE: ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa WITH 5-8% AIR ENTRAINMENT.

BRICK VENEER LINTELS:

WL1 = 3 1/2" x 3 1/2" x 1 1/4" (90x90x6) + 2-2" x 8" SPR.	WL6 = 5" x 3 1/2" x 5 1/8" (125x90x8) + 2-2" x 12" SPR.
WL2 = 4" x 3 1/2" x 5 1/8" (100x90x8) + 2-2" x 8" SPR.	WL7 = 5" x 3 1/2" x 5 1/8" (125x90x8) + 3-2" x 10" SPR.
WL3 = 5" x 3 1/2" x 5 1/8" (125x90x8) + 2-2" x 10" SPR.	WL8 = 5" x 3 1/2" x 5 1/8" (125x90x8) + 3-2" x 12" SPR.
WL4 = 6" x 3 1/2" x 3/8" (150x90x10) + 2-2" x 12" SPR.	WL9 = 6" x 4" x 3/8" (150x100x10) + 3-2" x 12" SPR.
WL5 = 6" x 4" x 3/8" (150x100x10) + 2-2" x 12" SPR.	

WOOD LINTELS:

WB1 = 2-2" x 8" SPRUCE BEAM	WB6 = 3-2" x 12" SPRUCE BEAM
WB2 = 3-2" x 8" SPRUCE BEAM	WB7 = 5-2" x 12" SPRUCE BEAM
WB3 = 2-2" x 10" SPRUCE BEAM	WB10 = 4-2" x 6" SPRUCE BEAM
WB4 = 3-2" x 10" SPRUCE BEAM	WB11 = 4-2" x 10" SPRUCE BEAM
WB5 = 2-2" x 12" SPRUCE BEAM	

STEEL LINTELS:

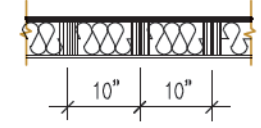
L1 = 3 1/2" x 3 1/2" x 1 1/4" (90 x 90 x 6)	L4 = 6" x 3 1/2" x 3/8" (150 x 90 x 10)
L2 = 4" x 3 1/2" x 5/8" (100 x 90 x 8)	L5 = 6" x 4" x 3/8" (150 x 100 x 10)
L3 = 5" x 3 1/2" x 5/8" (125 x 90 x 8)	L6 = 7" x 4" x 3/8" (180 x 100 x 10)

LAMINATED VENEER LUMBER (LVL BEAMS)

LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)	LVL7A = 4-1 3/4" x 11 7/8" (4-45x300)
LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)	LVL8 = 2-1 3/4" x 14" (2-45x356)
LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)	LVL9 = 3-1 3/4" x 14" (3-45x356)
LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)	
LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)	
LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)	
LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)	
LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)	
LVL6A = 1-1 3/4" x 11 7/8" (1-45x300)	
LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)	
LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)	

NOT THE GRANTING OF A PERMIT NOR REVIEWING OF SPECS & DRAWINGS NOR INSPECTIONS MADE DURING INSTALLATION BY THE OFFICIAL HAVING JURISDICTION SHALL RELIEVE THE OWNER FROM REQUIREMENTS OF THE ONTARIO BUILDING CODE AND ANY OTHER REFERENCED REQUIREMENTS.

2 - 1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E STUD WALL GLUED AND NAILED TOGETHER AND SPACED MAX. @10" O.C. FULL HT C/W SOLID BLOCKING MAX. 8'-0" O.C. VERTICAL AND 7/16" EXT. OSB SHEATHING.



MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 20'-2" AND MAXIMUM SUPPORTED LENGTH OF TRUSS IS 4'-0"

TWO STOREY HEIGHT WALL DETAIL

NOTE: THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED ROOF TRUSS DRAWINGS BY MANUFACTURER.

NOTE: SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS, PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

NOTE: THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS LAYOUT BY MANUFACTURER.

NOTE: PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN.

ELEVATION	WALL FT²	OPENING FT²	PERCENTAGE
FRONT	523.40	83.24	15.90 %
LEFT SIDE	1216.85	102.14	8.40 %
RIGHT SIDE	1196.36	0.00	0.00 %
REAR	494.79	121.27	24.51 %
TOTAL	3431.20	306.65	8.94 %

ALL NEW WINDOWS AND SLIDING GLASS DOORS TO COMPLY WITH THE THERMAL REQUIREMENTS OF SB-12. MAX U-1.6, ER-25

FLOORING IN KITCHENS, WASHROOMS, LAUNDRY, AND STORAGE AREAS, SHALL CONSIST OF FELTED-SYNTHETIC-FIBRE FLOOR COVERING, CONCRETE, TILE, OR OTHER FLOORING PROVIDING A SIMILAR WATER RESISTANCE.

MAX. HOT WATER TEMP. SHALL NOT EXCEED 49°C (120°F) EXCEPT FOR DISHWASHERS AND CLOTHES WASHERS

SLIDING MATERIALS SHALL CONFORM TO SECTION 9.27 OF DIVISION B OR HAVE A CCMC OR BMEC APPROVAL, OR A MINISTERS RULING

A SEPARATE PERMIT IS REQUIRED FOR THE FINISHING OF ALL ROUGHIN PLUMBING FIXTURES

A CARBON MONOXIDE DETECTOR SHALL BE LOCATED ADJACENT TO SLEEPING AREAS

THE ONTARIO BUILDING CODE REQUIRES THAT A SMOKE ALARM BE INSTALLED ON EACH FLOOR LEVEL AND WITHIN EACH SLEEPING ROOM. ALL SMOKE ALARMS SHALL BE INTERCONNECTED. EACH DEVICE SHALL HAVE A VISUAL SIGNALING COMPONENT IN ADDITION TO THE TEMPORAL PATTERN IN CONFORMANCE WITH 18.5.3. OF "LIGHT, COLOUR AND PULSE CHARACTERISTICS" OF NFPA 72

ENERGY PERFORMANCE LABELS FOR ALL GLAZING PRODUCTS IDENTIFYING THE CERTIFIED VALUES SHALL REMAIN ON FOR REVIEW DURING CONSTRUCTION

FINAL GRADING CERTIFICATE REQ'D BEFORE FINAL INSPECTION SIGN-OFF

P.ENG SOILS REPORT MAY BE REQ'D TO CONFIRM BEARING CAPACITY OF SOILS. SEE FIELD INSPECTOR

INSTALLATION OF FLUSH STEEL BEAMS SHALL CONFORM TO THE REQUIREMENTS OF 9.23.9.2.(3), (4) & (5)

PROVIDE P.ENG APPROVED TRUSS & FLOOR DRAWINGS AND SPECIFICATIONS TO BUILDING INSPECTOR AT FRAMING INSPECTION

REINFORCING REQUIRED IN FOUNDATION WALL OR PORCH SLAB SHALL BE REVIEWED PRIOR TO POURING CONCRETE (see inspector)

Door Schedule

NO.	WIDTH	HEIGHT 8' TO 9' CEILINGS	HEIGHT 10' OR MORE CEILINGS	TYPE
1	2'-10"	6'-8" (865x2033)	8'-0" (865x2439)	INSULATED ENTRANCE DOOR
1a	2'-8"	6'-8" (815x2033)	8'-0" (815x2439)	INSULATED FRONT DOORS
2	2'-8"	6'-8" (815x2033)	8'-0" (815x2439)	WOOD & GLASS DOOR
3	2'-8"	6'-8" x 1-3/4" (815x2033x45)	8'-0" x 1-3/4" (815x2439x45)	EXTERIOR SLAB DOOR
4	2'-8"	6'-8" x 1-3/8" (815x2033x35)	8'-0" x 1-3/8" (815x2439x35)	INTERIOR SLAB DOOR
5	2'-6"	6'-8" x 1-3/8" (760x2033x35)	8'-0" x 1-3/8" (760x2439x35)	INTERIOR SLAB DOOR
6	2'-2"	6'-8" x 1-3/8" (660x2033x35)	8'-0" x 1-3/8" (660x2439x35)	INTERIOR SLAB DOOR
7	1'-6"	6'-8" x 1-3/8" (460x2033x35)	8'-0" x 1-3/8" (460x2439x35)	INTERIOR SLAB DOOR
8	3'-0"	6'-8" x 1-3/8" (915x2033x35)	8'-0" x 1-3/8" (915x2439x35)	INTERIOR SLAB DOOR

STRUDET INC. CITY OF CAMBRIDGE BUILDING DIVISION

THESE PLANS have been examined for compliance with the Ontario Building Code Requirements. A Building Permit is in order to issue subject to any changes noted under the condition that the building will be constructed in accordance with the code

Thomas Weidner 2023-03-07 INSPECTOR DATE

B. MARINKOVIC
REGISTERED PROFESSIONAL ENGINEER
PRINCIPAL
JANUARY 16, 2023

MASTER PLAN
 MODEL: GARDEN 3 ELEVATION: 1
 BEDROOMS: 3
 OPTIONS: (SAME AS ABOVE PLUS), **SUNKEN FOYER, ALT 2ND FLOOR (4 bedroom), LOOK OUT DECK, WALK OUT DECK/BASEMENT.**

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of CAMBRIDGE.

No: DATE: WORK DESCRIPTION:

jardin DESIGN GROUP INC

64 JARDIN DR. SUITE 3A VAUGHAN ONT. L4K 3P3
 TEL: 905 660-3377 FAX: 905 660-3713
 EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

Walter Botter 21031 SIGNATURE BCIN

REGISTRATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

Jardin design group inc. 27763 FIRM NAME BCIN

TITLE SHEET

BARLASSINA CONSTRUCTION CITY OF CAMBRIDGE

MODEL: GARDEN 3 (GR)
 SCALE: 3/16"=1'-0"
 PROJ. No. 21-35 DWG. No. 0

2400
GARDEN 3 (GR)
ELEVATION 1
A1 PACKAGE
O.REG. 332/12

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.

AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.

JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

THIS DRAWING IS AN INSTRUMENT OF SERVICE. IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE SCALED.

7		
6	AUG. 10, 2022	ISSUED FOR BUILDING PERMIT
5	AUG. 3, 2022	COORDINATED FLOOR, ROOF AND ENGINEER COMMENTS
4	JUN. 2, 2022	REVISED AS PER CLIENT COMMENTS & RE-ISSUED TO CLIENT
3	MAY 10, 2022	PREPARED TO PRE-COORDINATION STAGE & ISSUED TO CLIENT
2	MAR. 23, 2022	REVISED AS PER CLIENT & ISSUED FOR BROCHURE
1	JAN. 26, 2022	ISSUED TO CLIENT FOR PRELIMINARY REVIEW

No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
 64 JARDIN DR. SUITE 3A
 VAUGHAN ONT. L4K 3P3
 TEL: 905 660-3377 FAX: 905 660-3713
 EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION
 Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

Walter Botter *Walter Botter* 21031
 NAME SIGNATURE BCIN

REGISTRATION INFORMATION
 Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

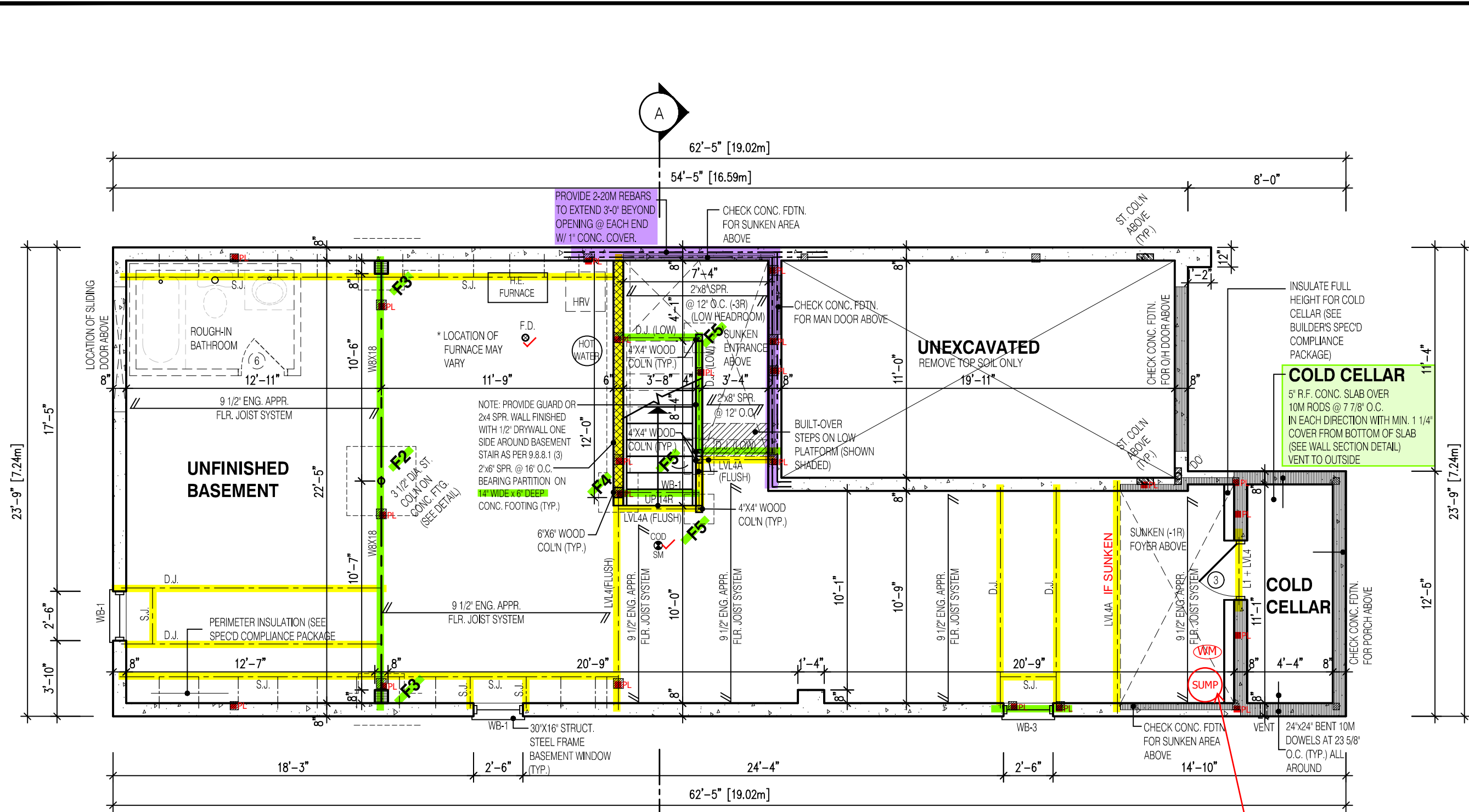
jardin design group inc. 27763
 FIRM NAME BCIN

BASEMENT PLAN EL-1
BARLASSINA CONSTRUCTION
CITY OF CAMBRIDGE

MODEL:
 GARDEN 3 (GR)

SCALE:
 3/16" = 1'-0"

PROJ. No. DWG. No.
 21-35 1



REQUIRED CONTINUOUS INSULATION CANNOT BE INTERRUPTED BY FRAMING MEMBERS SUCH AS STUDS

NON-LOAD BEARING WALLS NOT PERMITTED TO BE FRAMED (TYP.)

MINIMUM CEILING HEIGHT 6'-11"
MINIMUM CEILING HEIGHT UNDER BULKHEADS 6'-5"

3 1/2" x 3 1/2" x 1/4" STEEL BRICK ANGLE TYPICAL UP TO MAX. 8'-1" SPAN
VERIFY WATER METER AND DWHR UNIT LOCATION WITH INSPECTOR
SPRAY FOAM/RIGID INSULATION TO BE PROTECTED AS PER 9.10.17.10.(1)

WATER METER TO BE INSTALLED WITHIN 2m (6'-6") FROM THE POINT THE WATER SERVICE PIPE MEETS THE BUILDING LINE

NOT THE GRANTING OF A PERMIT NOR REVIEWING OF SPECS & DRAWINGS NOR INSPECTIONS MADE DURING INSTALLATION BY THE OFFICIAL HAVING JURISDICTION SHALL RELIEVE THE OWNER FROM REQUIREMENTS OF THE ONTARIO BUILDING CODE AND ANY OTHER REFERENCED REQUIREMENTS.

NOTE:
 REFER TO SHEET NO. 0-1 FOR LINTEL, BEAMS AND DOOR SIZE

NOTE:
 SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

NOTE:
 THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS LAYOUT BY MANUFACTURER.

NOTE:
 SUBFLOOR TO BE 3/4" PLYWOOD ON THIS LEVEL

NOTE:
 ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL

LEGEND:

- BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D)
- INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
- STL. PLATE FOR STEEL COL'N ABOVE
- LVL LAMINATED VENEER LUMBER
- S.J. SINGLE JOIST
- D.J. DOUBLE JOIST
- T.J. TRIPLE JOIST
- REPEAT NOTE
- SHOWER WEEPERS

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of CAMBRIDGE.

STRUDET INC.

B. Marinkovic
 B. MARINKOVIC
 REG. PROFESSIONAL ENGINEER
 SEP 13/2022
 PROVINCE OF ONTARIO

FOR STRUCTURE ONLY

2400
GARDEN 3 (GR)
ELEVATION 1
A1 PACKAGE
O.REG. 332/12

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.

AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.

JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

THIS DRAWING IS AN INSTRUMENT OF SERVICE. IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE SCALED.

7		
6	AUG. 10, 2022	ISSUED FOR BUILDING PERMIT
5	AUG. 3, 2022	COORDINATED FLOOR, ROOF AND ENGINEER COMMENTS
4	JUN. 2, 2022	REVISED AS PER CLIENT COMMENTS & RE-ISSUED TO CLIENT
3	MAY 10, 2022	PREPARED TO PRE-COORDINATION STAGE & ISSUED TO CLIENT
2	MAR. 23, 2022	REVISED AS PER CLIENT & ISSUED FOR BROCHURE
1	JAN. 26, 2022	ISSUED TO CLIENT FOR PRELIMINARY REVIEW

No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
 64 JARDIN DR. SUITE 3A
 VAUGHAN ONT. L4K 3P3
 TEL: 905 660-3377 FAX: 905 660-3713
 EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION
 Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

Walter Botter *Walter Botter* 21031
 NAME SIGNATURE BCIN

REGISTRATION INFORMATION
 Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

jardin design group inc. 27763
 FIRM NAME BCIN

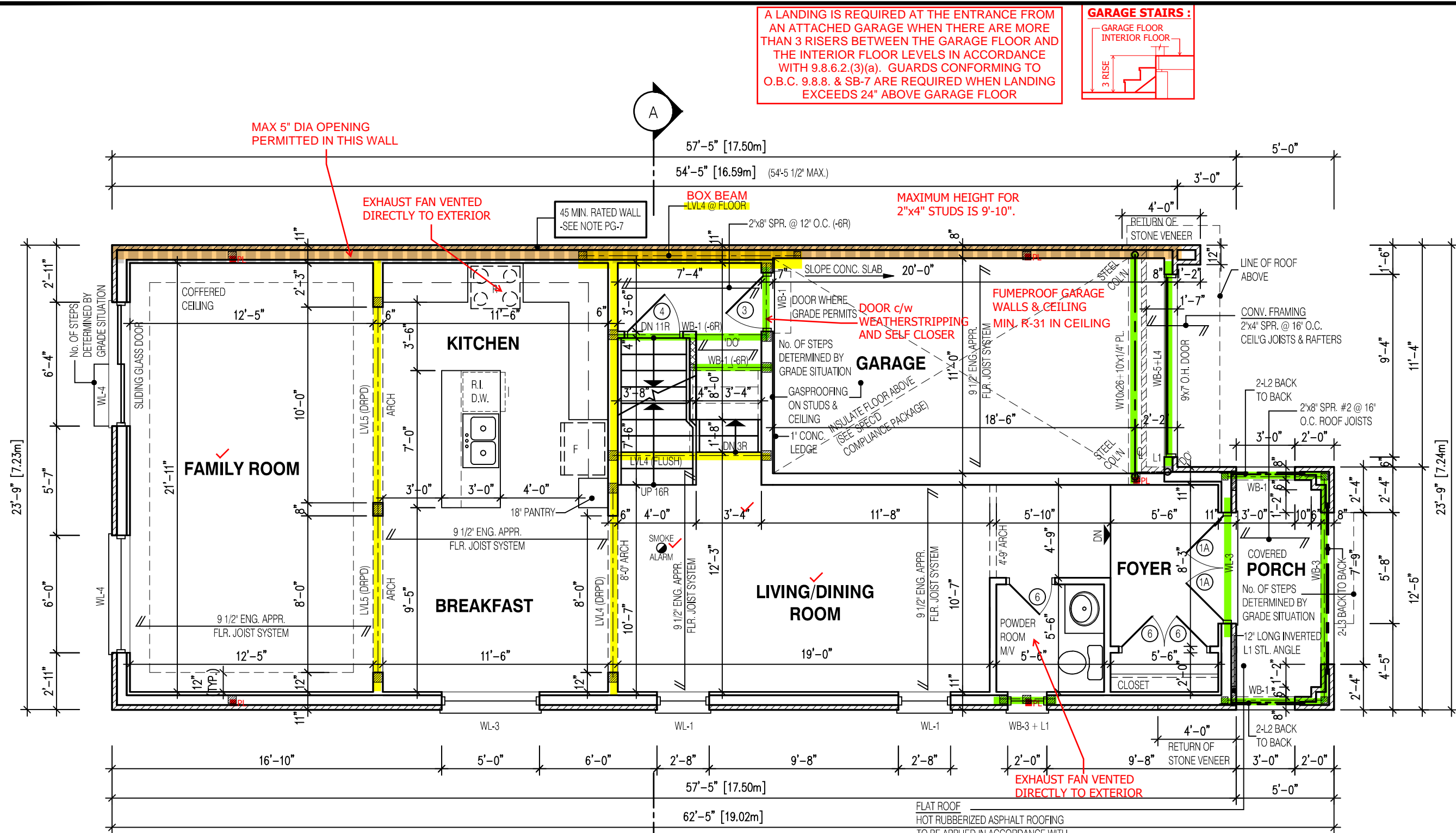
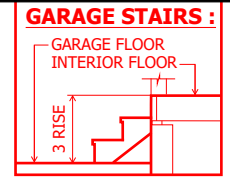
FIRST FLOOR PLAN EL-1
BARLASSINA CONSTRUCTION
CITY OF CAMBRIDGE

MODEL:
 GARDEN 3 (GR)

SCALE:
 3/16" = 1'-0"

PROJ. No. DWG. No.
 21-35 2

A LANDING IS REQUIRED AT THE ENTRANCE FROM AN ATTACHED GARAGE WHEN THERE ARE MORE THAN 3 RISERS BETWEEN THE GARAGE FLOOR AND THE INTERIOR FLOOR LEVELS IN ACCORDANCE WITH 9.8.6.2.(3)(a). GUARDS CONFORMING TO O.B.C. 9.8.8. & SB-7 ARE REQUIRED WHEN LANDING EXCEEDS 24" ABOVE GARAGE FLOOR



NOT THE GRANTING OF A PERMIT NOR REVIEWING OF SPECS & DRAWINGS NOR INSPECTIONS MADE DURING INSTALLATION BY THE OFFICIAL HAVING JURISDICTION SHALL RELIEVE THE OWNER FROM REQUIREMENTS OF THE ONTARIO BUILDING CODE AND ANY OTHER REFERENCED REQUIREMENTS.

*TRACE ALL POINT LOADS THROUGH FLOOR SYSTEM TO SOLID BEARING BELOW

NOTE: THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED ROOF TRUSS DRAWINGS BY MANUFACTURER.	NOTE: SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7"
NOTE: REFER TO SHEET NO. 0-1 FOR LINTEL, BEAMS AND DOOR SIZE	NOTE: THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS LAYOUT BY MANUFACTURER.

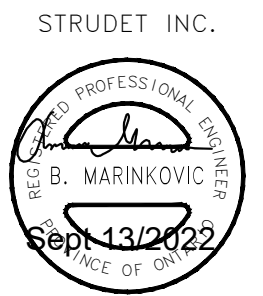
NOTE:
SUBFLOOR TO BE 5/8" PLYWOOD ON THIS LEVEL
ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL

LEGEND:

- BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D)
- INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
- STL. PLATE FOR STEEL COL'N ABOVE
- LVL LAMINATED VENEER LUMBER
- S.J. SINGLE JOIST
- D.J. DOUBLE JOIST
- T.J. TRIPLE JOIST
- REPEAT NOTE
- SHOWER WEEPERS

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of CAMBRIDGE.



FOR STRUCTURE ONLY

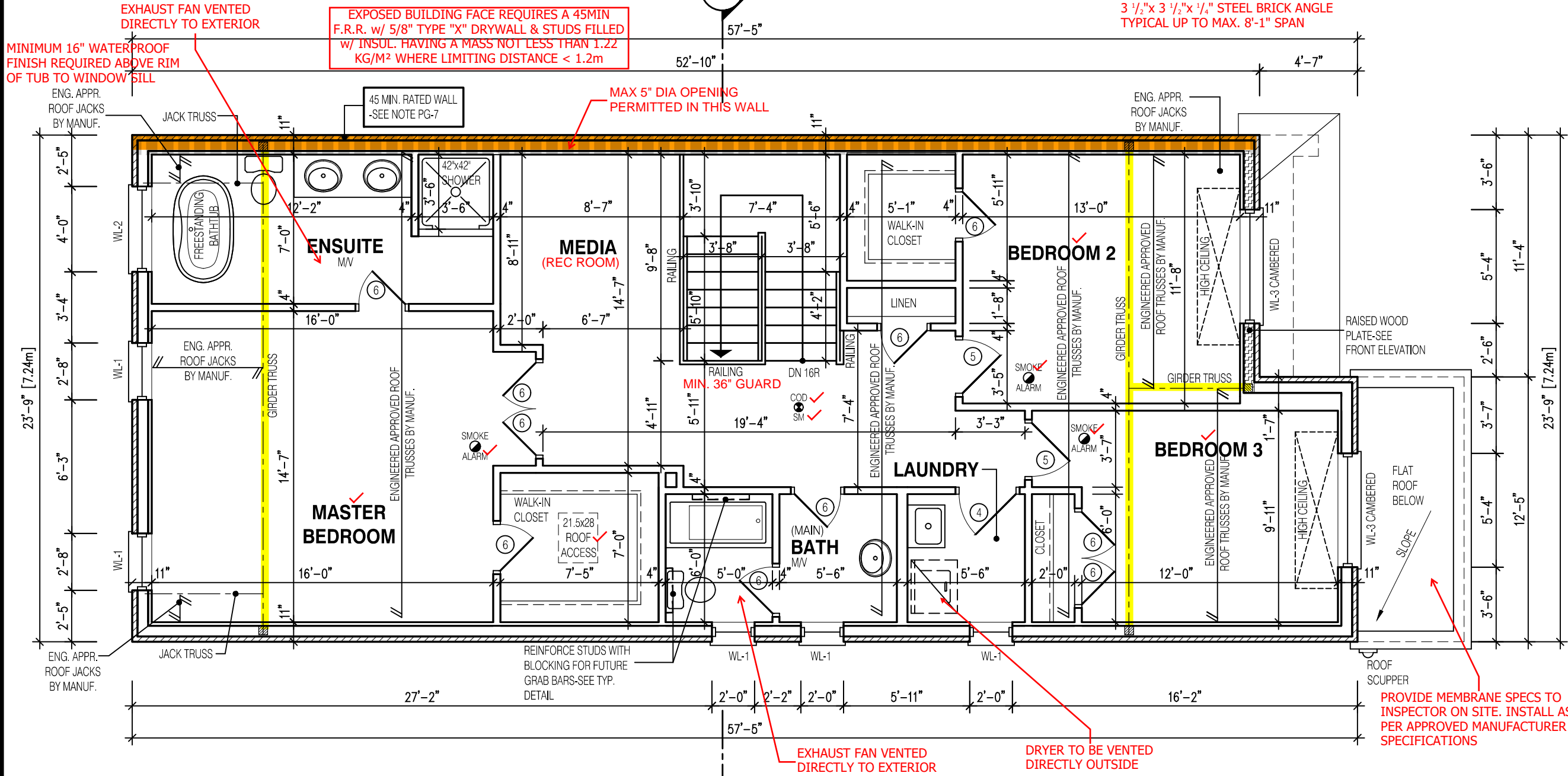
2400
GARDEN 3 (GR)
ELEVATION 1
A1 PACKAGE
O.REG. 332/12

1 WINDOW SHALL PROVIDE AN UNOBSTRUCTED AREA OF 3.8SF w/ NO DIMENSION LESS THAN 15". WINDOW SILL TO BE MAX 39-3/8" ABOVE FINISHED FLOOR.

MAIN BATHROOM TO HAVE STUD BLOCKING FOR FUTURE INSTALLATION OF GRAB BARS ADJACENT TO SHOWER/TUB AND TOILET.

NOT THE GRANTING OF A PERMIT NOR REVIEWING OF SPECS & DRAWINGS NOR INSPECTIONS MADE DURING INSTALLATION BY THE OFFICIAL HAVING JURISDICTION SHALL RELIEVE THE OWNER FROM REQUIREMENTS OF THE ONTARIO BUILDING CODE AND ANY OTHER REFERENCED REQUIREMENTS.

OVERFRAMING
 2x6 RAFTERS @ 16" o/c. 2x8 RIDGE, HIPS AND VALLEYS



NOTE:
 THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED ROOF TRUSS DRAWINGS BY MANUFACTURER.

- LEGEND:**
- BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D)
 - INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
 - STL. PLATE FOR STEEL COL'N ABOVE
 - LVL LAMINATED VENEER LUMBER
 - S.J. SINGLE JOIST
 - D.J. DOUBLE JOIST
 - T.J. TRIPLE JOIST
 - REPEAT NOTE
 - SHOWER WEEPERS

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of CAMBRIDGE.

STRUDET INC.
 REGISTERED PROFESSIONAL ENGINEER
 B. MARINKOVIC
 Sept 13/2022
 FOR STRUCTURE ONLY

7		
6	AUG. 10, 2022	ISSUED FOR BUILDING PERMIT
5	AUG. 3, 2022	COORDINATED FLOOR, ROOF AND ENGINEER COMMENTS
4	JUN. 2, 2022	REVISED AS PER CLIENT COMMENTS & RE-ISSUED TO CLIENT
3	MAY 10, 2022	PREPARED TO PRE-COORDINATION STAGE & ISSUED TO CLIENT
2	MAR. 23, 2022	REVISED AS PER CLIENT & ISSUED FOR BROCHURE
1	JAN. 26, 2022	ISSUED TO CLIENT FOR PRELIMINARY REVIEW

No: DATE: WORK DESCRIPTION:

jardin
 DESIGN GROUP INC
 64 JARDIN DR. SUITE 3A
 VAUGHAN ONT. L4K 3P3
 TEL: 905 660-3377 FAX: 905 660-3713
 EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

Walter Botter *Walter Botter* 21031
 NAME SIGNATURE BCIN
 REGISTRATION INFORMATION
 Required unless design is exempt under Division C, Subsection 3.2.4 of the building code
jardin design group inc. 27763
 FIRM NAME BCIN

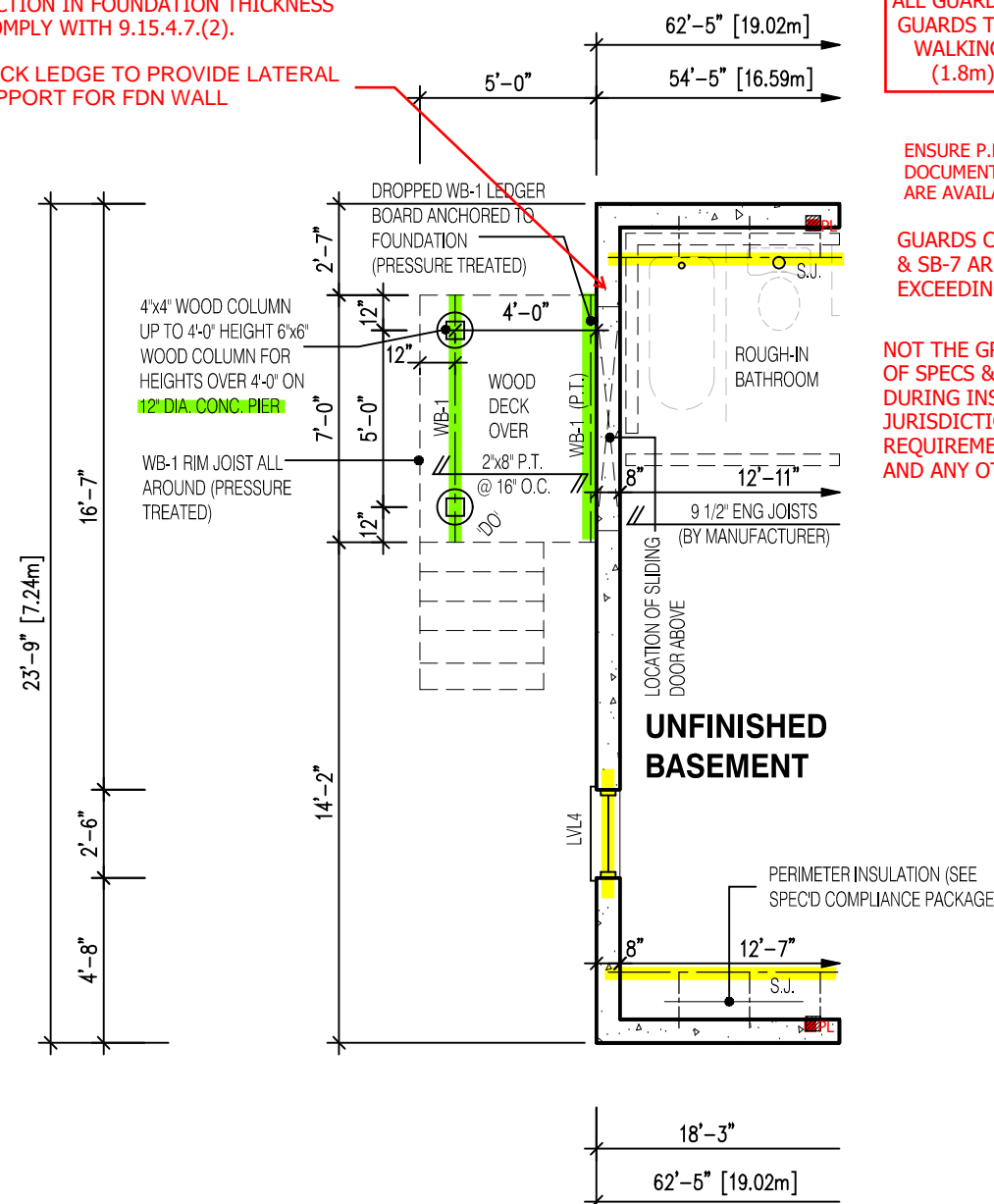
SEC. FLOOR PLAN EL-1
 BARLASSINA CONSTRUCTION
 CITY OF CAMBRIDGE

MODEL:
 GARDEN 3 (GR)
 SCALE:
 3/16" = 1'-0"
 PROJ. No. DWG. No.
 21-35 3



REDUCTION IN FOUNDATION THICKNESS TO COMPLY WITH 9.15.4.7.(2).

BRICK LEDGE TO PROVIDE LATERAL SUPPORT FOR FDN WALL



PARTIAL BASEMENT LAYOUT FOR DECK CONDITION EL-1

LOOK OUT DECK

NOTE:
SUBFLOOR TO BE 3/4" PLYWOOD ON THIS LEVEL
ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL

NOTE:
REFER TO SHEET NO. 0 - FOR LINTEL, BEAMS AND DOOR SIZE

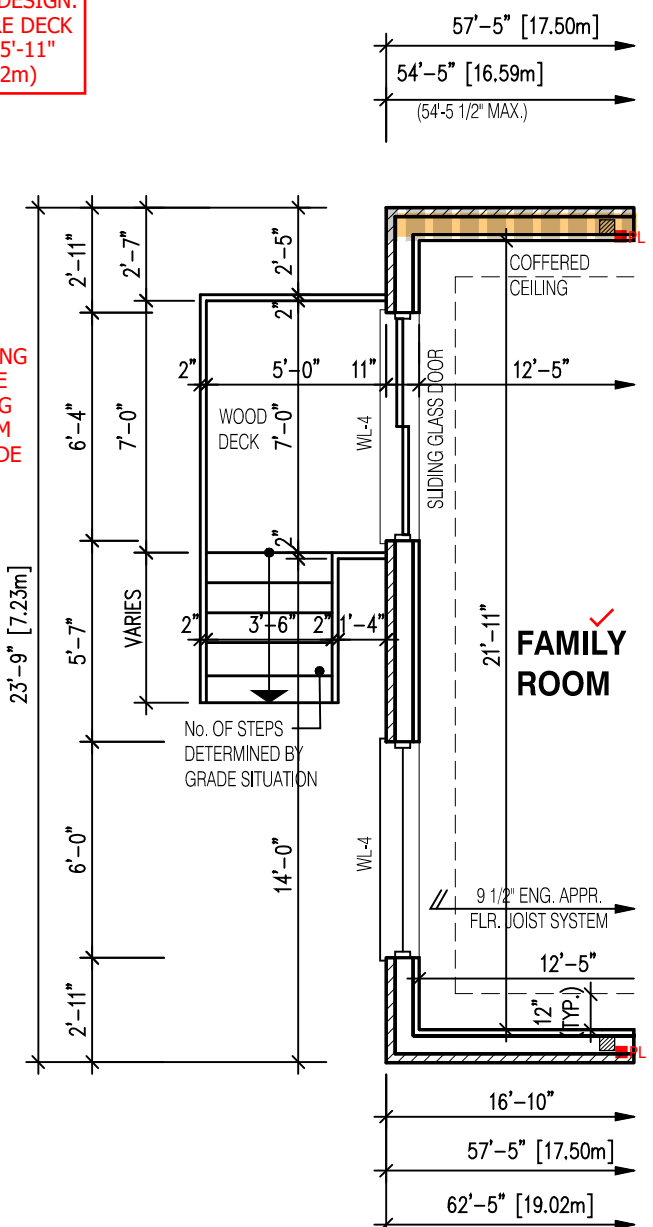
NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED ROOF TRUSS DRAWINGS BY MANUFACTURER.

ALL GUARDS TO COMPLY WITH SB-7 OR P.ENG DESIGN. GUARDS TO BE MIN. 36" HIGH (900mm). WHERE DECK WALKING SURFACE TO FIN. GRADE EXCEEDS 5'-11" (1.8m), GUARD HEIGHT TO BE 42" HIGH (1.2m)

ENSURE P.ENG STAMPED RAILING DOCUMENTATION AND ATTACHMENT DETAILS ARE AVAILABLE FOR REVIEW BY THE INSPECTOR

GUARDS CONFORMING TO O.B.C. 9.8.8. & SB-7 ARE REQUIRED FOR PORCHES EXCEEDING 24" ABOVE GRADE.

NOT THE GRANTING OF A PERMIT NOR REVIEWING OF SPECS & DRAWINGS NOR INSPECTIONS MADE DURING INSTALLATION BY THE OFFICIAL HAVING JURISDICTION SHALL RELIEVE THE OWNER FROM REQUIREMENTS OF THE ONTARIO BUILDING CODE AND ANY OTHER REFERENCED REQUIREMENTS.



PARTIAL FIRST FLOOR LAYOUT FOR DECK CONDITION EL-1

LOOK OUT DECK

NOTE:
SUBFLOOR TO BE 5/8" PLYWOOD ON THIS LEVEL
ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL

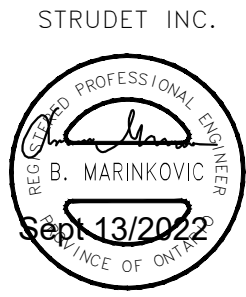
NOTE:
SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS LAYOUT BY MANUFACTURER.

- LEGEND:**
- BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D)
 - ▨ INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
 - ▩ STL. PLATE FOR STEEL COL'N ABOVE
 - LVL LAMINATED VENEER LUMBER
 - S.J. SINGLE JOIST
 - D.J. DOUBLE JOIST
 - T.J. TRIPLE JOIST
 - REPEAT NOTE
 - SHOWER WEEPERS

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of CAMBRIDGE.



FOR STRUCTURE ONLY

2400
GARDEN 3 (GR)
ELEVATION 1
A1 PACKAGE
O.REG. 332/12

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.

AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.

JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

THIS DRAWING IS AN INSTRUMENT OF SERVICE. IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE SCALED.

7		
6	AUG. 10, 2022	ISSUED FOR BUILDING PERMIT
5	AUG. 3, 2022	COORDINATED FLOOR, ROOF AND ENGINEER COMMENTS
4	JUN. 2, 2022	REVISED AS PER CLIENT COMMENTS & RE-ISSUED TO CLIENT
3	MAY 10, 2022	PREPARED TO PRE-COORDINATION STAGE & ISSUED TO CLIENT
2	MAR. 23, 2022	REVISED AS PER CLIENT & ISSUED FOR BROCHURE
1	JAN. 26, 2022	ISSUED TO CLIENT FOR PRELIMINARY REVIEW

No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

Walter Botter *Walter Botter* 21031
NAME SIGNATURE BCIN

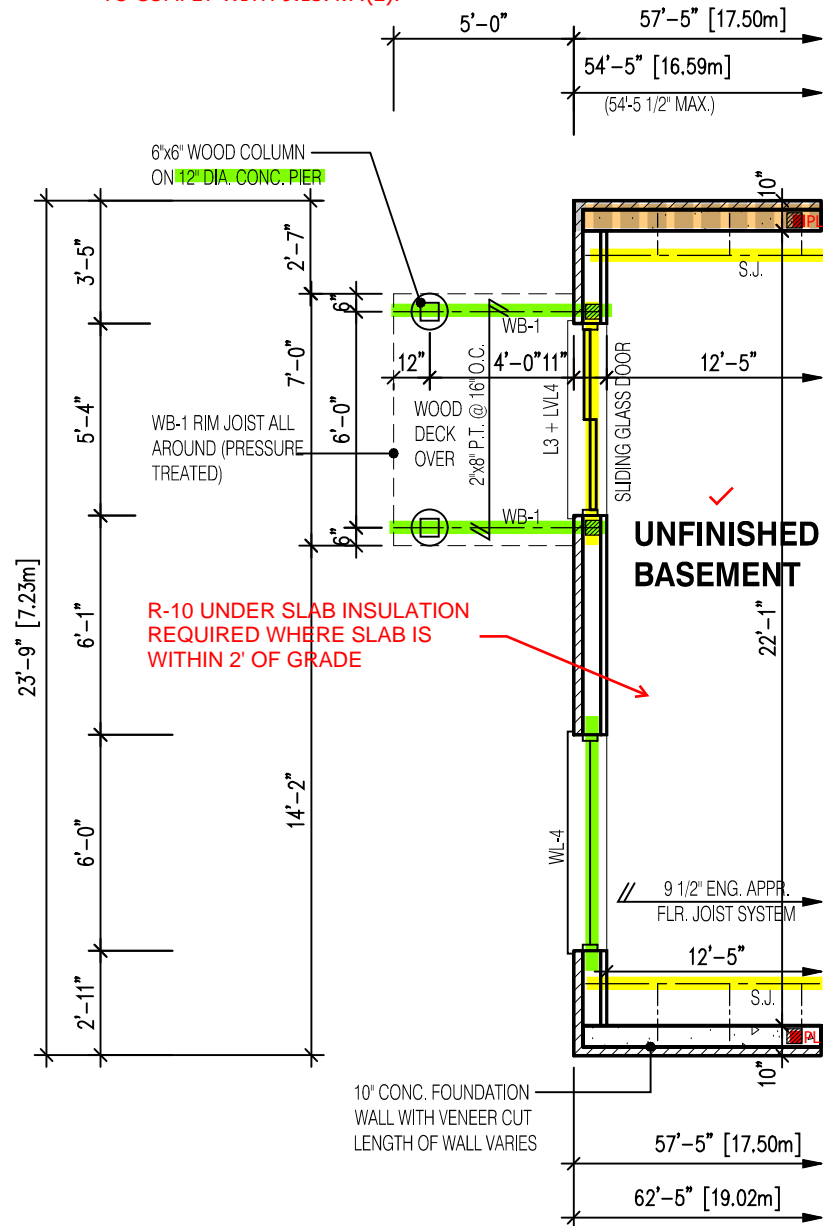
REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

jardin design group inc. 27763
FIRM NAME BCIN

DECK CONDITION EL-1
BARLASSINA CONSTRUCTION
CITY OF CAMBRIDGE

MODEL:
GARDEN 3 (GR)
SCALE:
3/16" = 1'-0"
PROJ. No. DWG. No.
21-35 3-1

REDUCTION IN FOUNDATION THICKNESS TO COMPLY WITH 9.15.4.7.(2).



NOTE:
SUBFLOOR TO BE 3/4" PLYWOOD ON THIS LEVEL
ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL

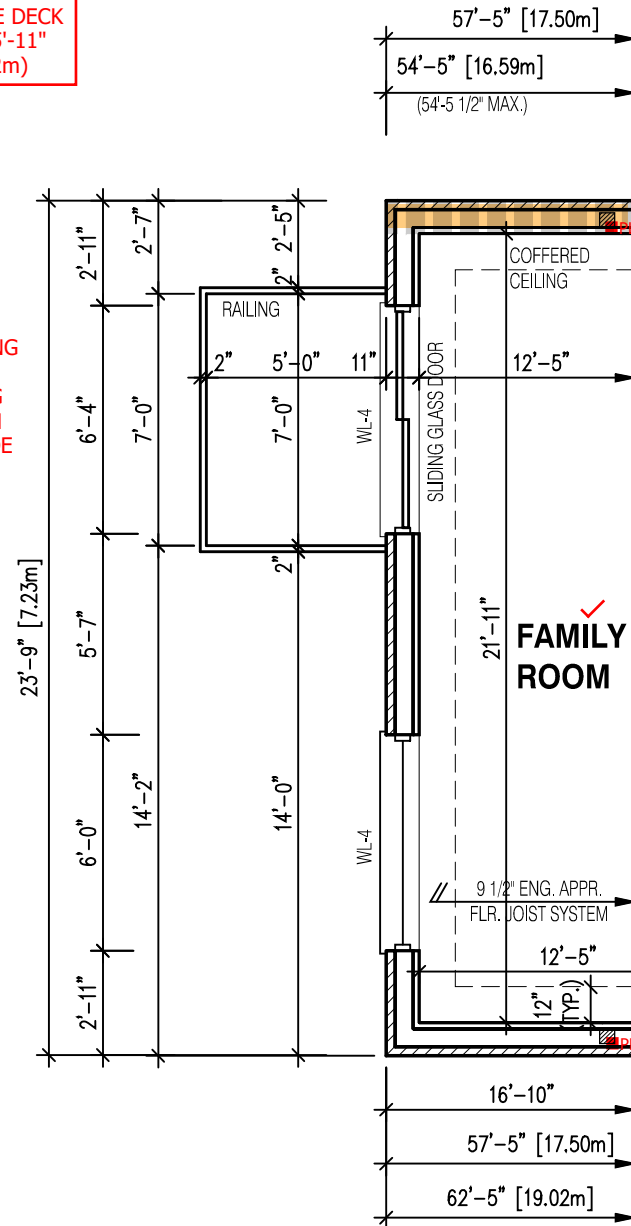
PARTIAL BASEMENT LAYOUT FOR WALK-OUT EL-1

ALL GUARDS TO COMPLY WITH SB-7 OR P.ENG DESIGN. GUARDS TO BE MIN. 36" HIGH (900mm). WHERE DECK WALKING SURFACE TO FIN. GRADE EXCEEDS 5'-11" (1.8m), GUARD HEIGHT TO BE 42" HIGH (1.2m)

ENSURE P.ENG STAMPED RAILING DOCUMENTATION AND ATTACHMENT DETAILS ARE AVAILABLE FOR REVIEW BY THE INSPECTOR

GUARDS CONFORMING TO O.B.C. 9.8.8. & SB-7 ARE REQUIRED FOR PORCHES EXCEEDING 24" ABOVE GRADE.

NOT THE GRANTING OF A PERMIT NOR REVIEWING OF SPECS & DRAWINGS NOR INSPECTIONS MADE DURING INSTALLATION BY THE OFFICIAL HAVING JURISDICTION SHALL RELIEVE THE OWNER FROM REQUIREMENTS OF THE ONTARIO BUILDING CODE AND ANY OTHER REFERENCED REQUIREMENTS.



NOTE:
SUBFLOOR TO BE 5/8" PLYWOOD ON THIS LEVEL
ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL

PARTIAL FIRST FLOOR LAYOUT WITH BASEMENT WALK-OUT EL-1

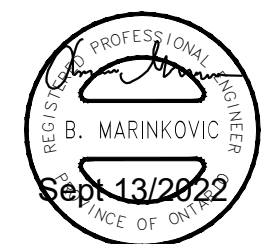
LEGEND:

- BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D)
- ▨ INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
- ▩ STL. PLATE FOR STEEL COL'N ABOVE
- LVL LAMINATED VENEER LUMBER
- S.J. SINGLE JOIST
- D.J. DOUBLE JOIST
- T.J. TRIPLE JOIST
- REPEAT NOTE
- SHOWER WEEPERS

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of CAMBRIDGE.

STRUDET INC.



FOR STRUCTURE ONLY

2400
GARDEN 3 (GR)
ELEVATION 1
A1 PACKAGE
O.REG. 332/12

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.
AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.
JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
THIS DRAWING IS AN INSTRUMENT OF SERVICE. IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE SCALED.

7		
6	AUG. 10, 2022	ISSUED FOR BUILDING PERMIT
5	AUG. 3, 2022	COORDINATED FLOOR, ROOF AND ENGINEER COMMENTS
4	JUN. 2, 2022	REVISED AS PER CLIENT COMMENTS & RE-ISSUED TO CLIENT
3	MAY 10, 2022	PREPARED TO PRE-COORDINATION STAGE & ISSUED TO CLIENT
2	MAR. 23, 2022	REVISED AS PER CLIENT & ISSUED FOR BROCHURE
1	JAN. 26, 2022	ISSUED TO CLIENT FOR PRELIMINARY REVIEW

No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer
QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

Walter Botter *Walter Botter* 21031
NAME SIGNATURE BCIN
REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code
jardin design group inc. 27763
FIRM NAME BCIN

WALK-OUT CONDITION EL-1
BARLASSINA CONSTRUCTION
CITY OF CAMBRIDGE

MODEL:
GARDEN 3 (GR)
SCALE:
3/16" = 1'-0"
PROJ. No. DWG. No.
21-35 3-2

NOTE:
WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC. FOUNDATION WALL IS REQUIRED. (FOUNDATION PLAN TO BE REVIEWED IN CONJUNCTION WITH SITE PLAN)

NOTE:
REFER TO SHEET NO. 0 - FOR LINTEL, BEAMS AND DOOR SIZE

NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED ROOF TRUSS DRAWINGS BY MANUFACTURER .

NOTE:
SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7, 2 ROWS FOR SPANS GREATER THAN 7'

NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS LAYOUT BY MANUFACTURER .

1 WINDOW SHALL PROVIDE AN UNOBSTRUCTED ARE OF 3.8SF w/ NO DIMENSION LESS THAN 15". WINDOW SILL TO BE MAX 39-3/8" ABOVE FINISHED FLOOR.

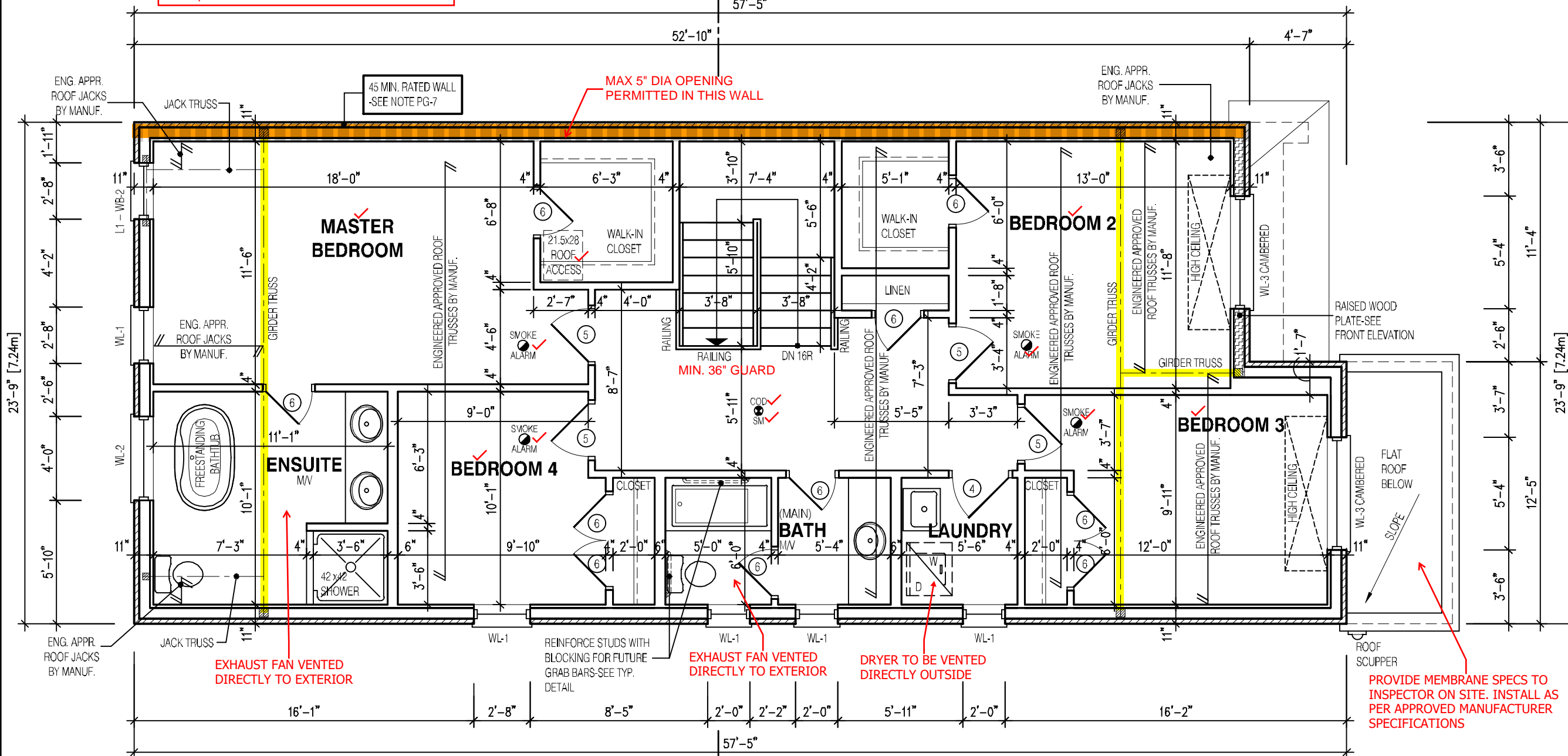
MAIN BATHROOM TO HAVE STUD BLOCKING FOR FUTURE INSTALLATION OF GRAB BARS ADJACENT TO SHOWER/TUB AND TOILET.

EXPOSED BUILDING FACE REQUIRES A 45MIN F.R.R. w/ 5/8" TYPE "X" DRYWALL & STUDS FILLED w/ INSUL. HAVING A MASS NOT LESS THAN 1.22 KG/M² WHERE LIMITING DISTANCE < 1.2m

NOT THE GRANTING OF A PERMIT NOR REVIEWING OF SPECS & DRAWINGS NOR INSPECTIONS MADE DURING INSTALLATION BY THE OFFICIAL HAVING JURISDICTION SHALL RELIEVE THE OWNER FROM REQUIREMENTS OF THE ONTARIO BUILDING CODE AND ANY OTHER REFERENCED REQUIREMENTS.

3 1/2"x 3 1/2"x 1/4" STEEL BRICK ANGLE TYPICAL UP TO MAX. 8'-1" SPAN

OVERFRAMING
2x6 RAFTERS @ 16" o/c. 2x8 RIDGE, HIPS AND VALLEYS



MINIMUM 16" WATERPROOF FINISH REQUIRED ABOVE RIM OF TUB TO WINDOW SILL

ALT. - 4 BEDROOM LAYOUT

NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED ROOF TRUSS DRAWINGS BY MANUFACTURER.

- LEGEND:**
- BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D)
 - INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
 - STL. PLATE FOR STEEL COL'N ABOVE
 - LVL LAMINATED VENEER LUMBER
 - S.J. SINGLE JOIST
 - D.J. DOUBLE JOIST
 - T.J. TRIPLE JOIST
 - REPEAT NOTE
 - SHOWER WEEPERS

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of CAMBRIDGE.

STRUDET INC.



FOR STRUCTURE ONLY

2400
GARDEN 3 (GR)
ELEVATION 1
A1 PACKAGE
O.REG. 332/12

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.
AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.
JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT OR FINAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
THIS DRAWING IS AN INSTRUMENT OF SERVICE. IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED.

7		
6		
5		
4		
3		
2		
1	JAN. 11, 2023	ADDED 4 BEDROOM LAYOUT PER CLIENT REQUEST

No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

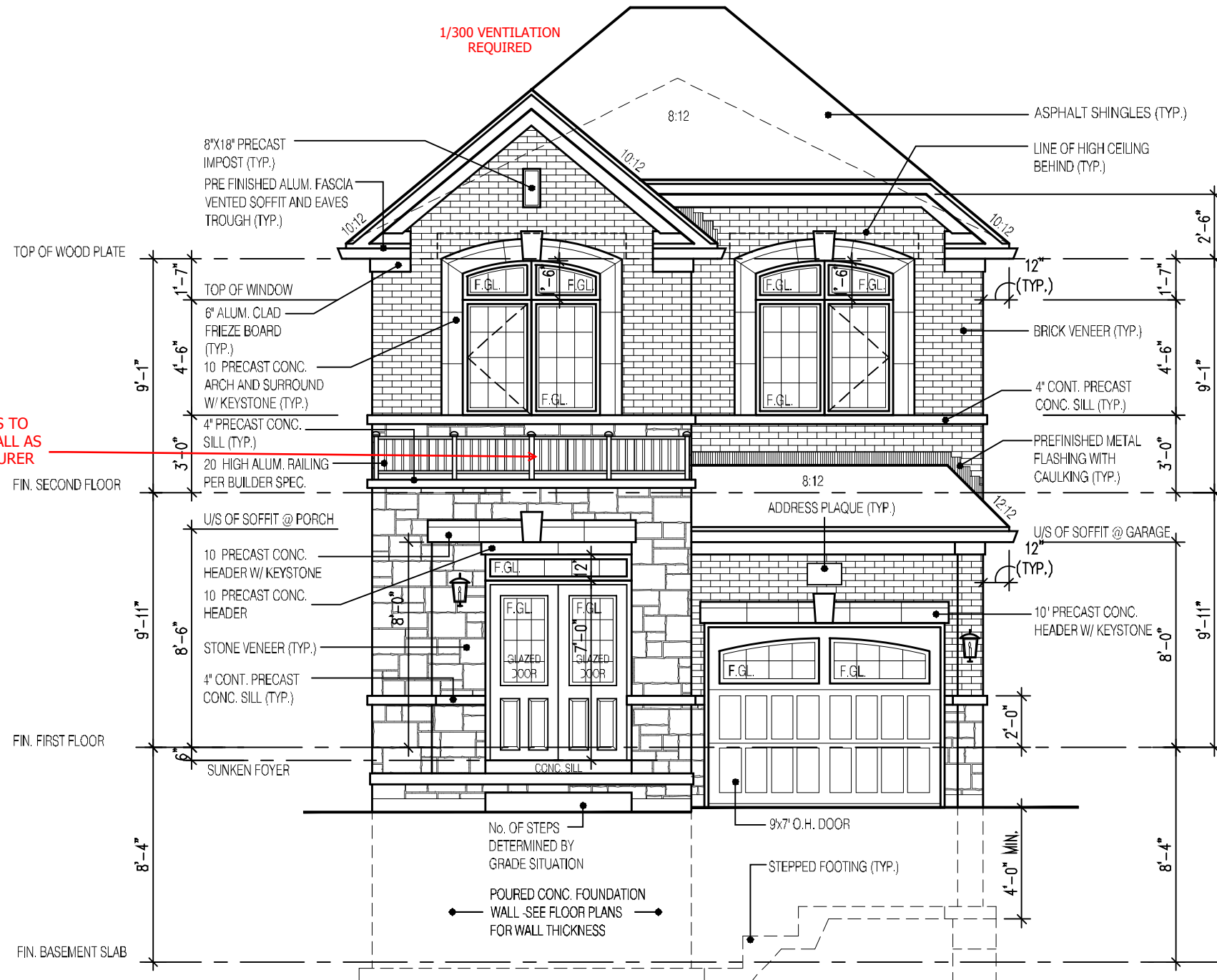
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer
QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

Walter Botter *WBE* 21031
NAME SIGNATURE BCIN
REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code
jardin design group inc. 27763
FIRM NAME BCIN

ALT.-SEC. FL. PL. EL-1
BARLASSINA CONSTRUCTION
CITY OF CAMBRIDGE

	MODEL: GARDEN 3 (GR)
	SCALE: 3/16"=1'-0"
PROJ. No. 21-35	DWG. No. 3-3

3 1/2" x 3 1/2" x 1/4" STEEL BRICK ANGLE
TYPICAL UP TO MAX. 8'-1" SPAN



FRONT ELEVATION 1

NOT THE GRANTING OF A PERMIT NOR REVIEWING OF SPECS & DRAWINGS NOR INSPECTIONS MADE DURING INSTALLATION BY THE OFFICIAL HAVING JURISDICTION SHALL RELIEVE THE OWNER FROM REQUIREMENTS OF THE ONTARIO BUILDING CODE AND ANY OTHER REFERENCED REQUIREMENTS.

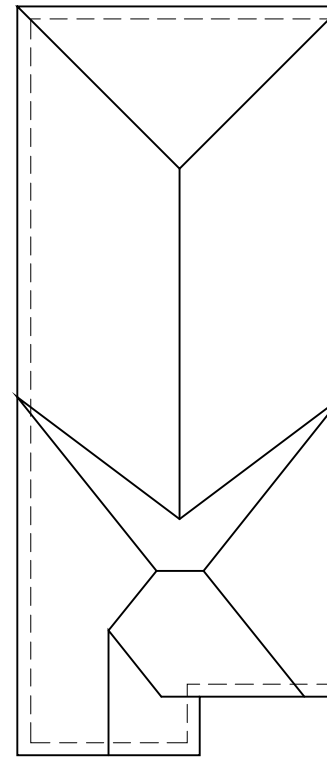
A LIGHT IS REQUIRED AT ALL ENTRANCES TO A SINGLE FAMILY DWELLING

ENSURE P.ENG STAMPED RAILING DOCUMENTATION AND ATTACHMENT DETAILS ARE AVAILABLE FOR REVIEW BY THE INSPECTOR

EXTERIOR CONCRETE STAIRS w/ MORE THAN 2 RISERS TO MEET THE REQUIREMENTS OF 9.8.9.2.(1)

STEP FOOTINGS. MAX 24" RISE, MIN 24" RUN

GUARDS CONFORMING TO O.B.C. 9.8.8. & SB-7 ARE REQUIRED FOR PORCHES EXCEEDING 24" ABOVE GRADE.



ROOF PLAN

N.T.S.

2400
GARDEN 3 (GR)
ELEVATION 1
A1 PACKAGE
O.REG. 332/12

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK. AS CONSTRUCTED DETAILS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.

JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO Carry OUT OR FINAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO Carry OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

THIS DRAWING IS AN INSTRUMENT OF SERVICE IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED.

7		
6	AUG. 10, 2022	ISSUED FOR BUILDING PERMIT
5	AUG. 3, 2022	COORDINATED FLOOR, ROOF AND ENGINEER COMMENTS
4	JUN. 2, 2022	REVISED AS PER CLIENT COMMENTS & RE-ISSUED TO CLIENT
3	MAY 10, 2022	PREPARED TO PRE-COORDINATION STAGE & ISSUED TO CLIENT
2	MAR. 23, 2022	REVISED AS PER CLIENT & ISSUED FOR BROCHURE
1	JAN. 26, 2022	ISSUED TO CLIENT FOR PRELIMINARY REVIEW

No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

Walter Botter *Walter Botter* 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

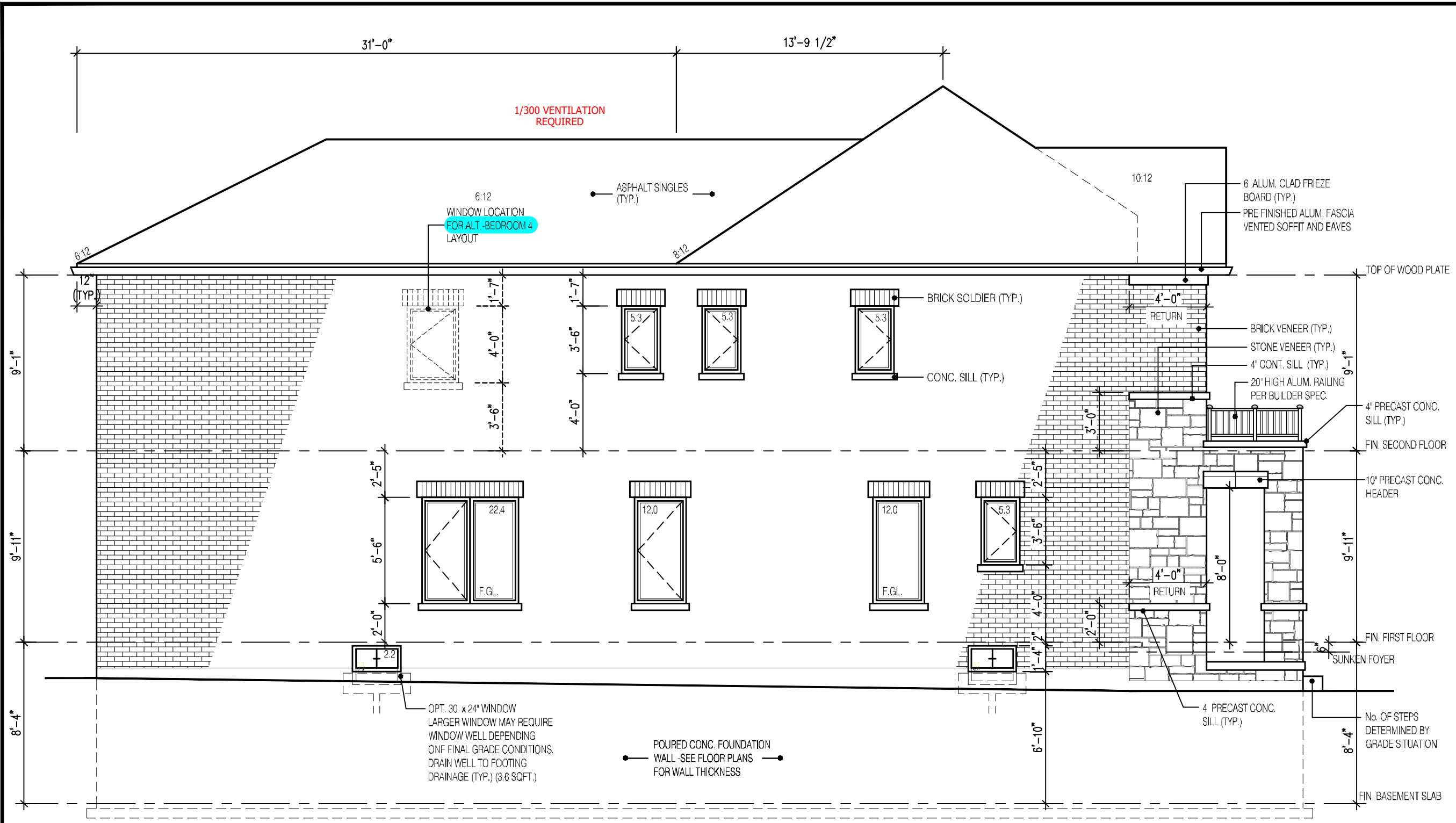
Jardin design group inc. 27763
FIRM NAME BCIN

FRONT ELEVATION 1
BARLASSINA CONSTRUCTION
CITY OF CAMBRIDGE

	MODEL:	GARDEN 3 (GR)
	SCALE:	3/16"=1'-0"
	PROJ. No.	21-35
	DWG. No.	4

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of CAMBRIDGE.



2400
GARDEN 3 (GR)
ELEVATION 1
A1 PACKAGE
O.REG. 332/12

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.
 JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.
 AS CONSTRUCTED DETAILS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.
 JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO Carry OUT OFFICIAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO Carry OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
 THIS DRAWING IS AN INSTRUMENT OF SERVICE IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED.

7	JAN. 12, 2023	SHOWED WINDOW LOCATION FOR ALT. 4 BEDROOM LAYOUT PER CLIENT REQUEST
6	AUG. 10, 2022	ISSUED FOR BUILDING PERMIT
5	AUG. 3, 2022	COORDINATED FLOOR, ROOF AND ENGINEER COMMENTS
4	JUN. 2, 2022	REVISED AS PER CLIENT COMMENTS & RE-ISSUED TO CLIENT
3	MAY 10, 2022	PREPARED TO PRE-COORDINATION STAGE & ISSUED TO CLIENT
2	MAR. 23, 2022	REVISED AS PER CLIENT & ISSUED FOR BROCHURE
1	JAN. 26, 2022	ISSUED TO CLIENT FOR PRELIMINARY REVIEW

No: DATE: WORK DESCRIPTION:

jardin
 DESIGN GROUP INC
 64 JARDIN DR. SUITE 3A
 VAUGHAN ONT. L4K 3P3
 TEL: 905 660-3377 FAX: 905 660-3713
 EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
 QUALIFICATION INFORMATION
 Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

Walter Botter *Walter Botter* 21031
 NAME SIGNATURE BCIN
 REGISTRATION INFORMATION
 Required unless design is exempt under Division C, Subsection 3.2.4 of the building code
 Jardin design group inc. 27763
 FIRM NAME BCIN

SIDE ELEVATION 1
BARLASSINA CONSTRUCTION
CITY OF CAMBRIDGE

BILD
 MODEL: GARDEN 3 (GR)
 SCALE: 3/16"=1'-0"
 PROJ. No. 21-35 DWG. No. 5

LEFT SIDE ELEVATION 1

UNPROTECTED OPENINGS

3-BEDROOM LAYOUT

WALL AREA	1224.0	⊕
ALLOWABLE WINDOW AREA @ 7.0%1.2MSIDEYARD	85.68	⊕
ACTUAL GLAZED AREA	71.94	⊕
WITH OPTIONAL 30"x24" BASEMENT WINDOWS ✓		
ACTUAL GLASS AREA	74.83	⊕

UNPROTECTED OPENINGS

ALT. - 4 -BEDROOM LAYOUT

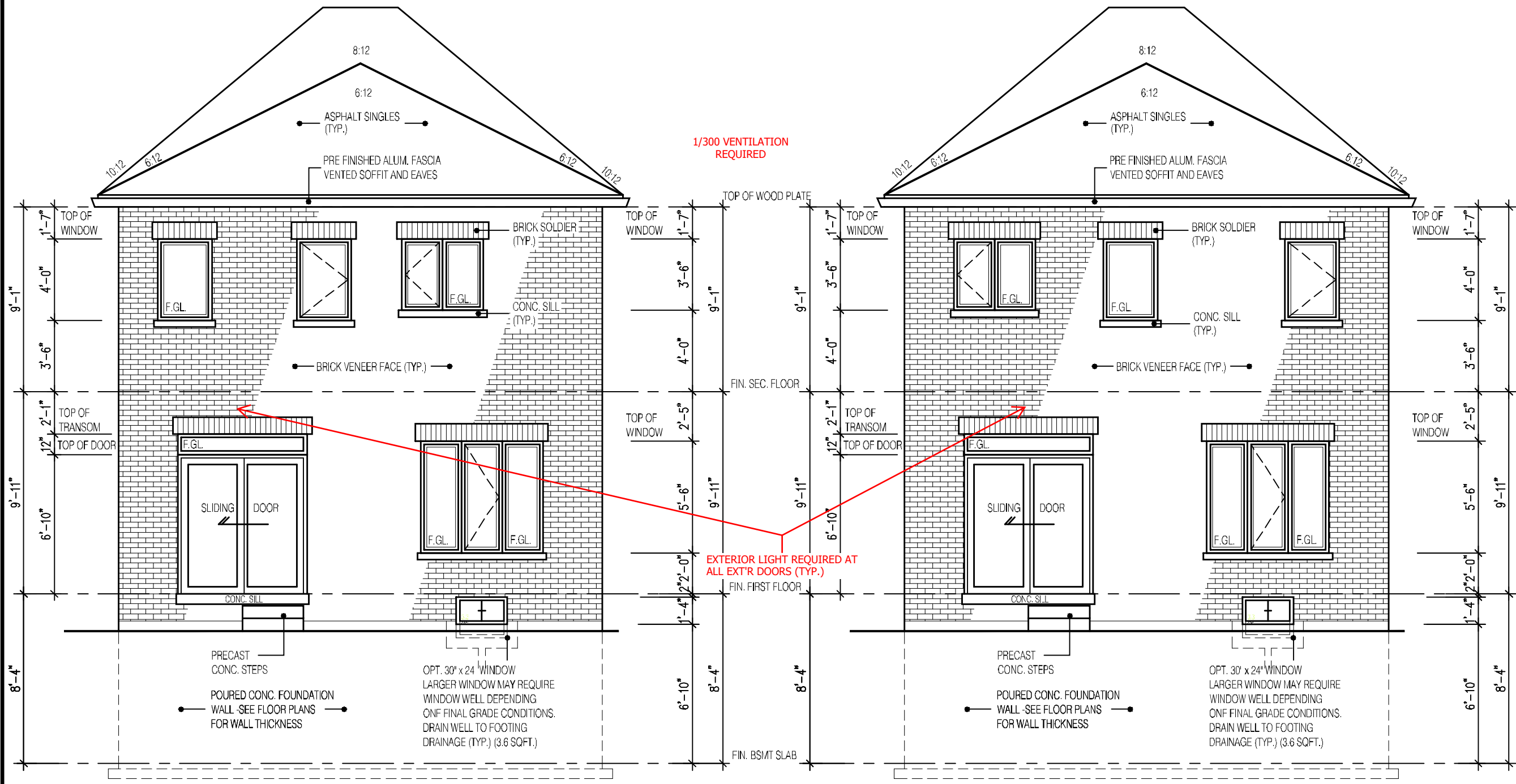
WALL AREA	1224.0	⊕
ALLOWABLE WINDOW AREA @ 7.0%1.2MSIDEYARD	85.68	⊕
ACTUAL GLAZED AREA	80.44	⊕
WITH OPTIONAL 30"x24" BASEMENT WINDOWS ✓		
ACTUAL GLASS AREA	83.33	⊕

NOT THE GRANTING OF A PERMIT NOR REVIEWING OF SPECS & DRAWINGS NOR INSPECTIONS MADE DURING INSTALLATION BY THE OFFICIAL HAVING JURISDICTION SHALL RELIEVE THE OWNER FROM REQUIREMENTS OF THE ONTARIO BUILDING CODE AND ANY OTHER REFERENCED REQUIREMENTS.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of CAMBRIDGE.

2400
GARDEN 3 (GR)
ELEVATION 1
A1 PACKAGE
O.REG. 332/12



REAR ELEVATION 1
ALT.- 4-BEDROOM LAYOUT

REAR ELEVATION 1
3-BEDROOM LAYOUT

PROVIDE STAIR, GUARD AND LANDING OR
 INSTALL PERMANENT BLOCKING TO
 RESTRICT DOOR OPENING TO MAX. 4".

EXTERIOR CONCRETE STAIRS w/ MORE
 THAN 2 RISERS TO MEET THE
 REQUIREMENTS OF 9.8.9.2.(1)

NOT THE GRANTING OF A PERMIT NOR REVIEWING OF SPECS
 & DRAWINGS NOR INSPECTIONS MADE DURING INSTALLATION
 BY THE OFFICIAL HAVING JURISDICTION SHALL RELIEVE THE
 OWNER FROM REQUIREMENTS OF THE ONTARIO BUILDING
 CODE AND ANY OTHER REFERENCED REQUIREMENTS.

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.

AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.

JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO Carry OUT OFFICIAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO Carry OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

THIS DRAWING IS AN INSTRUMENT OF SERVICE AS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED.

7	JAN. 12, 2023	ADDED ELEV. FOR ALT.-4 BEDROOM LAYOUT PER CLIENT REQUEST
6	AUG. 10, 2022	ISSUED FOR BUILDING PERMIT
5	AUG. 3, 2022	COORDINATED FLOOR, ROOF AND ENGINEER COMMENTS
4	JUN. 2, 2022	REVISED AS PER CLIENT COMMENTS & RE-ISSUED TO CLIENT
3	MAY 10, 2022	PREPARED TO PRE-COORDINATION STAGE & ISSUED TO CLIENT
2	MAR. 23, 2022	REVISED AS PER CLIENT & ISSUED FOR BROCHURE
1	JAN. 26, 2022	ISSUED TO CLIENT FOR PRELIMINARY REVIEW

No: _____ DATE: _____ WORK DESCRIPTION: _____

jardin
 DESIGN GROUP INC
 64 JARDIN DR. SUITE 3A
 VAUGHAN ONT. L4K 3P3
 TEL: 905 660-3377 FAX: 905 660-3713
 EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
 Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

Walter Botter *Walter Botter* 21031
 NAME SIGNATURE BCIN

REGISTRATION INFORMATION
 Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

Jardin design group inc. 27763
 FIRM NAME BCIN

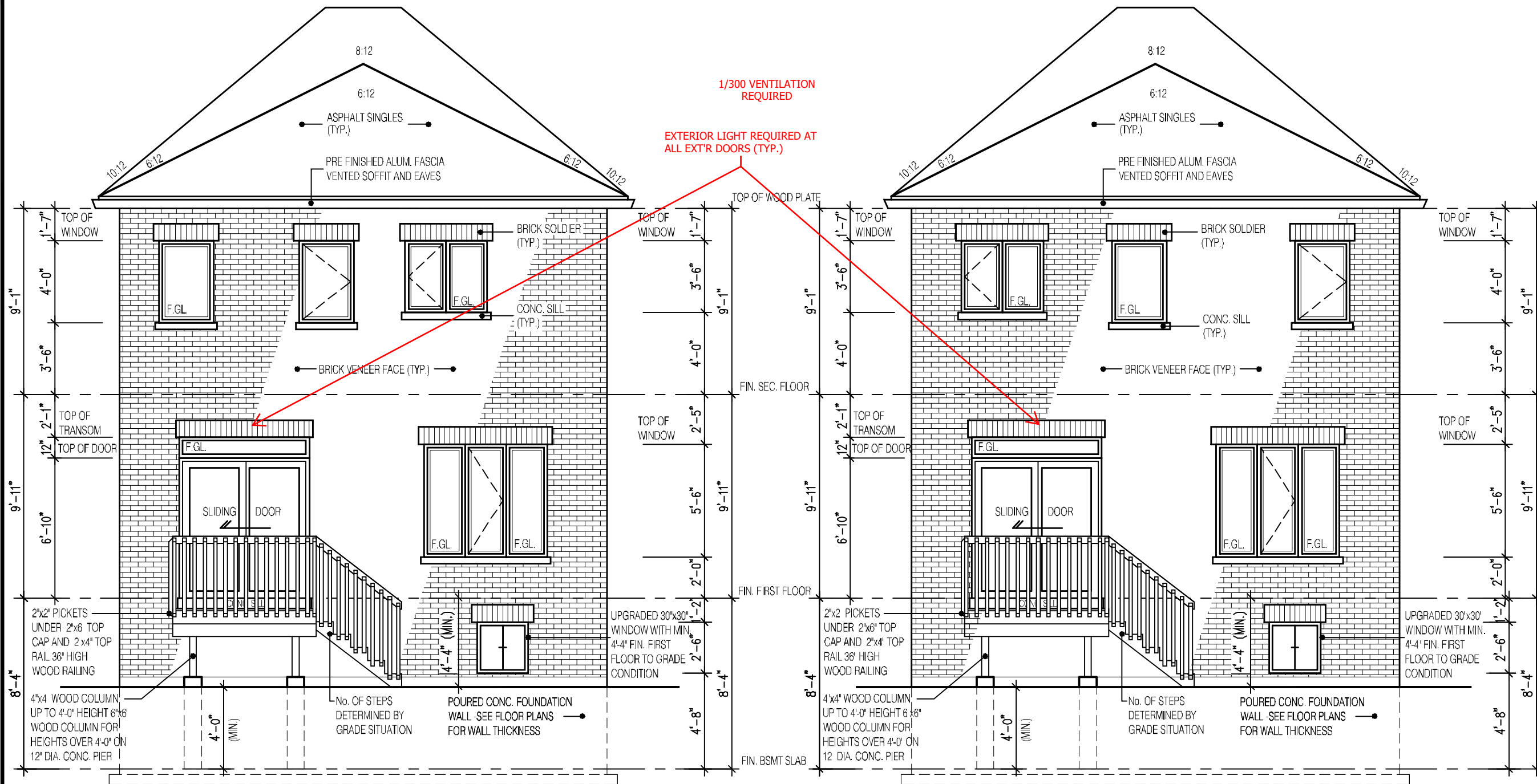
REAR ELEVATION 1
BARLASSINA CONSTRUCTION
CITY OF CAMBRIDGE

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of CAMBRIDGE.

	MODEL:	GARDEN 3 (GR)
	SCALE:	3/16"=1'-0"
	PROJ. No.	21-35
	DWG. No.	6

2400
GARDEN 3 (GR)
ELEVATION 1
A1 PACKAGE
O.REG. 332/12



REAR ELEVATION 1
DECK CONDITION
ALT.- 4 -BEDROOM LAYOUT

REAR ELEVATION 1
DECK CONDITION
3-BEDROOM LAYOUT

FOR ADDITIONAL DECK STRUCTURE REFER TO PAGE 7 OF THE DETAIL PACKAGE

EXTERIOR CONCRETE STAIRS w/ MORE THAN 2 RISERS TO MEET THE REQUIREMENTS OF 9.8.9.2.(1)

NOT THE GRANTING OF A PERMIT NOR REVIEWING OF SPECS & DRAWINGS NOR INSPECTIONS MADE DURING INSTALLATION BY THE OFFICIAL HAVING JURISDICTION SHALL RELIEVE THE OWNER FROM REQUIREMENTS OF THE ONTARIO BUILDING CODE AND ANY OTHER REFERENCED REQUIREMENTS.

NOTE:
WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC. FOUNDATION WALL IS REQUIRED. (FOUNDATION PLAN TO BE REVIEWED IN CONJUNCTION WITH SITE PLAN)

ALL GUARDS TO COMPLY WITH SB-7 OR P.ENG DESIGN. GUARDS TO BE MIN. 36" HIGH (900mm), WHERE DECK WALKING SURFACE TO FIN. GRADE EXCEEDS 5'-11" (1.8m), GUARD HEIGHT TO BE 42" HIGH (1.2m)

ENSURE P.ENG STAMPED RAILING DOCUMENTATION AND ATTACHMENT DETAILS ARE AVAILABLE FOR REVIEW BY THE INSPECTOR

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.

AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.

JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT OFFICIAL REVIEW OF THIS WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

THIS DRAWING IS AN INSTRUMENT OF SERVICE IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED.

7	JAN. 12, 2023	ADDED ELEV. FOR ALT.-4 BEDROOM LAYOUT PER CLIENT REQUEST
6	AUG. 10, 2022	ISSUED FOR BUILDING PERMIT
5	AUG. 3, 2022	COORDINATED FLOOR, ROOF AND ENGINEER COMMENTS
4	JUN. 2, 2022	REVISED AS PER CLIENT COMMENTS & RE-ISSUED TO CLIENT
3	MAY 10, 2022	PREPARED TO PRE-COORDINATION STAGE & ISSUED TO CLIENT
2	MAR. 23, 2022	REVISED AS PER CLIENT & ISSUED FOR BROCHURE
1	JAN. 26, 2022	ISSUED TO CLIENT FOR PRELIMINARY REVIEW

No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
 64 JARDIN DR. SUITE 3A
 VAUGHAN ONT. L4K 3P3
 TEL: 905 660-3377 FAX: 905 660-3713
 EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
 Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

Walter Botter *Walter Botter* 21031
 NAME SIGNATURE BCIN

REGISTRATION INFORMATION
 Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

Jardin design group inc. 27763
 FIRM NAME BCIN

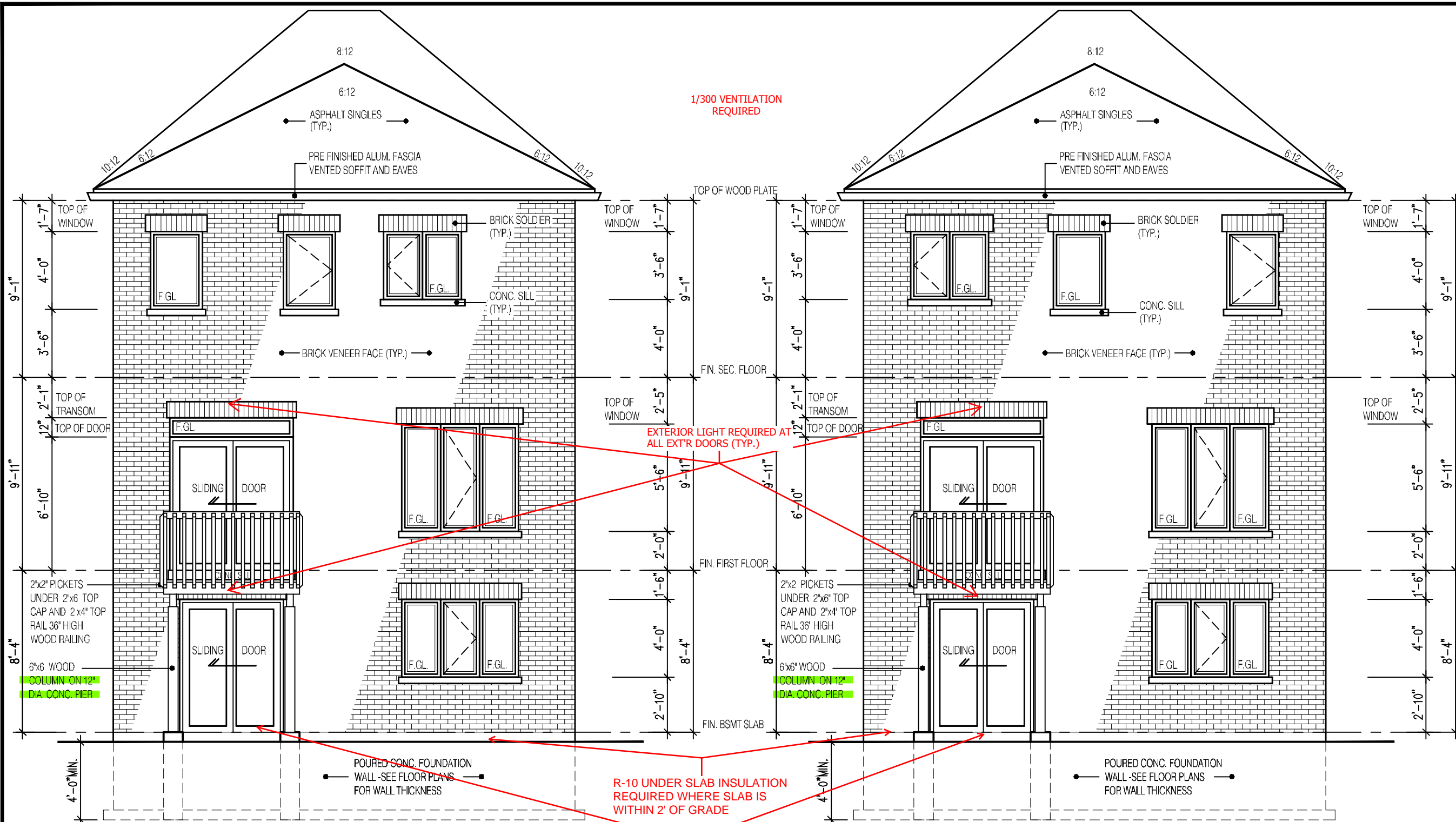
DECK CONDITION EL-1
BARLASSINA CONSTRUCTION
CITY OF CAMBRIDGE

BILD

MODEL:
 GARDEN 3 (GR)

SCALE:
 3/16" = 1'-0"

PROJ. No. DWG. No.
 21-35 6-1



**REAR ELEVATION 1
WALK-OUT CONDITION
ALT.- 4 -BEDROOM LAYOUT**

**REAR ELEVATION 1
WALK-OUT CONDITION
3-BEDROOM LAYOUT**

A LOWER DECK IS NOT PERMITTED TO BE ATTACHED TO POSTS

PROVIDE STAIR, GUARD AND LANDING OR INSTALL PERMANENT BLOCKING TO RESTRICT DOOR OPENING TO MAX. 4".

RAILING AS PER ATTACHED SB-7 DETAILS OR ENSURE P.ENG STAMPED RAILING DOCUMENTATION AND ATTACHMENT DETAILS ARE AVAILABLE FOR REVIEW BY THE INSPECTOR

ALL GUARDS MUST BE NON-CLIMBABLE WITH NO HORIZONTAL MEMBERS BETWEEN 5 1/2" AND 35" ABOVE THE FLOOR OR WALKING SURFACE.

NOT THE GRANTING OF A PERMIT NOR REVIEWING OF SPECS & DRAWINGS NOR INSPECTIONS MADE DURING INSTALLATION BY THE OFFICIAL HAVING JURISDICTION SHALL RELIEVE THE OWNER FROM REQUIREMENTS OF THE ONTARIO BUILDING CODE AND ANY OTHER REFERENCED REQUIREMENTS.

ALL GUARDS TO COMPLY WITH SB-7 OR P.ENG DESIGN. GUARDS TO BE MIN. 36" HIGH (900mm). WHERE DECK WALKING SURFACE TO FIN. GRADE EXCEEDS 5'-11" (1.8m), GUARD HEIGHT TO BE 42" HIGH (1.2m)

**2400
GARDEN 3 (GR)
ELEVATION 1
A1 PACKAGE
O.REG. 332/12**

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.
AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.
JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO Carry OUT OFFICIAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO Carry OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED.

7	JAN. 12, 2023	ADDED ELEV. FOR ALT.-4 BEDROOM LAYOUT PER CLIENT REQUEST
6	AUG. 10, 2022	ISSUED FOR BUILDING PERMIT
5	AUG. 3, 2022	COORDINATED FLOOR, ROOF AND ENGINEER COMMENTS
4	JUN. 2, 2022	REVISED AS PER CLIENT COMMENTS & RE-ISSUED TO CLIENT
3	MAY 10, 2022	PREPARED TO PRE-COORDINATION STAGE & ISSUED TO CLIENT
2	MAR. 23, 2022	REVISED AS PER CLIENT & ISSUED FOR BROCHURE
1	JAN. 26, 2022	ISSUED TO CLIENT FOR PRELIMINARY REVIEW

No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

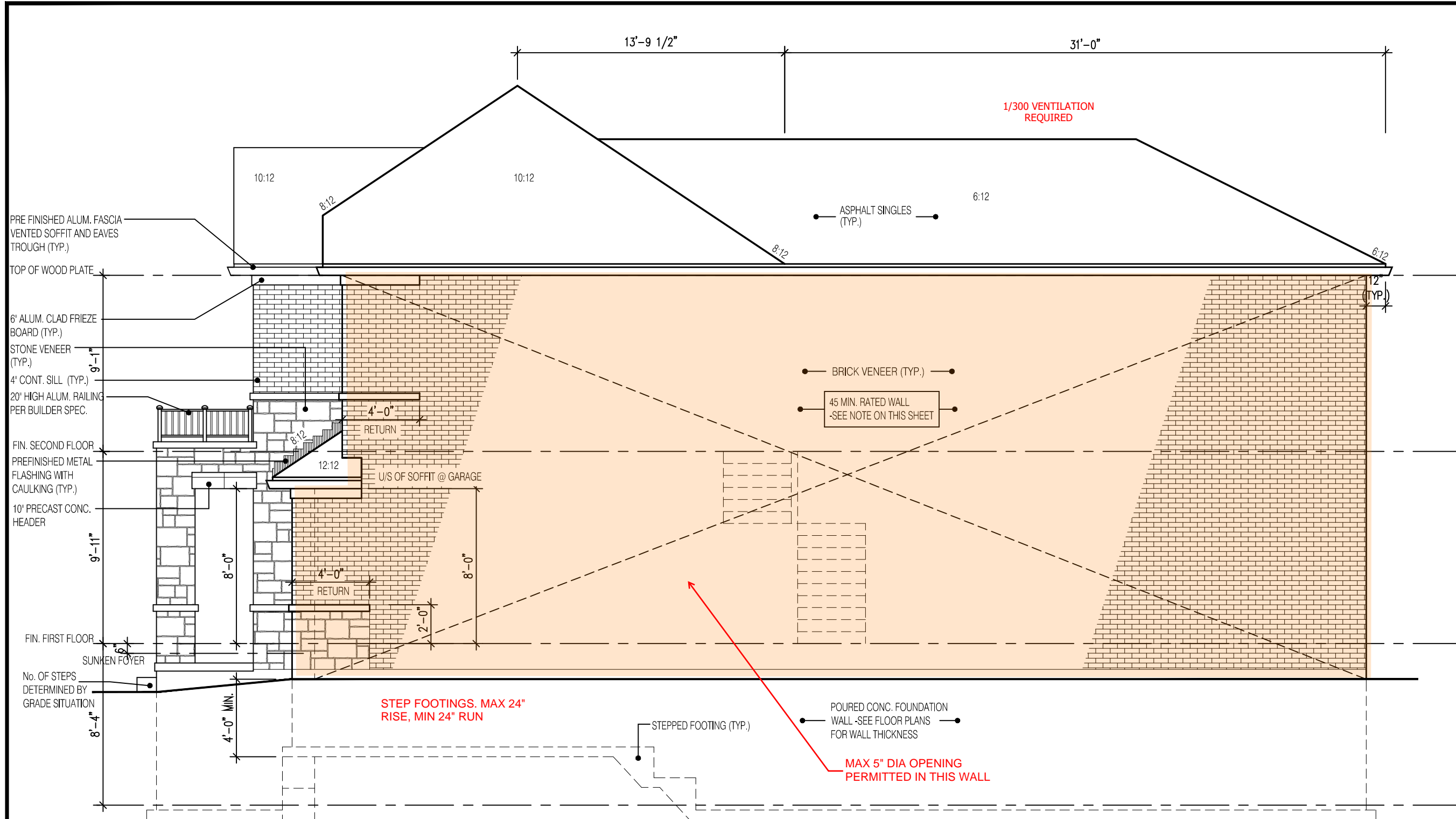
Walter Botter *Walter Botter* 21031
NAME SIGNATURE BCIN
REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.
jardin design group inc. 27763
FIRM NAME BCIN

REAR WALK-OUT EL-1
BARLASSINA CONSTRUCTION
CITY OF CAMBRIDGE

BILD
MODEL:
GARDEN 3 (GR)
SCALE:
3/16"=1'-0"
PROJ. No. DWG. No.
21-35 6-2

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of CAMBRIDGE.



RIGHT SIDE ELEVATION 1

EXPOSED BUILDING FACE REQUIRES A 45MIN F.R.R. w/ 5/8" TYPE "X" DRYWALL & STUDS FILLED w/ INSUL. HAVING A MASS NOT LESS THAN 1.22 KG/M² WHERE LIMITING DISTANCE < 1.2m

NOT THE GRANTING OF A PERMIT NOR REVIEWING OF SPECS & DRAWINGS NOR INSPECTIONS MADE DURING INSTALLATION BY THE OFFICIAL HAVING JURISDICTION SHALL RELIEVE THE OWNER FROM REQUIREMENTS OF THE ONTARIO BUILDING CODE AND ANY OTHER REFERENCED REQUIREMENTS.

HEADER/RIM JOIST LEVEL
(FOR WALLS LESS THAN 1.2m (3'-11") FROM LOT LINE)

45 MINUTE FIRE RATED AT HEADER

PROVIDE 15.9mm (5/8") TYPE "X" GYPSUM BOARD BETWEEN FLOOR JOIST AT THE HEADER OR CONTINUOUSLY ALONG THE RIM JOIST WHEN FLOOR JOISTS ARE PARALLEL TO RIM JOIST TO MAINTAIN

(REFER TO SECTION 2.3 OF SUPPLEMENTARY GUIDELINES)

BRICK VENEER CONSTRUCTION
(FOR WALLS LESS THAN 1.2m (3'-11") FROM LOT LINE)

45 MINUTE FIRE RATED WALL

PROVIDE A CONTINUOUS LAYER 12.7mm (1/2") TYPE "X" GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH PREFORMED MINERAL FIBRE INSULATION WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE "X" & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTIONS. MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE "X" IS INSTALLED IN GARAGE EXTERIOR WALLS.

(REFER TO SECTION 2.3 OF SUPPLEMENTARY GUIDELINES)

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of CAMBRIDGE.

2400
GARDEN 3 (GR)
ELEVATION 1
A1 PACKAGE
O.REG. 332/12

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.

AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.

JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

THIS DRAWING IS AN INSTRUMENT OF SERVICE. IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE SCALED.

7		
6	AUG. 10, 2022	ISSUED FOR BUILDING PERMIT
5	AUG. 3, 2022	COORDINATED FLOOR, ROOF AND ENGINEER COMMENTS
4	JUN. 2, 2022	REVISED AS PER CLIENT COMMENTS & RE-ISSUED TO CLIENT
3	MAY 10, 2022	PREPARED TO PRE-COORDINATION STAGE & ISSUED TO CLIENT
2	MAR. 23, 2022	REVISED AS PER CLIENT & ISSUED FOR BROCHURE
1	JAN. 26, 2022	ISSUED TO CLIENT FOR PRELIMINARY REVIEW

No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

Walter Botter *Walter Botter* 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

jardin design group inc. 27763
FIRM NAME BCIN

SIDE ELEVATION 1
BARLASSINA CONSTRUCTION
CITY OF CAMBRIDGE

BILD

MODEL:
GARDEN 3 (GR)

SCALE:
3/16" = 1'-0"

PROJ. No. DWG. No.
21-35 7

2400
GARDEN 3 (GR)
ELEVATION 1
A1 PACKAGE
O.REG. 332/12

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.

AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.

JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE SCALED.

7		
6	AUG. 10, 2022	ISSUED FOR BUILDING PERMIT
5	AUG. 3, 2022	COORDINATED FLOOR, ROOF AND ENGINEER COMMENTS
4	JUN. 2, 2022	REVISED AS PER CLIENT COMMENTS & RE-ISSUED TO CLIENT
3	MAY 10, 2022	PREPARED TO PRE-COORDINATION STAGE & ISSUED TO CLIENT
2	MAR. 23, 2022	REVISED AS PER CLIENT & ISSUED FOR BROCHURE
1	JAN. 26, 2022	ISSUED TO CLIENT FOR PRELIMINARY REVIEW

No: DATE: WORK DESCRIPTION:

STRUDET INC.

jardin
DESIGN GROUP INC
 64 JARDIN DR. SUITE 3A
 VAUGHAN ONT. L4K 3P3
 TEL: 905 660-3377 FAX: 905 660-3713
 EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION
 Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

Walter Botter *Walter Botter* 21031
 NAME SIGNATURE BCIN

REGISTRATION INFORMATION
 Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

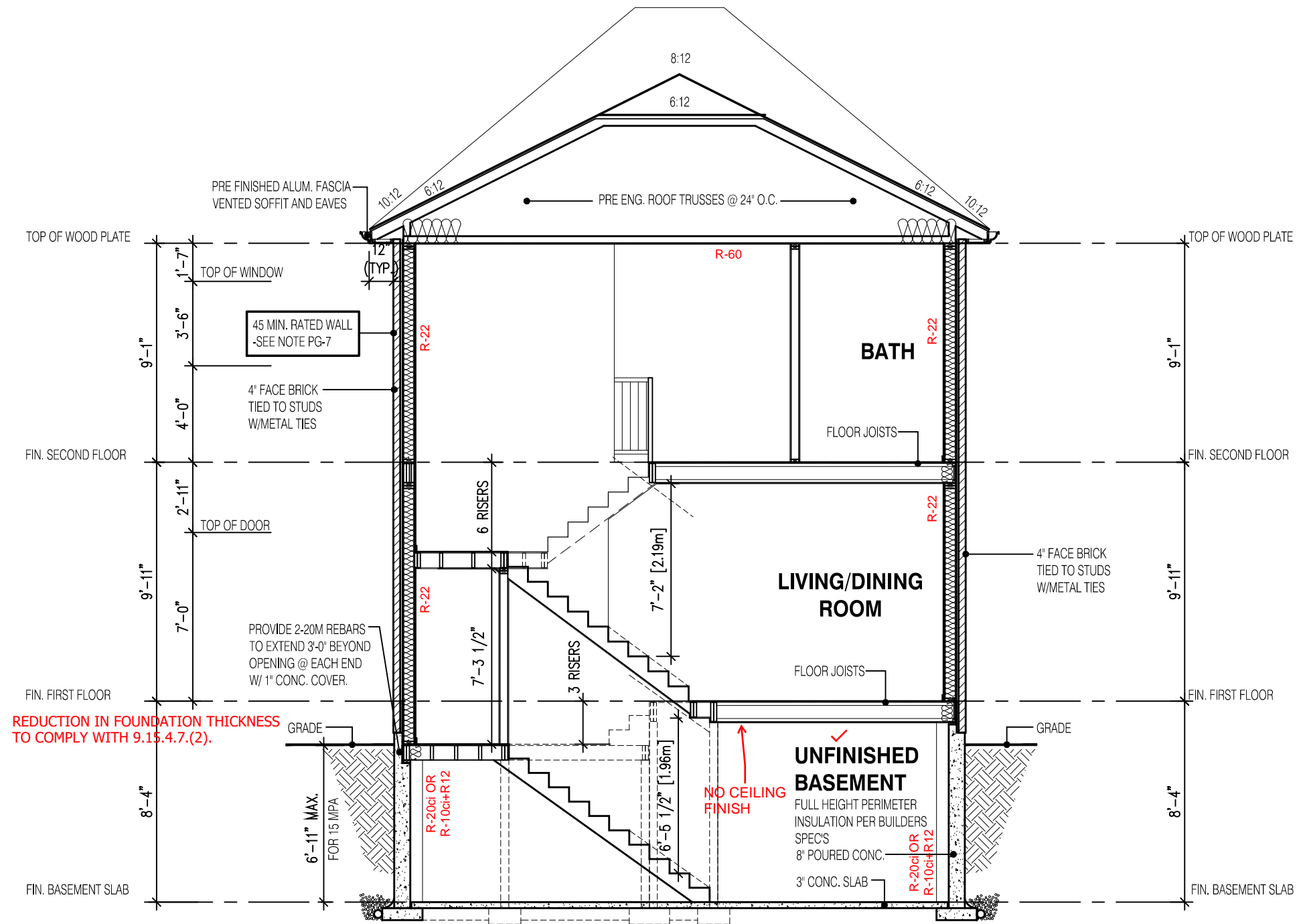
jardin design group inc. 27763
 FIRM NAME BCIN

SECTION ELEVATION 1
BARLASSINA CONSTRUCTION
CITY OF CAMBRIDGE

MODEL:
 GARDEN 3 (GR)

SCALE:
 3/16" = 1'-0"

PROJ. No. DWG. No.
 21-35 8



SECTION A-A
ELEVATION 1

NOT THE GRANTING OF A PERMIT NOR REVIEWING OF SPECS & DRAWINGS NOR INSPECTIONS MADE DURING INSTALLATION BY THE OFFICIAL HAVING JURISDICTION SHALL RELIEVE THE OWNER FROM REQUIREMENTS OF THE ONTARIO BUILDING CODE AND ANY OTHER REFERENCED REQUIREMENTS.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of CAMBRIDGE.

STRUDET INC.

FOR STRUCTURE ONLY