DOOR SHEDULE:

1 = 2'-10" x 6'-8" INSULATED ENTRANCE DOOR 1A = 2'-8" x 6'-8" INSULATED ENTRANCE DOOR $2 = 2'-8" \times 6'-8"$ EXTERIOR GLAZED DOOR

 $3 = 2'-8" \times 6'-8"$ SLAB DOOR (1 3/4" EXTERIOR

 $4 = 2'-8" \times 6'-8"$ SLAB DOOR (1 3/8" INTERIOR)

 $5 = 2'-6'' \times 6'-8''' \text{ SLAB DOOR } (1.3/8''' \text{ INTERIOR})$

 $6 = 2'-2'' \times 6'-8''$ SLAB DOOR (1 3/8" INTERIOR)

 $7 = 1'-6" \times 6'-8"$ SLAB DOOR (1 3/8" INTERIOR)

 $8 = 2'-6'' \times 6'-8'' BI-FOLD (1 3/8'' INTERIOR)$

 $9 = 3'-0" \times 6'-8"$ BI-FOLD (1 3/8" INTERIOR)

10= 2- 2'-0" x 6'-8" BI-FOLD (1 3/8" INTERIOR)

11= 2- 2'-6" x 6'-8" BI-FOLD (1 3/8" INTERIOR)

12 = 2'-6" x 6'-8" FRENCH DOOR (1 3/8" INTERIOR)

PAD FOOTING

120 KPa NATIVE SOIL 90 KPa ENGINEERED FILL SOIL F1 = 42"x42"x18" CONCRETE PAD F1 = 48"x48"x20" CONCRETE PAD F2 = 36"x36"x16" CONCRETE PAD F2 = 40"x40"x16" CONCRETE PAD F3 = 30"x30"x12" CONCRETE PAD F3 = 34"x34"x14" CONCRETE PAD F4 = 24"x24"x12" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD F5 = 16"x16"x8" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD (REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)

NOTE:

WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC. FOUNDATION WALL IS REQUIRED.

NOTE:

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa WITH 5-8% AIR ENTRAITMENT.

BRICK VENEER LINTELS:

WL2 = 4" x 3 1\2" x 5\16" (100x90x8) + 2- 2" x 8" SPR. $WL3 = 5" \times 3 \times 12" \times 5 \times 16" (125 \times 90 \times 8) + 2 - 2" \times 10" SPR.$

 $WL4 = 6" \times 3 \times 1 \times 2" \times 3 \times 8" (150 \times 90 \times 10) + 2 - 2" \times 12" SPR.$ $WL5 = 6" \times 4" \times 3\8" (150\times100\times10) + 2-2" \times 12" SPR.$

 $WL6 = 5" \times 3 \times 1/2" \times 5/16" (125 \times 90 \times 8) + 2 - 2" \times 12" SPR.$ $WL7 = 5" \times 3 \times 12" \times 5 \times 16" (125 \times 90 \times 8) + 3 - 2" \times 10" SPR$ WL8 = $5'' \times 3 \times 1/2'' \times 5/16'' (125 \times 90 \times 8) + 3 - 2'' \times 12'' SPR$ $WL9 = 6" \times 4" \times 3\8" (150\times100\times10) + 3-2" \times 12" SPR.$

WOOD LINTELS:

WB1 = 2- 2" x 8" SPRUCE BEAM WB6 = 3-2" x 12" SPRUCE BEAM WB2 = 3-2" x 8" SPRUCE BEAM WB7 = 5- 2" x 12" SPRUCE BEAM WB3 = 2- 2" x 10" SPRUCE BEAM WB10 = 4- 2" x 8" SPRUCE BEAM WB4 = 3- 2" x 10" SPRUCE BEAM WB11 = 4- 2" x 10" SPRUCE BEAM

WB5 = 2-2" x 12" SPRUCE BEAM

STEEL LINTELS:

 $L1 = 3 \frac{1}{2} \times 3 \frac{1}{4} (90 \times 90 \times 6)$ $L4 = 6'' \times 3 \frac{1}{2}'' \times 3 \%'' (150 \times 90 \times 10)$ L2 = 4" x 3 1\2" x 5\16" (100 x 90 x 8) L5 = 6" x 4" x 3\8" (150 x 100 x 10) L3 = 5" x 3 1\2" x 5\16" (125 x 90 x 8) L6 = 7" x 4" x 3\8" (180 x 100 x 10)

LAMINATED VENEER LUMBER (LVL BEAMS)

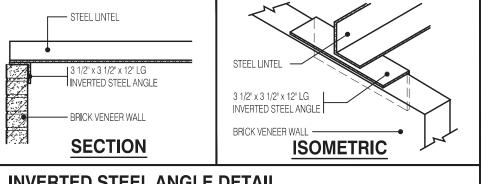
LVL1A = 1-1 3/4" x 7 1/4" (1-45x184) $LVL1 = 2-13/4" \times 71/4" (2-45\times184)$ $LVL2 = 3-1 3/4" \times 7 1/4" (3-45 \times 184)$ $LVL3 = 4-13/4" \times 71/4" (4-45\times184)$ $IVI 4A = 1-1.3/4" \times 9.1/2" (1-45x240)$ $LVL4 = 2-1 3/4" \times 9 1/2" (2-45x240)$ LVL5 = 3-13/4" x 9 1/2" (3-45x240) $LVL5A = 4-1 3/4" \times 9 1/2" (4-45x240)$ LVL6A= 1-1 3/4" x 11 7/8" (1-45x300) LVL6 = 2-13/4" x 11 7/8" (2-45x300)

LVL7 = 3-13/4" x 11 7/8" (3-45x300) LVL7A= 4-1 3/4" x 11 7/8" (4-45x300)

LVL8 = 2-1 3/4" x 14" (2-45x356) NOT THE GRANTING OF A PERMIT NOR REVIEWING OF SP $LVL9 = 3-13/4" \times 14" (3-45x356)$

& DRAWINGS NOR INSPECTIONS MADE DURING INSTALLA BY THE OFFICIAL HAVING JURISDICTION SHALL RELIEVE

CODE AND ANY OTHER REFERENCED REQUIREMENTS



OPENING FT²

113.31

211.39

0.00

126.44

451.14

INVERTED STEEL ANGLE DETAIL

SB-12 - COMPLIANCE PACKAGE **A1**

WALL FT²

581.75

1226.48

1209.14

551.77

3569.14

R31

R31

R22

R10

R10

MAX. U0.28 ER25 MAX. U0.49

MIN. AFUE 96%

MIN. SRE 75%

MIN. EF. 0.80

MIN. 42%

R20ci

WILLOW 12 ELEV -3

ELEVAT**I**ON

RONT

EFT SIDE

IGHT SIDE

OTAL

HEATED SLAB OR < 600mm BELOW GRADE

EDGE OF SLAB < 600mm BELOW GRADE

WINDOWS AND SLIDING GLASS DOORS

DRAIN WATER HEAT RECOVERY UNIT

CEILING WITH ATTIC SPACE

SLAB > 600mm BELOW GRADE

SPACE HEATING EQUIPMENT

DOMESTIC WATER HEATER

CEILING W/O ATTIC SPACE

EXPOSED FLOOR

BASEMENT WALLS

WALLS ABOVE GRADE

Scale: 3/4" = 1'-0"

ENERGY EFFICIENCY-SB12

PERCENTAGE

19.48 %

17.24 %

0.00 %

22.92 %

12.64 %

TO COMPLY WITH THE THERMAL REQUIREMENTS OF SB-12. MAX U-1.6, ER-25

FLOORING IN KITCHENS, WASHROOMS, LALINDRY

AND STORAGE AREAS, SHALL CONSIST OF

FELTED-SYNTHETIC-FIBRE FLOOR COVERING CONCRETE, TILE, OR OTHER FLOORING

PROVIDING A SIMILAR WATER RESISTANCE.

EXCEED 49°C (120°F) EXCEPT FOR DISHWASHERS AND CLOTHES WASHERS

A CARBON MONOXIDE DETECTOR SHALL BE

LOCATED ADJACENT TO SLEEPING AREAS

SECTION 9.27 OF DIVISION B OR HAVE A CCMO

A SEPARATE PERMIT IS REQUIRED FOR THE

FINISHING OF ALL ROUGHIN PLUBMING FIXTURES

AREA CALCULATIONS EL-3

MODEL: WILLOW 12

BEDROOMS: 3

ELEVATION: 3

CITY OF CAMBRIDGE

BUILDING DIVISION

HESE PLANS have been examined for compliance

anges noted under the condition that the building will

03/02/2023

DATE

cted in accordance with the code

with the Ontario Building Code Requirements. A Building Permit is in Order to issue subject to any

12

INSPECTOR

Block 122 Units 37 to 42

OPTIONS: (SAME AS ABOVE PLUS), 3-PC ROUGH-IN

30"x24" BASEMENT WINDOW, SUNKEN MUDROOM

FIRST FLOOR AREA 1088 Sq. Ft. SECOND FLOOR AREA = 1242 Sq. Ft. = 2330 Sq. Ft. TOTAL FLOOR AREA ADD OPEN AREAS 0 Sa. Ft. ADD FIN. BASEMENT AREA = 0 Sq. Ft. 2330 Sq. Ft. GROSS FLOOR AREA GROUND FLOOR COVERAGE = 1088 Sq. Ft. GARAGE COVERAGE / AREA = 215 Sq. Ft. PORCH COVERAGE / AREA = 84 Sa. Ft. COVERAGE W/ PORCH = 1303 Sq. Ft $= 121.05 \, \text{Sg. m.}$ = 1387 Sq. Ft. COVERAGE W/O PORCH = 128 86 Sq. m.

> PORCH SLAB SHALL BE REVIEWED PRIOR TO POURING CONRETE (see inspector)

DRAWINGS AND SPECIFICATIONS TO BUILDING INSPECTOR AT FRAMING INSPECTION

INSTALLATION OF FLUSH STEEL BEAMS HALL CONFORM TO THE REQUIREMENTS OF 9.23.9.2.(3), (4) & (5)

P.ENG SOILS REPORT MAY BE REQ'D CONFIRM BEARING CAPACITY OF SOILS. SEE FIELD INSPECTOR

FINAL GRADING CERTIFICATE REQ'D BEFORE FINAL INSPECTION SIGN-OFF

ENERGY PERFORMANCE LARFLS FOR ALL GLAZING PRODUCTS IDENTIFYING THE CERTIFIED VALUES SHALL REMAIN ON FOR REVIEW DURING CONSTRUCTION

NOTE:

HESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED ROOF TRUSS DRAWINGS BY MANUFACTURER

NOTE:

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7', 2 ROWS FOR SPANS GREATER THAN 7

NOTE:

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS LAYOUT BY MANUFACTURER

NOTE:

PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN.

LEGEND:

BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D)

INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE

THE ONTARIO BUILDING CODE REQUIRES THAT A SMOKE ALARM BE INSTALL ON EACH FLOOR LEVEL AND WITHIN EACH SLEEPING ROOM. ALL SMOKE

ALARMS SHALL BE INTERCONNECTED. EACH DEVICE SHALL HAVE A VISUAL SIGNALING COMPONENT IN ADDITION TO THE TEMPORAL PATTERN IN

CONFORMANCE WITH 18.5.3. OF "LIGHT, COLOUR AND PULSE CHARACTERISTICS" OF NFPA 72

STL. PLATE FOR STEEL COL'N ABOVE 707

LVL LAMINATED VENEER LUMBER

S.J. SINGLE JOIST

D.J. DOUBLE JOIST T.J. TRIPLE JOIST

REPEAT NOTE 0

0 SHOWER WEEPERS

is the builder's complete responsibility t ensure that all plans submitted for approve fully comply with the Architectural Guideline nd all applicable regulations and requiremen including zoning provisions and any provision in the subdivision agreement. The Contro Architect is not responsible in any way fo examining or approving site (lotting) plans o vorking drawings with respect to any zoning building code or permit matter or that an house can be properly built or located on its lo

This is to certify that these plans comply with the applicable Architectural Desig Guidelines approved by the City of CAMBRIDGE

B. MARINKOVIC

STRUDET INC.



FOR STRUCTURE ONLY

6.10m LOTS

2330

WILLOW 12 (GR) **ELEVATION 3**

A1 PACKAGE

O.REG. 332/12

ONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROU . PRIOR TO COMMENCEMENT OF WORK.

ARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURA OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN HESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO TH SUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE NGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK. AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING

IARDIN DESIGN GROUP INC. HAS NOT BEEN BETAINED TO CARRY OF ARIJIN DESIGN ORDUP INC. HAS NOT BEEN HETAINED TO CARRY OL SENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY OR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO SARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT

THIS DRAWING IS AN INSTRUMENT OF SERVICE. IS PROVIDED BY AND HE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS N

AUG. 31, 2022 ISSUED BUILDING PERMIT COORDINATED WITH FLOOR, ROO AUG. 29, 2022 & FNGINFER'S COMMENTS PREPARED TO PRE-COORDINATIO JUNE 20, 2022 STAGE & ISSUED TO CLIENT

MAR. 28, 2022 ISSUED TO CLIENT FOR BROCHUR DATE: WORK DESCRIPTION:



VAUGHAN ONT, L4K 3P3 TEL: 905 660-3377 FAX: 905 660-3713 EMAIL: info@jardindesian.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer OUALIFICATION NEORMATION

3.2.5 (Walter Botter NAME

REGISTRATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

jardin design group inc.

FIRM NAME

TITLE SHEET

BARLASSINA CONSTRUCTION CITY OF CAMBRIDGE



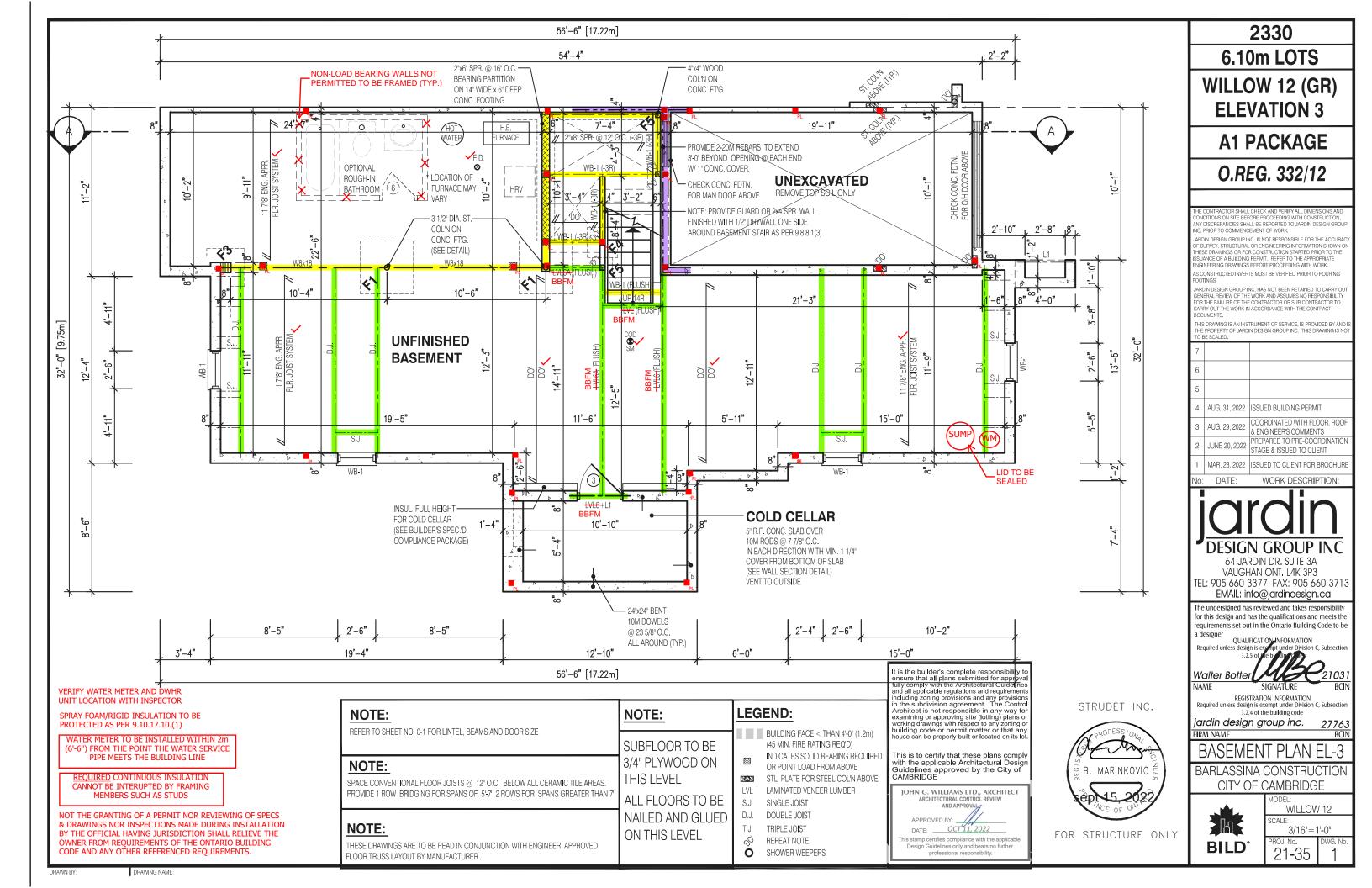
WILLOW 12 SCALE:

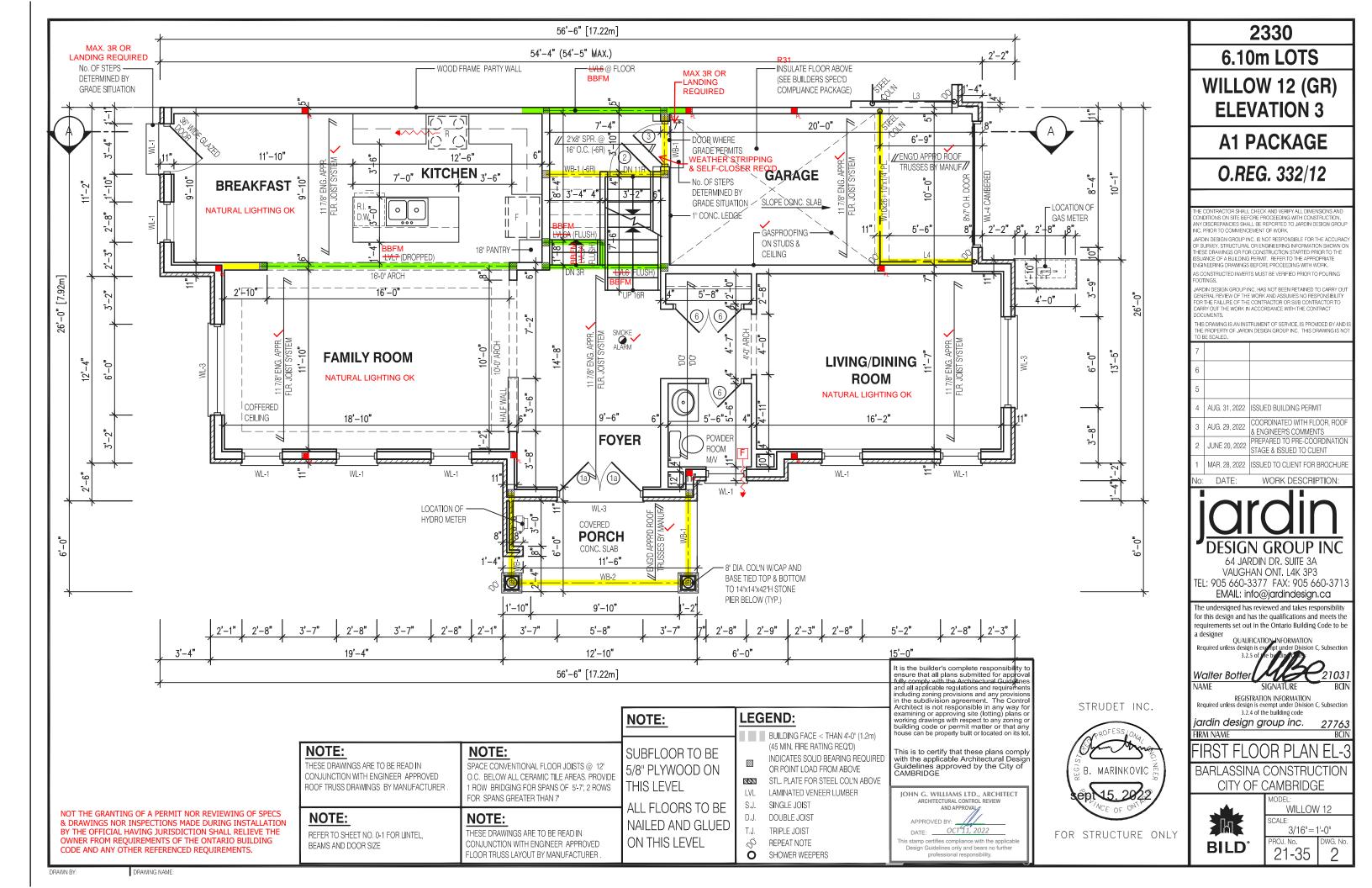
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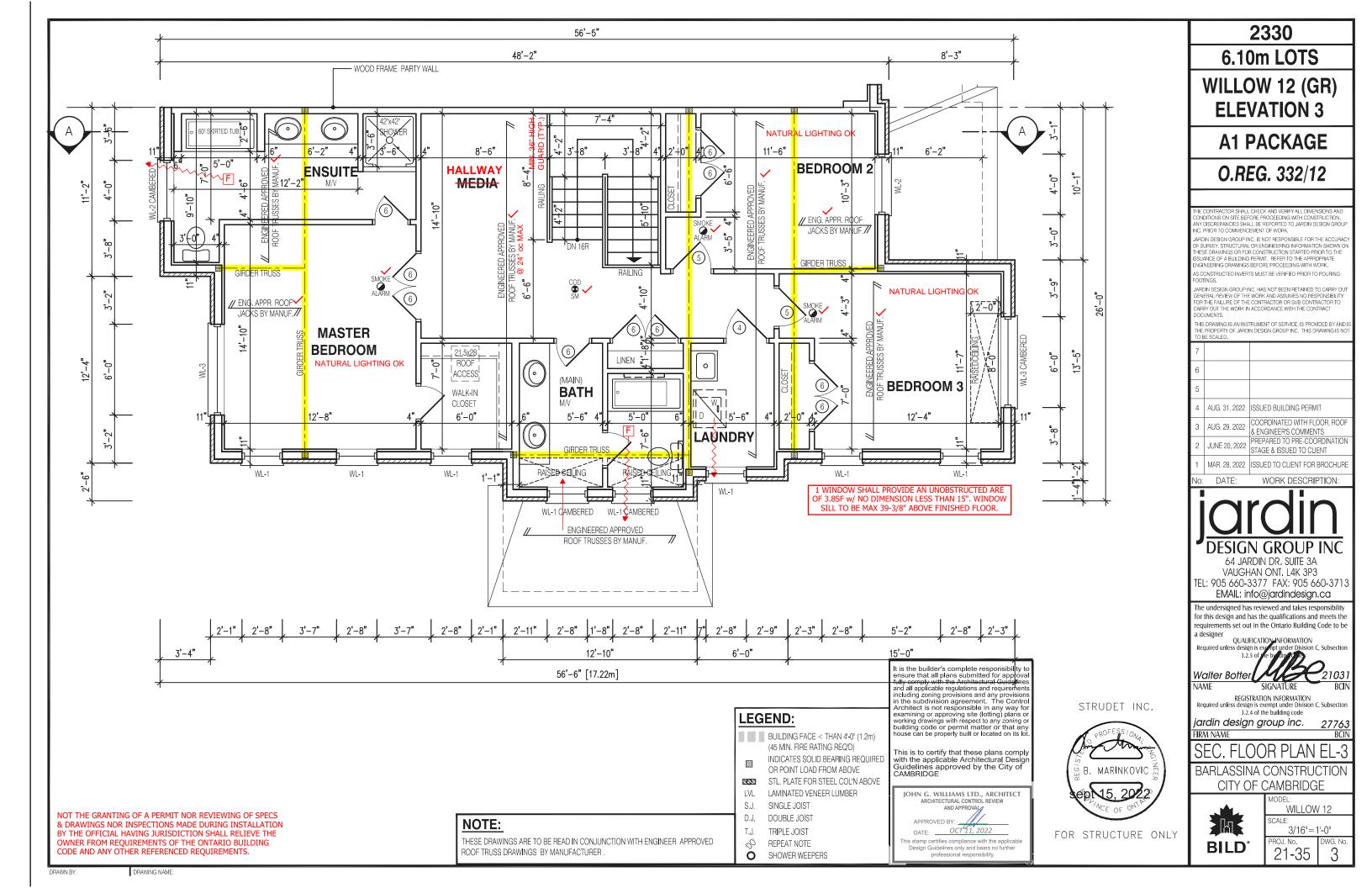
3/16"=1'-0" ROJ. No.

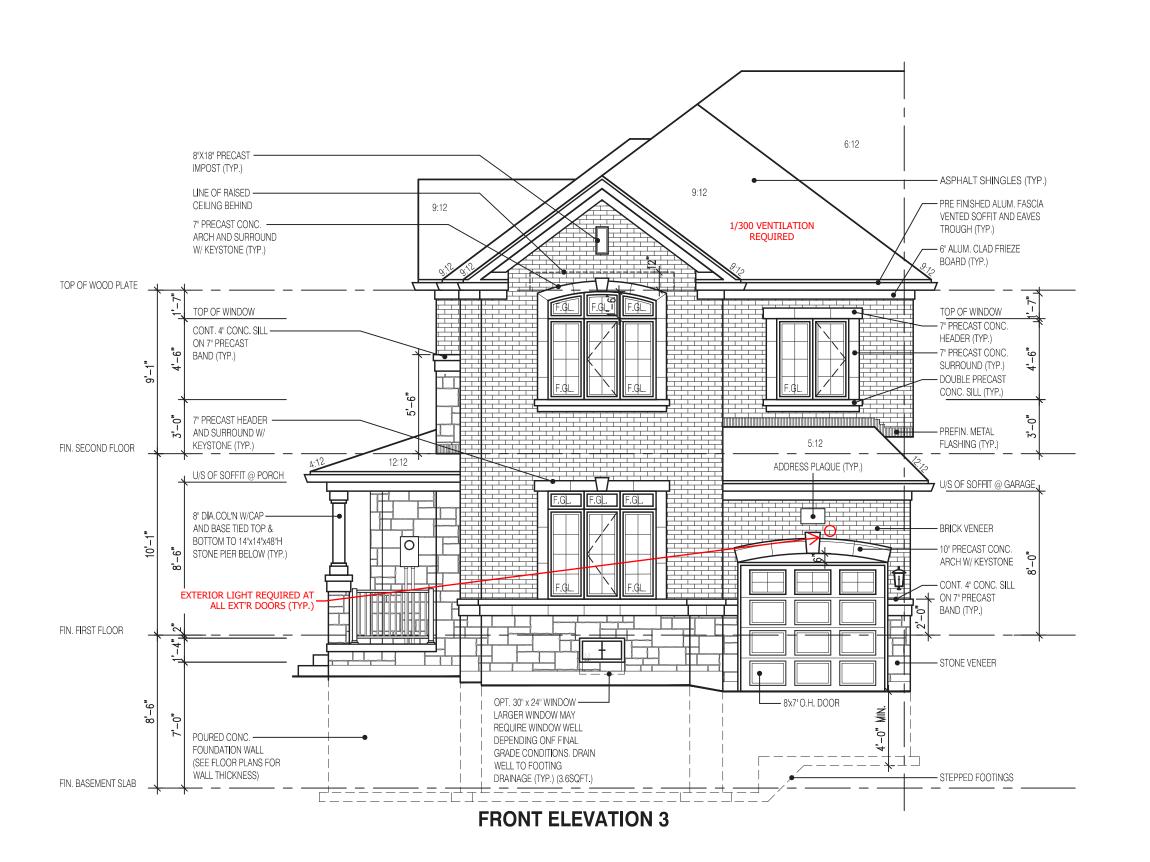
21-35

DRAWING NAME









NOT THE GRANTING OF A PERMIT NOR REVIEWING OF SPECS & DRAWINGS NOR INSPECTIONS MADE DURING INSTALLATION BY THE OFFICIAL HAVING JURISDICTION SHALL RELIEVE THE OWNER FROM REQUIREMENTS OF THE ONTARIO BUILDING CODE AND ANY OTHER REFERENCED REQUIREMENTS.

2330

6.10m LOTS

WILLOW 12 (GR) **ELEVATION 3**

A1 PACKAGE

O.REG. 332/12

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. IY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROU INC. PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURA ARBINI DESIGNI ORDUP INC., IS NOT RESPONSIBLE FOR THE ACCURIO PS SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE SSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK. AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING

JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FALIURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT

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7	7		
6	ŝ		
5	5		
4	4	AUG. 31, 2022	ISSUED BUILDING PERMIT
3	3	AUG. 29, 2022	COORDINATED WITH FLOOR, ROC & ENGINEER'S COMMENTS
2	2	JUNE 20, 2022	PREPARED TO PRE-COORDINATIO

MAR. 28, 2022 ISSUED TO CLIENT FOR BROCHURE WORK DESCRIPTION: DATE:



64 JARDIN DR. SUITE 3A VAUGHAN ONT, L4K 3P3 TEL: 905 660-3377 FAX: 905 660-3713 EMAIL: info@jardindesian.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION NFORMATION Walter Botteri NAME

REGISTRATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

iardin design group inc.

IRM NAME

FRONT ELEVATION 3

BARLASSINA CONSTRUCTION CITY OF CAMBRIDGE



WILLOW 12 SCALE: 3/16"=1'-0" ROJ. No. 21-35

OCT 11, 2022 DATE: This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

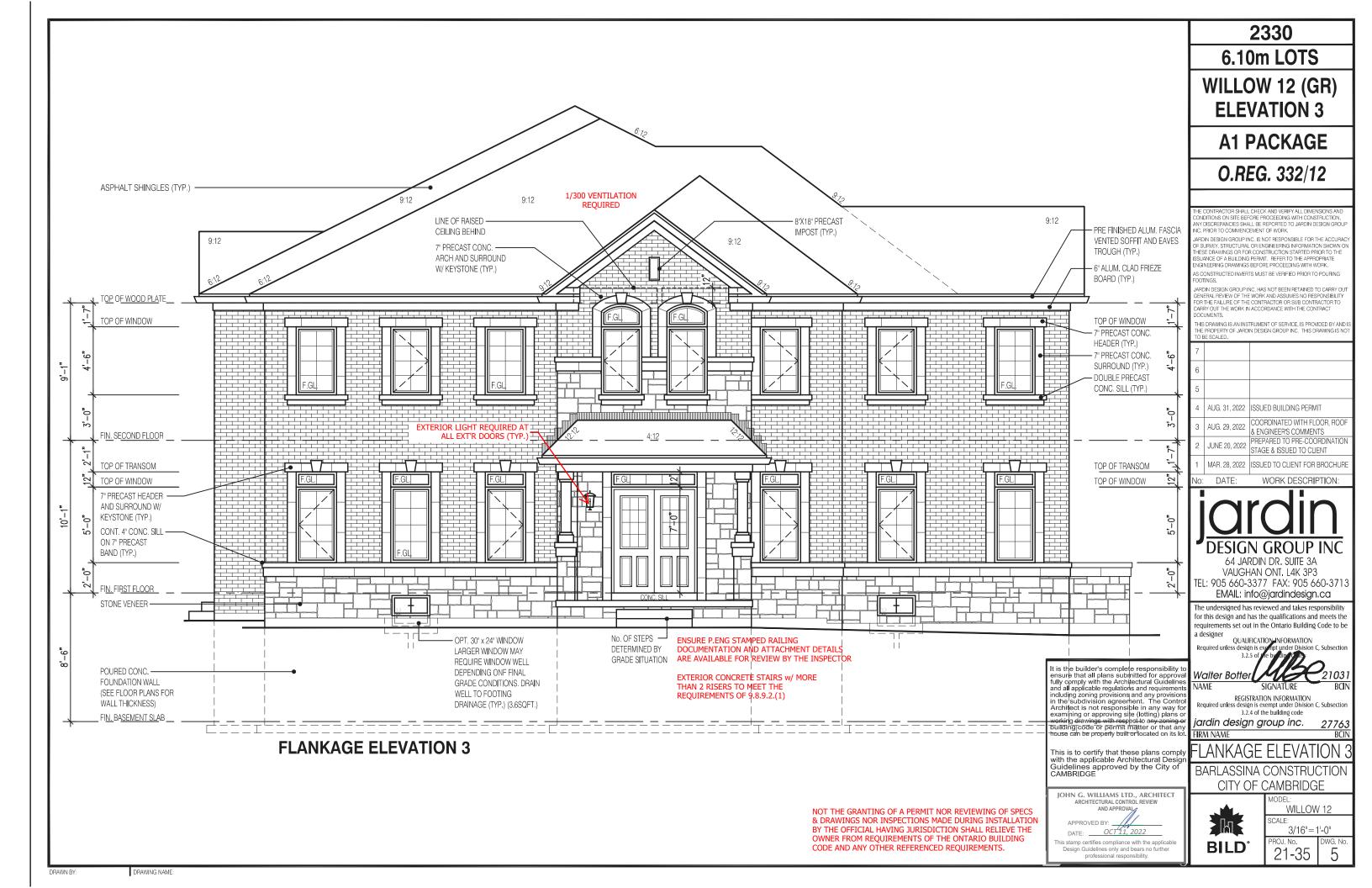
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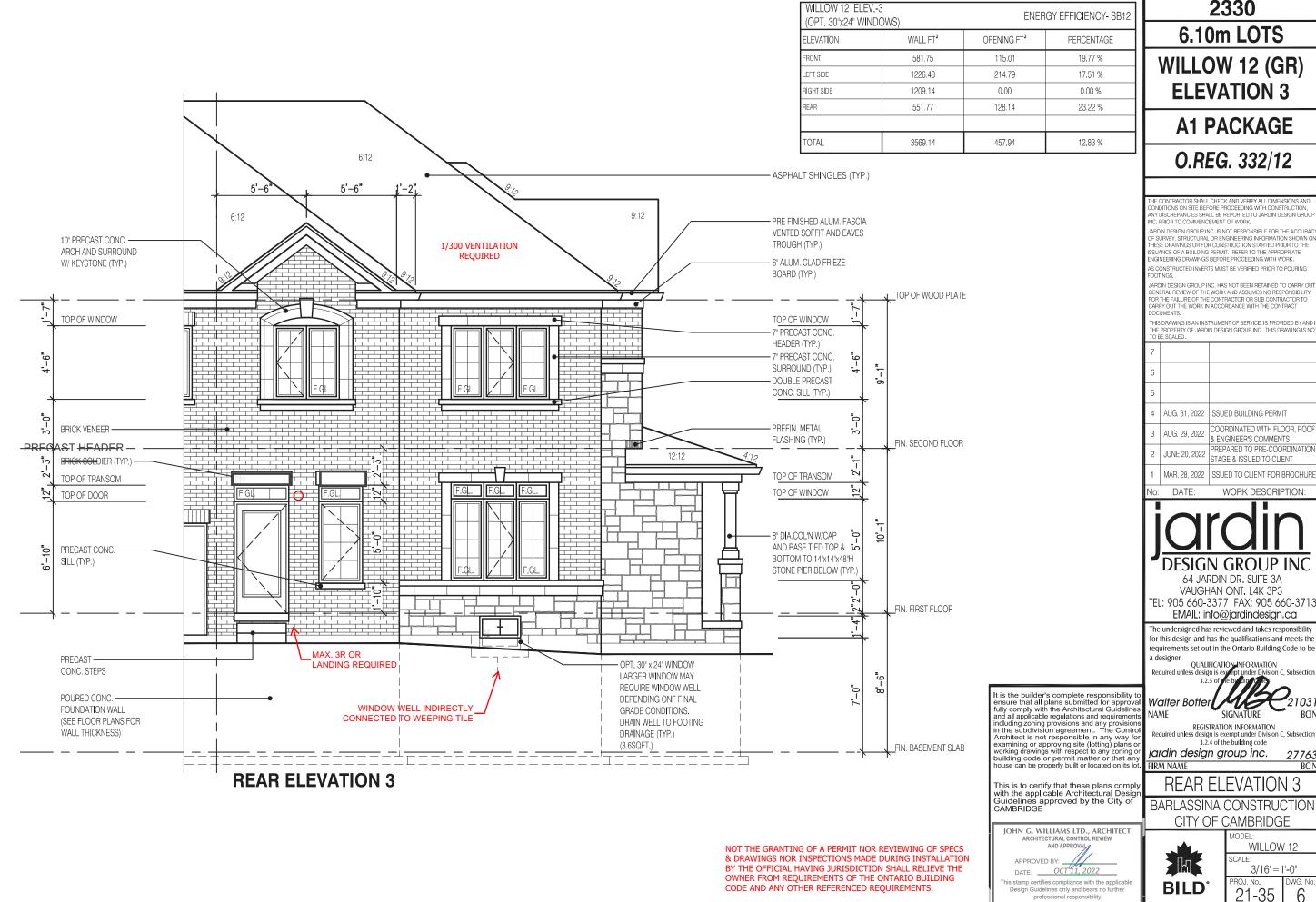
examining or approving site (lotting) plans

working drawings with respect to any zoning building code or permit matter or that ar house can be properly built or located on its le

This is to certify that these plans compl with the applicable Architectural Desig Guidelines approved by the City of CAMBRIDGE

IOHN G. WILLIAMS LTD., ARCHITECT





2330

CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. IY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROU

JARDIN DESIGN GROUP INC. IS NOT HESPONSIBLE FOR THE ACCUR-OF SURVEY, STRUCTURAL OR ROIS REERING INFORMATION SHOWN THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE

THIS DRAWING IS AN INSTRUMENT OF SERVICE. IS PROVIDED BY AND IS

1			
	5		
	4	AUG. 31, 2022	ISSUED BUILDING PERMIT
	3	AUG. 29, 2022	COORDINATED WITH FLOOR, ROO & ENGINEER'S COMMENTS
	2	JUNE 20, 2022	PREPARED TO PRE-COORDINATIO

WORK DESCRIPTION:



TEL: 905 660-3377 FAX: 905 660-3713 EMAIL: info@jardindesian.ca

for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be



BILD Design Guidelines only and bears no further professional responsibility.

