#### DOOR SHEDULE:

1 = 2'-10" x 6'-8" INSULATED ENTRANCE DOOR 1A = 2'-8" x 6'-8" INSULATED ENTRANCE DOOR

 $2 = 2'-8" \times 6'-8"$  EXTERIOR GLAZED DOOR

 $3 = 2'-8" \times 6'-8"$  SLAB DOOR (1 3/4" EXTERIOR

 $4 = 2'-8" \times 6'-8"$  SLAB DOOR (1 3/8" INTERIOR)

 $5 = 2'-6'' \times 6'-8''' \text{ SLAB DOOR } (1.3/8''' \text{ INTERIOR})$ 

 $6 = 2'-2'' \times 6'-8''$  SLAB DOOR (1 3/8" INTERIOR)

 $7 = 1'-6" \times 6'-8"$  SLAB DOOR (1 3/8" INTERIOR)

 $8 = 2'-6'' \times 6'-8'' BI-FOLD (1 3/8'' INTERIOR)$ 

 $9 = 3'-0" \times 6'-8"$  BI-FOLD (1 3/8" INTERIOR)

10= 2- 2'-0" x 6'-8" BI-FOLD (1 3/8" INTERIOR)

11= 2- 2'-6" x 6'-8" BI-FOLD (1 3/8" INTERIOR)

12 = 2'-6" x 6'-8" FRENCH DOOR (1 3/8" INTERIOR)

#### **PAD FOOTING**

120 KPa NATIVE SOIL 90 KPa ENGINEERED FILL SOIL

F1 = 42"x42"x18" CONCRETE PAD F1 = 48"x48"x20" CONCRETE PAD F2 = 36"x36"x16" CONCRETE PAD F2 = 40"x40"x16" CONCRETE PAD

F3 = 30"x30"x12" CONCRETE PAD F3 = 34"x34"x14" CONCRETE PAD F4 = 24"x24"x12" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD

F5 = 16"x16"x8" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)

### NOTE:

WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC. FOUNDATION WALL IS REQUIRED.

#### NOTE:

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa WITH 5-8% AIR ENTRAITMENT.

#### **BRICK VENEER LINTELS:**

 $WL1 = 3 \frac{1}{2} \times 3 \frac{1}{2} \times 1 \frac{4}{90 \times 90 \times 6} + 2 - 2 \times 8 \text{ SPR}.$ WL2 = 4" x 3 1\2" x 5\16" (100x90x8) + 2- 2" x 8" SPR.

 $WL3 = 5" \times 3 \times 12" \times 5 \times 16" (125 \times 90 \times 8) + 2 - 2" \times 10" SPR.$  $WL4 = 6" \times 3 \times 1 \times 2" \times 3 \times 8" (150 \times 90 \times 10) + 2 - 2" \times 12" SPR.$  $WL5 = 6" \times 4" \times 3\8" (150\times100\times10) + 2-2" \times 12" SPR.$ 

 $WL6 = 5" \times 3 \times 1/2" \times 5/16" (125 \times 90 \times 8) + 2 - 2" \times 12" SPR.$  $WL7 = 5" \times 3 \times 12" \times 5 \times 16" (125 \times 90 \times 8) + 3 - 2" \times 10" SPR$ WL8 =  $5'' \times 3 \times 1/2'' \times 5/16'' (125 \times 90 \times 8) + 3 - 2'' \times 12'' SPR$  $WL9 = 6" \times 4" \times 3\8" (150\times100\times10) + 3-2" \times 12" SPR.$ 

#### **WOOD LINTELS:**

WB1 = 2-2" x 8" SPRUCE BEAM WB6 = 3-2" x 12" SPRUCE BEAM WB2 = 3-2" x 8" SPRUCE BEAM WB7 = 5- 2" x 12" SPRUCE BEAM WB3 = 2- 2" x 10" SPRUCE BEAM WB10 = 4- 2" x 8" SPRUCE BEAM WB11 = 4- 2" x 10" SPRUCE BEAM WB4 = 3- 2" x 10" SPRUCE BEAM

WB5 = 2-2" x 12" SPRUCE BEAM

# **STEEL LINTELS:**

 $L1 = 3 \frac{1}{2} \times 3 \frac{1}{4} (90 \times 90 \times 6)$   $L4 = 6'' \times 3 \frac{1}{2}'' \times 3 \%'' (150 \times 90 \times 10)$ L2 = 4" x 3 1\2" x 5\16" (100 x 90 x 8) L5 = 6" x 4" x 3\8" (150 x 100 x 10) L3 = 5" x 3 1\2" x 5\16" (125 x 90 x 8) L6 = 7" x 4" x 3\8" (180 x 100 x 10)

# LAMINATED VENEER LUMBER (LVL BEAMS)

LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)  $LVL1 = 2-1 3/4" \times 7 1/4" (2-45\times184)$  $LVL2 = 3-1 3/4" \times 7 1/4" (3-45 \times 184)$  $LVL3 = 4-1 3/4" \times 7 1/4" (4-45\times184)$ 

 $LVL4A = 1-1 3/4" \times 9 1/2" (1-45x240)$  $LVL4 = 2-1 3/4" \times 9 1/2" (2-45x240)$ LVL5 = 3-13/4" x 9 1/2" (3-45x240)

 $LVL5A = 4-1 3/4" \times 9 1/2" (4-45x240)$ LVL6A= 1-1 3/4" x 11 7/8" (1-45x300) IVI6 = 2-1.3/4" x 11.7/8" (2-45x300)

LVL7 = 3-13/4" x 11 7/8" (3-45x300) LVL7A= 4-1 3/4" x 11 7/8" (4-45x300)

 $LVL8 = 2-1 3/4" \times 14" (2-45x356)$  $LVL9 = 3-1 3/4" \times 14" (3-45 \times 356)$  INSPECTOR AT FRAMING INSPECTION

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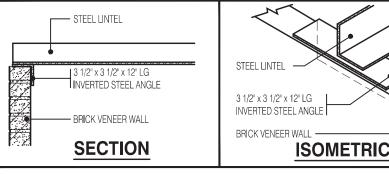
ROOF TRUSS DRAWINGS BY MANUFACTURER

FLOOR TRUSS LAYOUT BY MANUFACTURER

INSTALLATION OF FLUSH STEEL BEAMS HALL CONFORM TO THE REQUIREMENTS O

CONFIRM BEARING CAPACITY OF SOILS. SEE FIELD INSPECTOR

NERGY PERFORMANCE LABELS FOR ALL GLAZING PRODUCTS IDENTIFYING THE CERTIFIED VALUES SHALL REMAIN ON FOR REVIEW DURING CONSTRUCTION



# **INVERTED STEEL ANGLE DETAIL**

Scale: 3/4" = 1'-0"

WILLOW 1 ELEV1	LOW 1 ELEV1 ENERGY EFFICIENCY- SB12		
ELEVATION	WALL FT <sup>2</sup>	OPENING FT <sup>2</sup>	PERCENTAGE
FRONT	404.71	76.52	18.91 %
LEFT SIDE	1096.26	0.00	0.00 %
RIGHT SIDE	1096.26	0.00	0.00 %
REAR	379.06	82.74	21.83 %
TOTAL	2976.29	159.26	5.35 %
WILLOW 1 ELEV2 ENERGY EFFICIENCY- SB12			
ELEVATION	WALL FT <sup>2</sup>	OPENING FT <sup>2</sup>	PERCENTAGE
FRONT	394.90	83.17	21.06 %
LEFT SIDE	1088.76	0.00	0.00 %
RIGHT SIDE	1088.76	0.00	0.00 %
REAR	379.06	82.74	21.83 %
TOTAL	2951.48	165.91	5.62 %
WILLOW 1 ELEV3 ENERGY EFFICIENCY- SB12			
ELEVATION	WALL FT <sup>2</sup>	OPENING FT <sup>2</sup>	PERCENTAGE
FRONT	394.90	76.52	19.38 %
LEFT SIDE	1089.66	0.00	0.00 %
RIGHT SIDE	1089.66	0.00	0.00 %
REAR	379.06	82.74	21.83 %
TOTAL	2953.28	159.26	5.39 %

HESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROPEDRAY

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED

PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN.

PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7', 2 ROWS FOR SPANS GREATER THAN 7

# $\infty$ 4 <u>و</u> 3 4 Units 2 3 $\overline{\phantom{a}}$ lock $\overline{\mathbf{m}}$

#### FIRST FLOOR AREA 706 Sq. Ft. SECOND FLOOR AREA = 990 Sq. Ft. 1696 Sq. Ft. TOTAL FLOOR AREA ADD OPEN AREAS 0 Sa. Ft. ADD FIN. BASEMENT AREA = 0 Sq. Ft. 1696 Sq. Ft. GROSS FLOOR AREA GROUND FLOOR COVERAGE = 706 Sq. Ft. GARAGE COVERAGE / AREA = 343 Sq. Ft. = 71 Sq. Ft. PORCH COVERAGE / AREA COVERAGE W/ PORCH = 1049 Sq. Ft. $= 97.46 \,\mathrm{Sg} \,\mathrm{m}$ = 1120 Sq. Ft. COVERAGE W/O PORCH $= 104.05 \, \text{Sa. m.}$ AREA CALCULATIONS EL-2 FIRST FLOOR AREA 706 Sq. Ft. SECOND FLOOR AREA 990 Sq. Ft. = 1696 Sq. Ft. TOTAL FLOOR AREA

AREA CALCULATIONS EL-1

ADD OPEN AREAS 0 Sq. Ft. ADD FIN. BASEMENT AREA 0 Sq. Ft. 1696 Sq. Ft. GROSS FLOOR AREA GROUND FLOOR COVERAGE = 706 Sq. Ft. GARAGE COVERAGE / AREA = 343 Sq. Ft. PORCH COVERAGE / AREA = 71 Sq. Ft. COVERAGE W/ PORCH = 1049 Sq. Ft. = 97.46 Sq. m. = 1120 Sq. Ft COVERAGE W/O PORCH = 104.05 Sa. m

## ADEA CALCULATIONS EL

AREA CALCULAT	IC	JNS EL-3
FIRST FLOOR AREA SECOND FLOOR AREA	=	706 Sq. Ft.
SECOND FLOOR AREA	=	990 Sq. Ft.
TOTAL FLOOR AREA	=	1696 Sq. Ft.
ADD OPEN AREAS	=	0 Sq. Ft.
ADD FIN. BASEMENT AREA	=	0 Sq. Ft.
GROSS FLOOR AREA	=	1696 Sq. Ft.
GROUND FLOOR COVERAGE	=	706 Sq. Ft.
GARAGE COVERAGE / AREA	=	343 Sq. Ft.
PORCH COVERAGE / AREA	=	71 Sq. Ft.
COVERAGE W/ PORCH	=	1049 Sq. Ft.
	=	97.46 Sq. m.
COVERAGE W/O PORCH	=	1120 Sq. Ft.
l	=	104 05 Sa. m.

SRANTING OF A PERMIT NOR REVIEWING OF SPE GS NOR INSPECTIONS MADE DURING INSTALLAT CIAL HAVING JURISDICTION SHALL RELIEVE T M REQUIREMENTS OF THE ONTARIO BUILDING Y OTHER REFERENCED REQUIREMENTS.

# **LEGEND:**

NOT TH

BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D)

INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE

STL. PLATE FOR STEEL COL'N ABOVE LVL LAMINATED VENEER LUMBER

S.J. SINGLE JOIST D.J. DOUBLE JOIST

TRIPLE JOIST 0 REPEAT NOTE

0 SHOWER WEEPERS

It is the builder's complete responsibility t ensure that all plans submitted for approva fully comply with the Architectural Guideline and all applicable regulations and requirement including zoning provisions and any provision in the subdivision agreement. The Contro Architect is not responsible in any way fo examining or approving site (lotting) plans o vorking drawings with respect to any zoning building code or permit matter or that an house can be properly built or located on its lo

This is to certify that these plans comply with the applicable Architectural Desig Guidelines approved by the City of CAMBRIDGE

# SITY OF CAMBRIDGE BUILDING DIVISION

ONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION Y DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROU NC. PRIOR TO COMMENCEMENT OF WORK. IADDIN DESIGN ODDI ID INC. IS NOT DESDONSIDI E COD THE ACCUIDA

1696

**6.10m LOTS** 

WILLOW 1 (GR)

**ELEVATION 1, 2 & 3** 

**A1 PACKAGE** 

O.REG. 332/12

SUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE NGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK. AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING

IARDIN DESIGN GROUP INC. HAS NOT BEEN BETAINED TO CARRY OF ARDIN DESIGN ORDUP INC. HAS NOT BEEN HETAINED TO CARRY OL SENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY OR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO SARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT

OCUMENTS. THIS DRAWING IS AN INSTRUMENT OF SERVICE. IS PROVIDED BY AND

HE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NO O BE SCALED.

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	ŀ	4	AUG. 31, 2022	ISSUED BUILDING PERMIT
	:	3	AUG. 29, 2022	COORDINATED WITH FLOOR, RO & ENGINEER'S COMMENTS
		2	JUNE 20, 2022	PREPARED TO PRE-COORDINAT STAGE & ISSUED TO CLIENT
	Г	1	MAR. 28, 2022	ISSUED TO CLIENT FOR BROCH

DATE: WORK DESCRIPTION:

# DESIGN GROUP INC

64 JARDIN DR. SUITE 3A VAUGHAN ONT, L4K 3P3 TEL: 905 660-3377 FAX: 905 660-3713 EMAIL: info@jardindesian.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be

a designer **QUALIFICATION INFORMATION** Required unless design is exempt under Division C, Subsectio

3.2.5 of Walter Botter NAME

> REGISTRATION INFORMATION 3.2.4 of the building code

Required unless design is exempt under Division C, Subsection 27763

jardin design group inc. FIRM NAME

TITLE SHEET

BARLASSINA CONSTRUCTION CITY OF CAMBRIDGE



WILLOW 1 SCALE

3/16"=1'-0" ROJ. No. 21-35

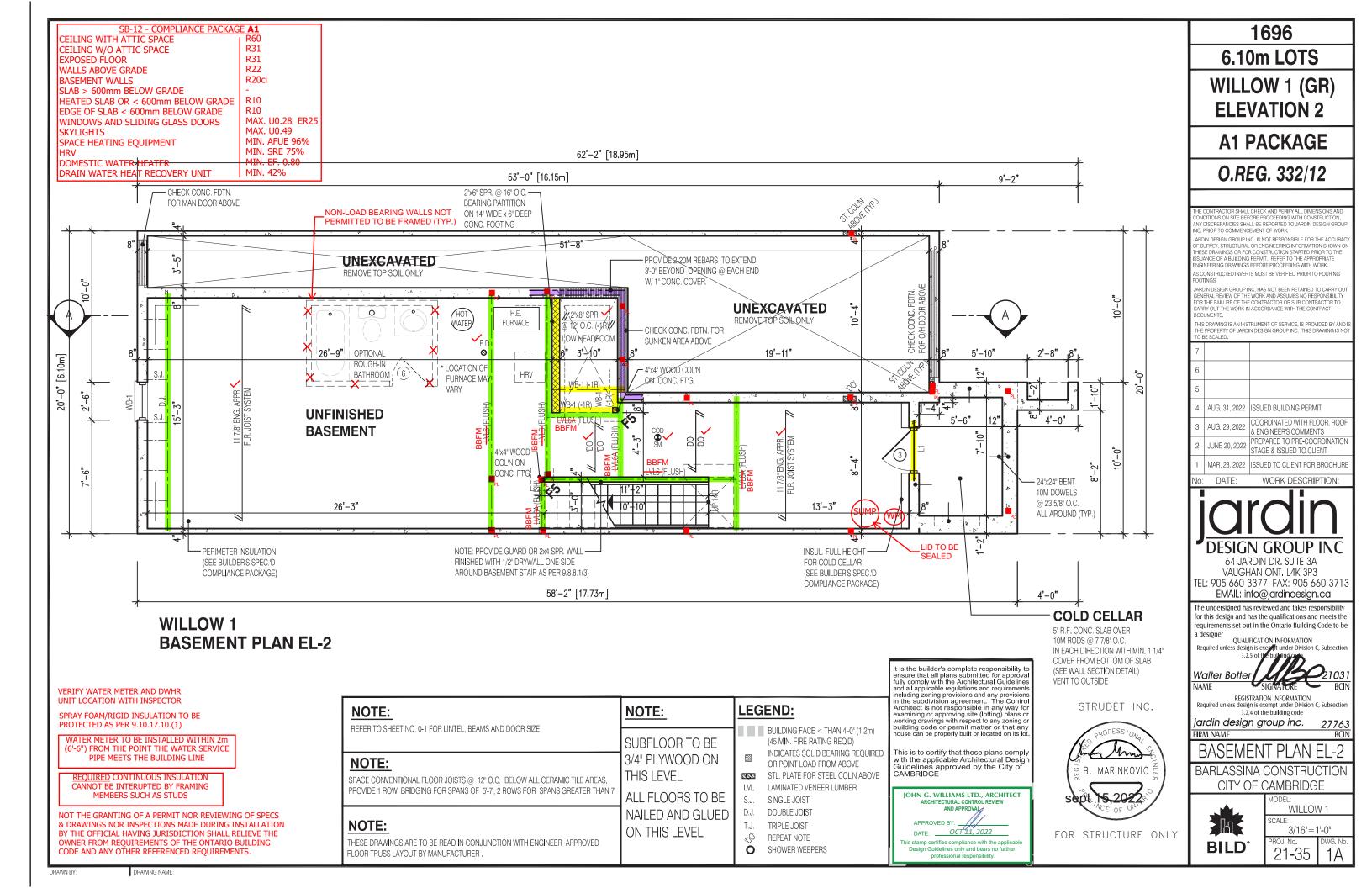
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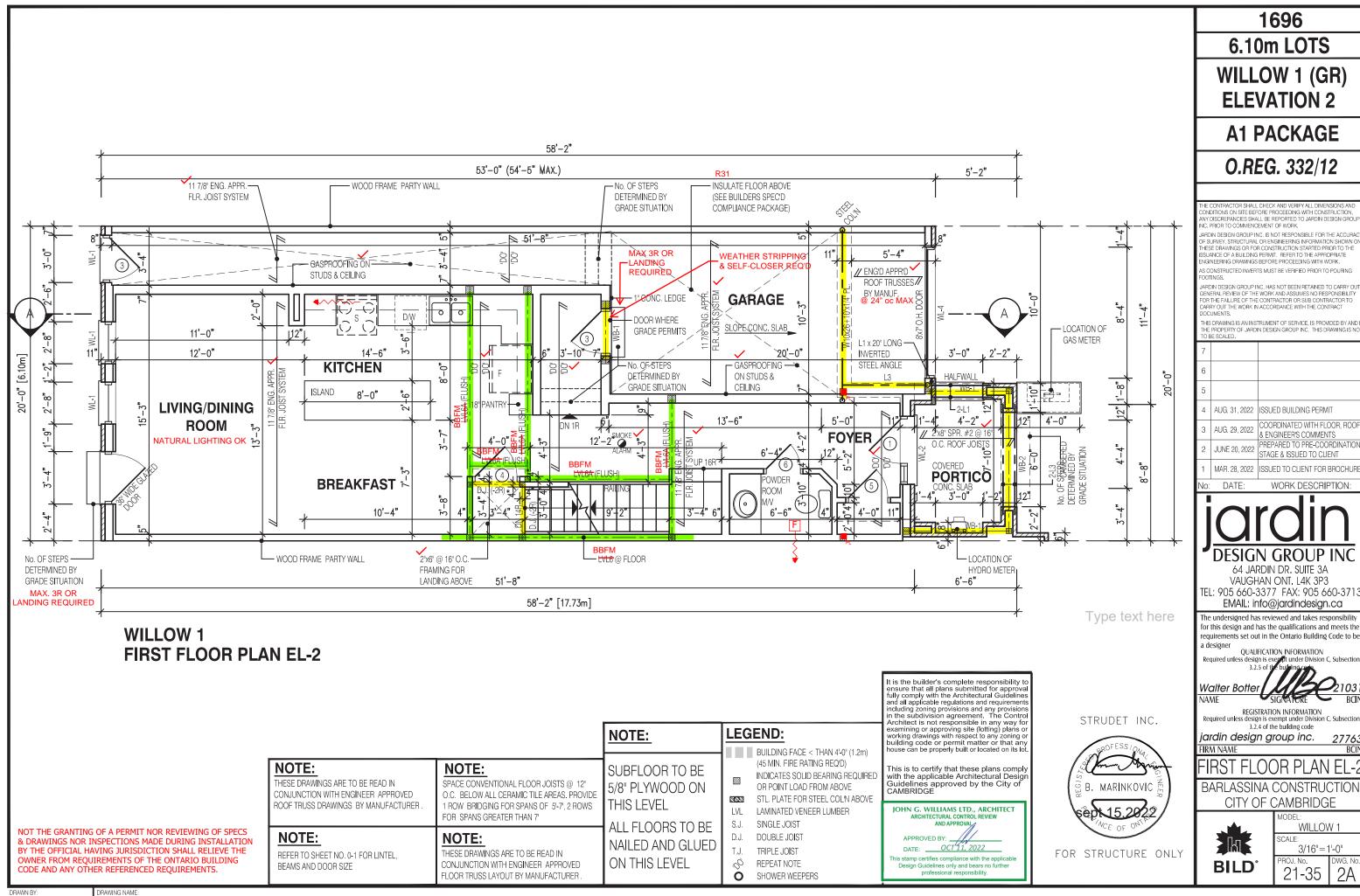
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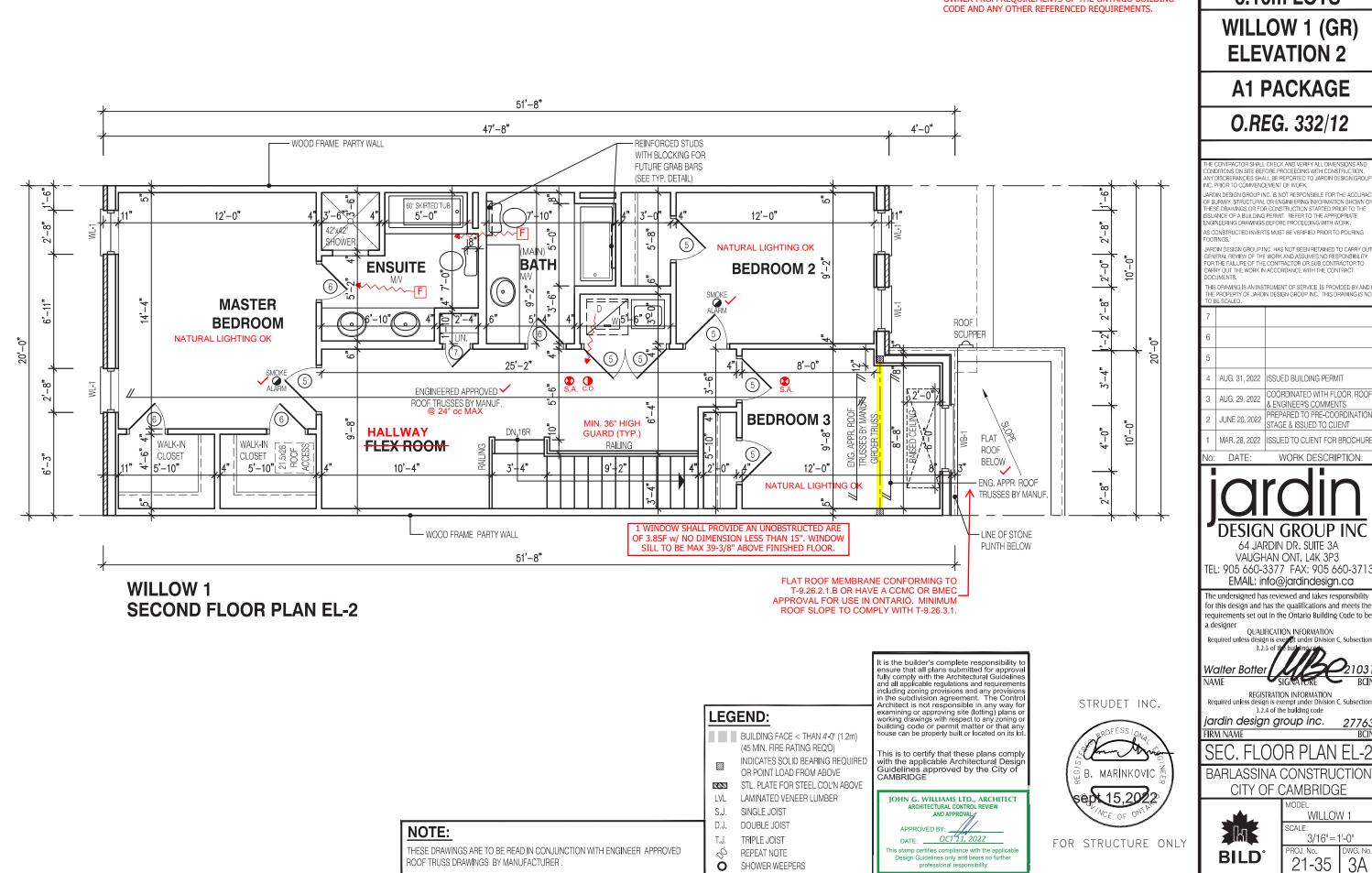
sept 15,2022

DRAWING NAME





NOT THE GRANTING OF A PERMIT NOR REVIEWING OF SPECS & DRAWINGS NOR INSPECTIONS MADE DURING INSTALLATION BY THE OFFICIAL HAVING JURISDICTION SHALL RELIEVE THE OWNER FROM REQUIREMENTS OF THE ONTARIO BUILDING



1696

**6.10m LOTS** 

WILLOW 1 (GR) **ELEVATION 2** 

**A1 PACKAGE** 

O.REG. 332/12

ONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROU IC. PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURA ARBINI DESIGN ORDUP INC. IS NOT RESPONSIBLE FOR THE ACCURY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE SSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE NGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.

AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING

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IOE	E SCALED.	
7		
6		
5		
4	AUG. 31, 2022	ISSUED BUILDING PERMIT
3	AUG. 29, 2022	COORDINATED WITH FLOOR, ROC & ENGINEER'S COMMENTS
		PREPARED TO PRE-COORDINATION

WORK DESCRIPTION:



64 JARDIN DR. SUITE 3A VAUGHAN ONT, L4K 3P3 TEL: 905 660-3377 FAX: 905 660-3713 EMAIL: info@jardindesian.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be

**QUALIFICATION INFORMATION** Required unless design is exempt under Division C, Subsectio

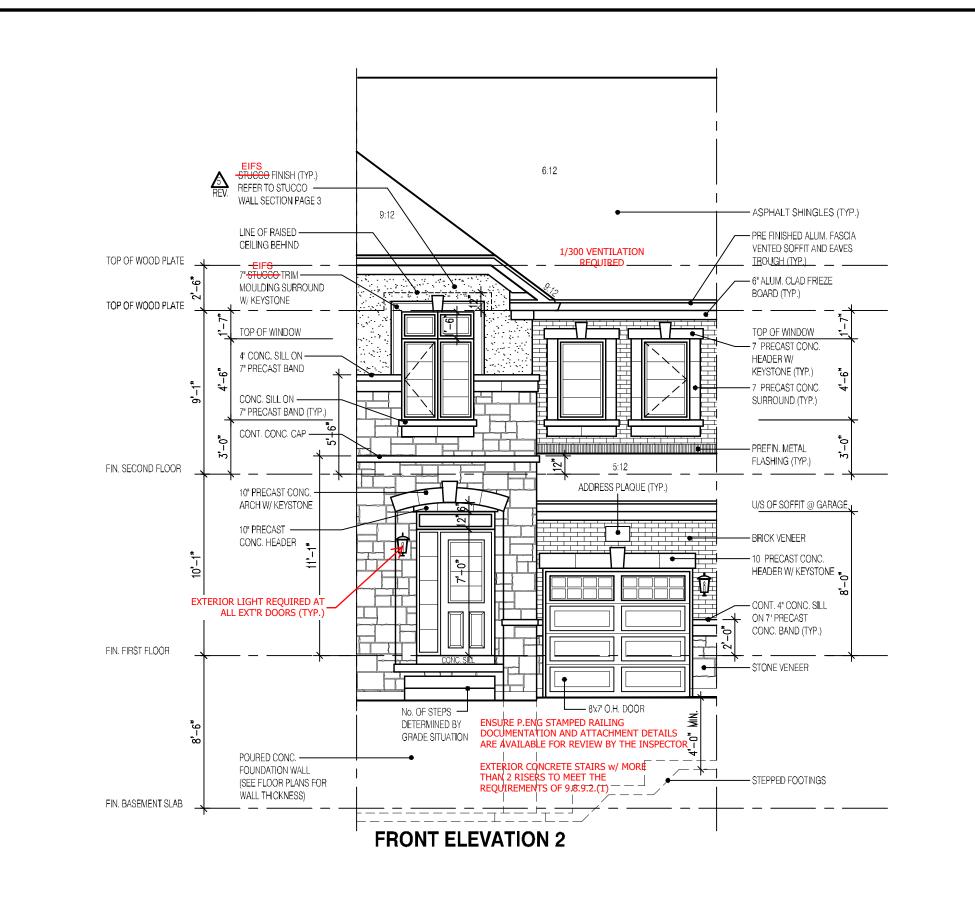
REGISTRATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

jardin design group inc.

BARLASSINA CONSTRUCTION CITY OF CAMBRIDGE

WILLOW 1

3/16"=1'-0" ROJ. No. 21-35



1696

6.10m LOTS

WILLOW 1 (GR) **ELEVATION 2** 

A1 PACKAGE

O.REG. 332/12

CONDITIONS ON STEELECTIES AND VEHT ALL DIVENSIONS AND CONDITIONS ON STEELECOPE PROCEEDING AITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DES ON GROU √C. PRIO⊇ TO COVMENCEMENT OF WORK.

, ARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCUPAC OF SURVEY, STRUCTURAL OR ENCLOPERING INFORMATION SHOWN ON THESE DRAWINGS OF FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE. ENGINEERING CRAWINGS BEFORE PROCESSING WITH WORK.

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JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARTY OUT CENTRAL REVIEW OF THE NORK AND ASSUMES NO RESTONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB-CONTRACTOR TO CARTY OUT THE MORK IN ACCORDANCE WITH THE CONTRACT

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$\sqrt{2}$	MAR. 8, 2023	REV. STUCCO NOTE AS PER CIT COMMENT, REISSUED FOR PERM
4	AUG. 31, 2022	ISSUED BUILDING PERMIT
3	AUG. 29, 2022	COORDINATED WITH FLOOR, ROOF & ENGINEER'S COMMENTS
2	JUNE 20, 2022	PREPARED TO PRE-COORDINATION STAGE & ISSUED TO CLIENT

WORK DESCRIPTION: DATE:

MAR. 28, 2022 ISSUED TO CLIENT FOR BROC-URE



64 JARDIN DR. SUITE 3A VAUGHAN ONT. L4K 3P3 TEL: 905 660-3377 FAX: 905 660-3713 EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION



REGISTRATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

ardin design group inc.

IRM NAME

FRONT ELEVATION 2

BARLASSINA CONSTRUCTION CITY OF CAMBRIDGE



It is the builder's complete responsibility

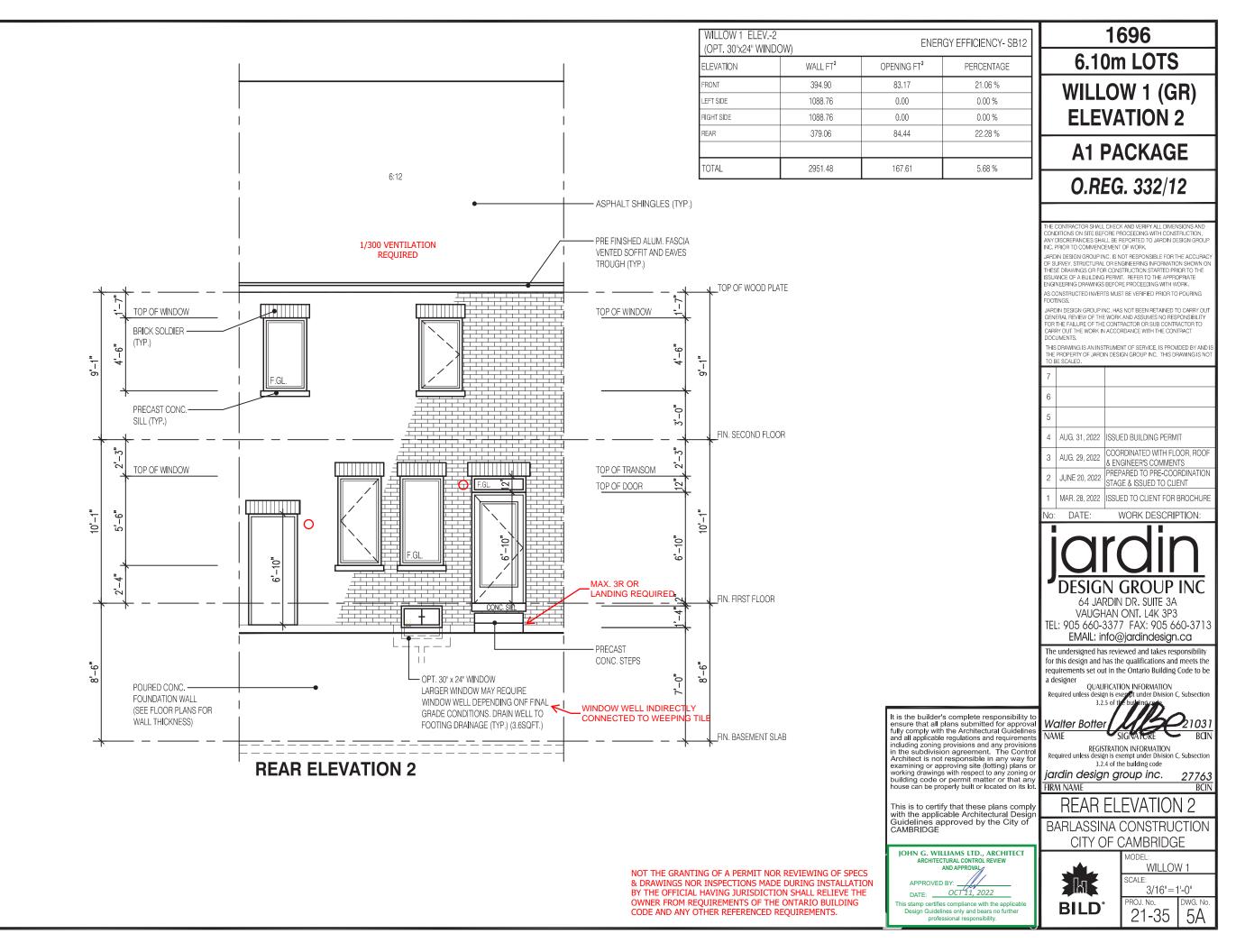
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This is to certify that these plans compl with the applicable Architectural Desig Guidelines approved by the City of CAMBRIDGE

> WILLOW 1 SCALE:

3/16"=1'-0" PROJ. No. 21-35

NOT THE GRANTING OF A PERMIT NOR REVIEWING OF SPECS & DRAWINGS NOR INSPECTIONS MADE DURING INSTALLATION BY THE OFFICIAL HAVING JURISDICTION SHALL RELIEVE THE OWNER FROM REQUIREMENTS OF THE ONTARIO BUILDING CODE AND ANY OTHER REFERENCED REQUIREMENTS.



DRAWING NAME

