

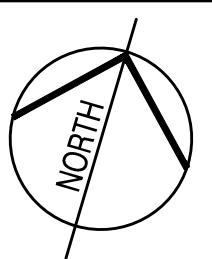
ST—STORM CONNECTION
S—SANITARY CONNECTION
W—WATER CONNECTION
H—HYDRO CONNECTION
DOUBLE CATCH BASIN
CATCH BASIN
STREET LIGHT
TRANSFORMER
INFILTRATION TRENCH (BELOW)

UNITS REQUIRING SUMP PUMPS THAT DISCHARGE TO SURFACE
UNITS REQUIRING SUMP PUMPS THAT DISCHARGE TO STORM
HYDRANT
ENGINEERED FILL LOT
CABLE TV PEDESTAL
BELL PEDESTAL
ENTRANCE DOOR LOCATION
GARAGE DOOR LOCATION

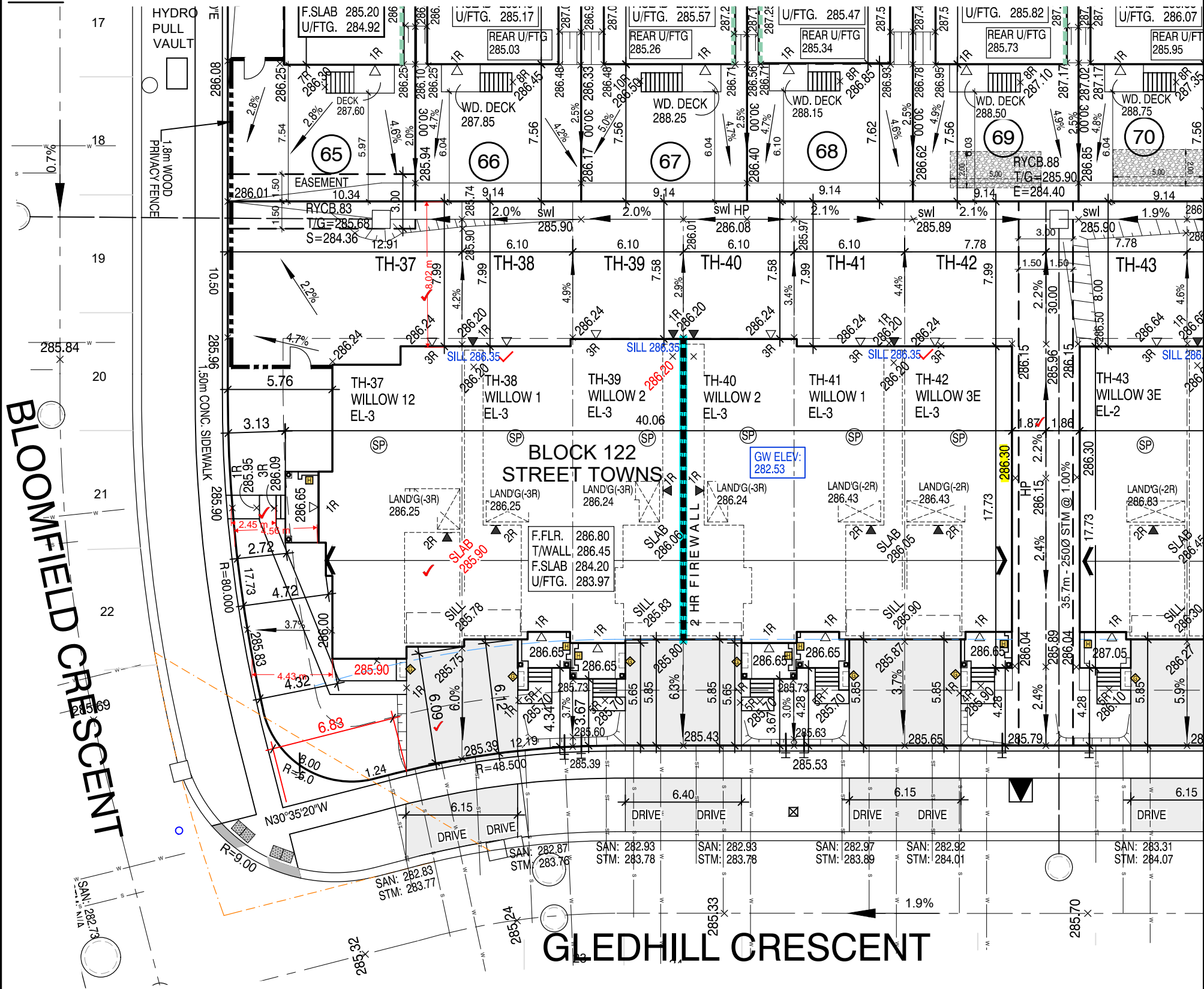
HYDRO METER
GAS METER
COMMUNITY MAILBOX
PROPOSED BERM
DOWNSPOUT LOCATION
VALVE AND CHAMBER
SANITARY MANHOLE
STORM MANHOLE

100.00 PROPOSED GRADE
100.00 EXISTING GRADE
100.00 PROPOSED SWALE GRADE
SWALE DIRECTION
F.FLR. FINISHED FLOOR ELEVATION
T/WALL TOP OF FOUNDATION WALL
F.SLAB FIN. BASEMENT FLOOR SLAB
U/FTG. UNDERSIDE FOOTING ELEVATION

PART OF LOT 1
CONCESSION 9
CITY OF CAMBRIDGE
REGIONAL MUNICIPALITY OF WATERLOO
REGISTERED PLAN 58M-696



LEGEND



lot coverage 32%;
front landscaping OK;
landscaping OK

CITY OF CAMBRIDGE
ZONING APPROVAL
Mila Masic 12/20/2022
SIGNATURE DATE

CITY OF CAMBRIDGE
GRADING APPROVAL
A. J. [Signature] 12/15/2022
SIGNATURE DATE

We certify that the proposed grades at the lot corners are correct, and that the lot grading of the subject lot is in general conformity to the approved subdivision grading plans and City of Cambridge standards.

CITY OF CAMBRIDGE
BUILDING DIVISION
THESE PLANS have been examined for compliance with the Ontario Building Code Requirements. A Building Permit is in order to issue subject to any changes noted under the condition that the building will be constructed in accordance with the code
[Signature] 03/08/2023
INSPECTOR DATE

NOT THE GRANTING OF A PERMIT NOR REVIEWING OF SPECS & DRAWINGS NOR INSPECTIONS MADE DURING INSTALLATION BY THE OFFICIAL HAVING JURISDICTION SHALL RELIEVE THE OWNER FROM REQUIREMENTS OF THE ONTARIO BUILDING CODE AND ANY OTHER REFERENCED REQUIREMENTS.

45 MINUTE RATED WALL
WITH SIDE YARD < 1.2m

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of CAMBRIDGE.

7	MAR. 08, 2023	REV. AS PER ENGINEERS COMMENTS & RE-ISSUED TO CLIENT FOR PERMIT
6	MAR. 02, 2023	REV. AS PER CITY COMMENTS & RE-ISSUED TO CLIENT FOR PERMIT
5	OCT. 12, 2022	ADDED INFILTRATION GALLERY & RE-ISSUED TO CLIENT FOR REVIEW.
4	OCT. 06, 2022	REV. AS PER LATEST GRADING PLAN & RE-ISSUED TO CLIENT FOR REVIEW.
3	APR. 25, 2022	ADDED SANSTORM INVERT ELEVATIONS & ISSUED TO CLIENT FOR REVIEW.
2	MAR. 14, 2022	REVISED AS PER CLIENTS COMMENTS & RE-ISSUED TO CLIENT FOR REVIEW.
1	FEB. 23, 2022	ISSUED FOR CLIENT FOR REVIEW

REVISIONS:

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.

AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.

JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

THIS DRAWING IS AN INSTRUMENT OF SERVICE. IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE SCALED.



BARLASSINA CONSTRUCTION INC.

PROJ. No. 21-35
LOT No. BLK-122
MUNICIPAL ADDRESS
UNITS TH-37-TH-42



The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

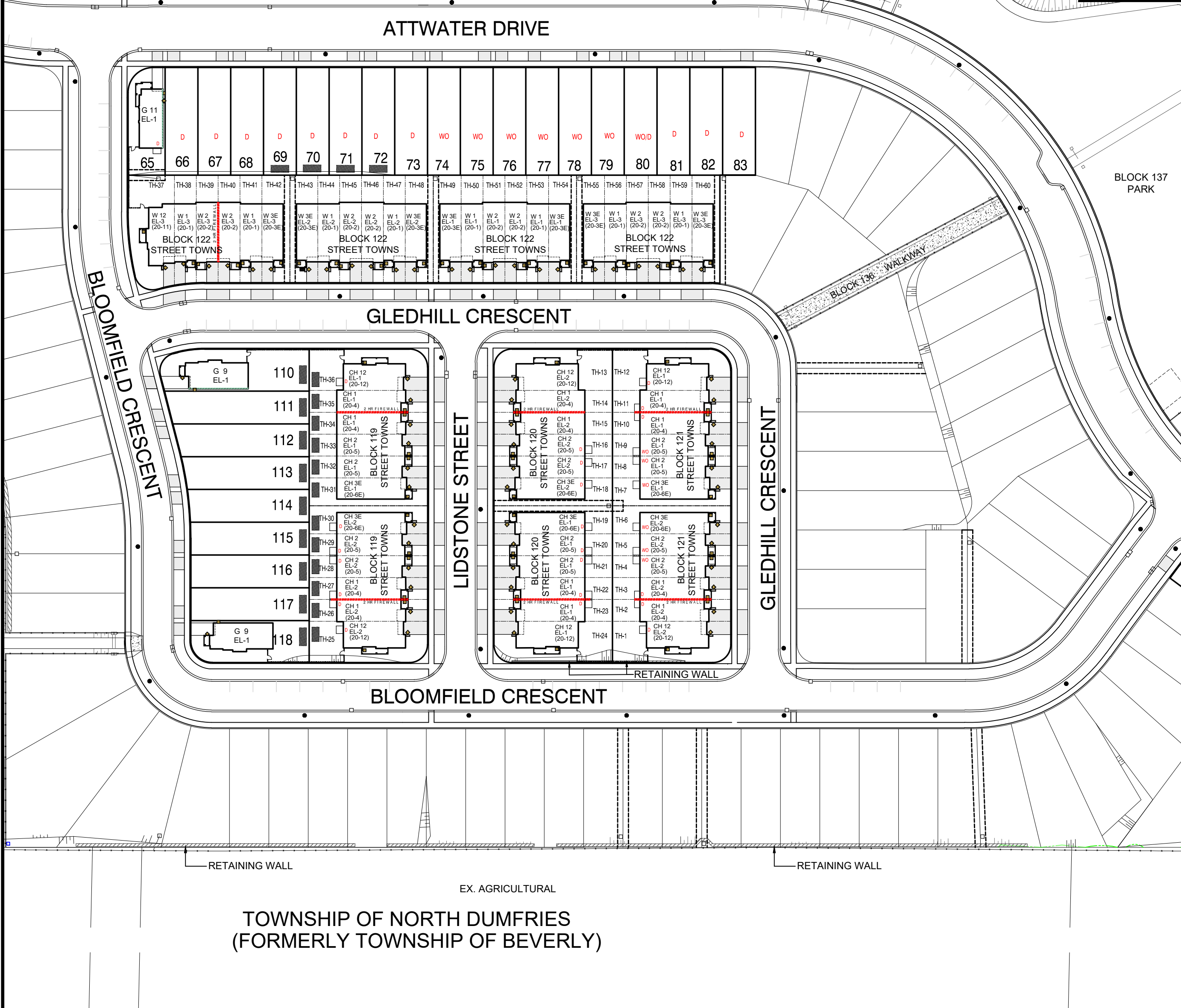
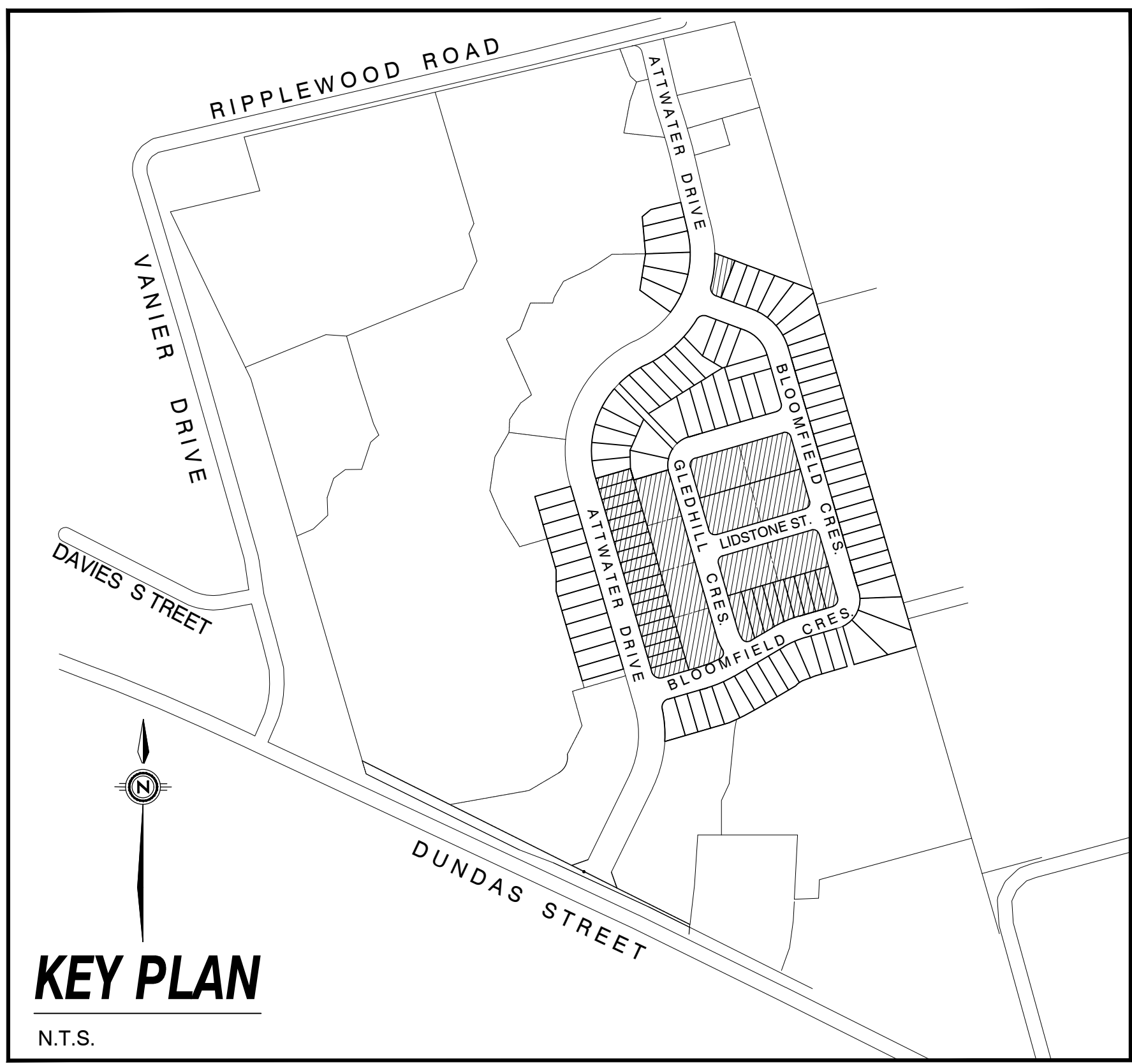
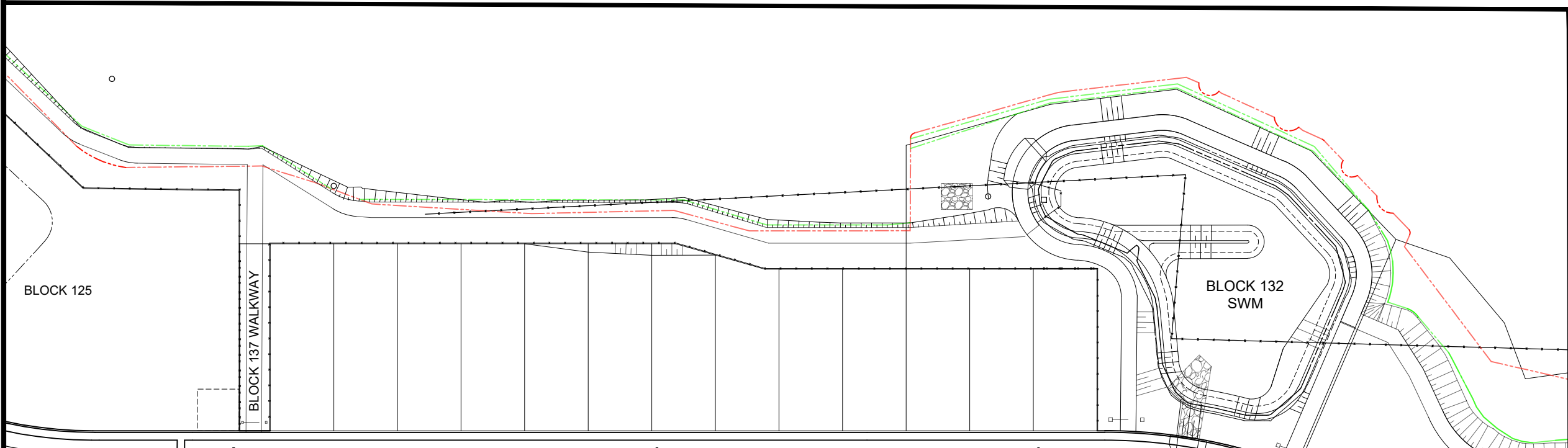
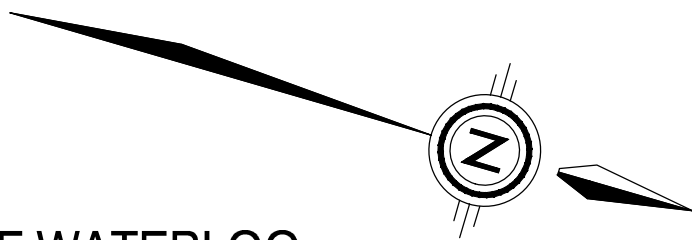
QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code
Walter Botter 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code
jardin design group inc. 27763
FIRM NAME BCIN

jardin
DESIGN GROUP INC.
64 JARDIN DR, SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

GREENPARK
PRESENTS
BARLASSINA CONSTRUCTION INC.

PART OF LOT 1
CONCESSION 9
CITY OF CAMBRIDGE
REGIONAL MUNICIPALITY OF WATERLOO



BARLASSINA CONSTRUCTION INC.
(CAMBRIDGE SOUTH)

LOT SUMMARY

LOT CATEGORY	END	INTERNAL	CORNER	TOTAL
6.10m Lot (20'-0") (Street Towns)	13	40	7	60
9.14m Lot (30'-0") (Single Detached)	25		4	29
TOTAL	78		11	89

LEGEND

- 45 MINUTE RATED WALL WITH SIDE YARD < 1.2m
- INDICATES DRIVEWAY LOCATION
- ELEVATION UPGRADE REQUIRED
- RETAINING WALL
- PRIVACY FENCE
- 1.20m HIGH CHAIN LINK FENCE
- WO - INDICATES WALKOUT LOT
- D - INDICATES DECK LOT
- INDICATES SUMP PUMP REQUIRED
- INFILTRATION TRENCH (BELOW)
- G GARDEN
- W WILLOW
- CH CHERRY

OCT. 13, 2022	ADDED INFILTRATION GALLERY & ISSUED TO CLIENT FOR REVIEW.
SEPT. 21, 2022	UPDATED & ISSUED TO CLIENT FOR REVIEW.
APR. 11, 2022	UPDATED & ISSUED TO CLIENT FOR REVIEW.
MAR. 17, 2022	UPDATED & ISSUED TO CLIENT FOR REVIEW.
MAR. 07, 2022	UPDATED & ISSUED TO CLIENT FOR REVIEW.
NOV. 10, 2021	UPDATED BLOCK NUMBERS & ISSUED TO CLIENT FOR REVIEW.
NOV. 03, 2021	UPDATED PROJECT NAME & ISSUED TO CLIENT FOR REVIEW.
OCT. 01, 2021	ISSUED TO CLIENT FOR REVIEW.

REVISIONS:	
STARLANE ISSUANCE:	DESCRIPTION:



64 JARDIN DR. SUITE 3A, VAUGHAN ONT. L4K 3P3
TEL: (905) 660-3377 FAX: (905) 660-3713

SCALE:	1:900	DRAWING NAME:	DATE:
PROJECT NO:	21-35	BARLASSINA CONS. INC. KEYPLAN	DRAWN BY: LF