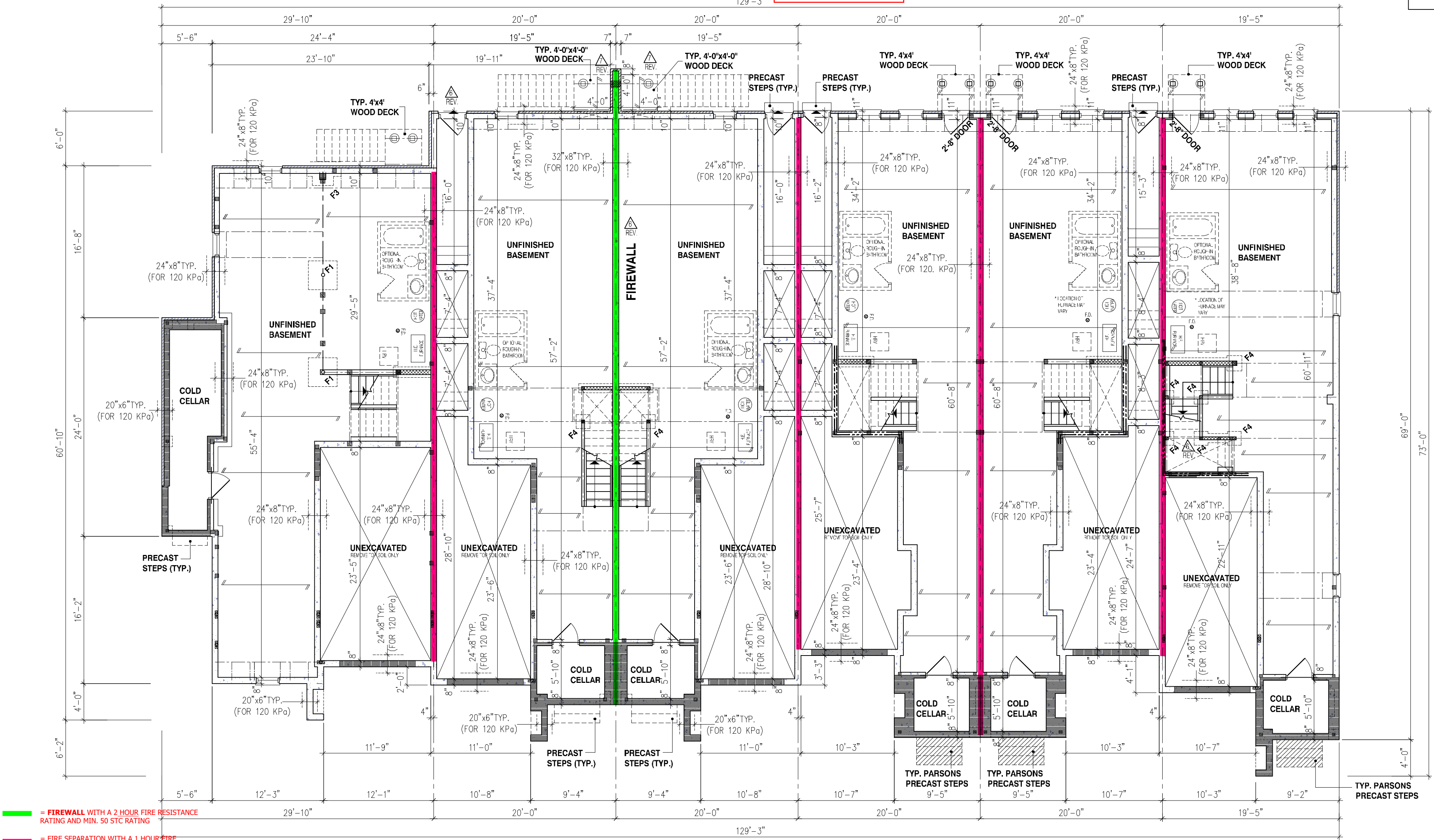


It is the holder's complete responsibility to ensure that all plans submitted for approval fully comply with the Ontario Building Code and all applicable regulations and any provisions in the building code. The City of Cambridge is not responsible in any way for ensuring or approving any building plans or for any design or construction errors or omissions. The City of Cambridge is not responsible for any building code or permit number or that any laws are properly followed or not.

6.10m TOWNS
CHERRY
MODELS
TH-1 TO TH-6



TH-1 CHERRY 12 EL-2 TH-2 CHERRY 1 EL-2 TH-3 CHERRY 1 EL-2 TH-4 CHERRY 2 EL-2 TH-5 CHERRY 2 EL-2 TH-6 CHERRY 3E EL-2

BLOCK 121

REFER TO INDIVIDUAL UNITS FOR THE FOLLOWING:

- GROUND FLOOR ROOF STRUCTURE
- BASEMENT AND GROUND FLOOR LINTELS
- GROUND FLOOR AND SECOND FLOOR STRUCTURE
- DOUBLE VOLUME WALL LOCATION AND DETAILS
- CONCRETE SLABS

NOTE: THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS DRAWINGS BY MANUFACTURER

NOTE: REFER TO GRADING PLAN FOR NUMBER OF STEPS

NOTE: ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa WITH 5-8% AIR ENTRAINMENT

NOT THE GRANTING OF A PERMIT NOR REVIEWING OF SPECS & DRAWINGS NOR INSPECTIONS MADE DURING INSTALLATION BY THE OFFICIAL HAVING JURISDICTION SHALL RELIEVE THE OWNER FROM REQUIREMENTS OF THE ONTARIO BUILDING CODE AND ANY OTHER REFERENCED REQUIREMENTS.

NOTE: WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC. FOUNDATION WALL IS REQUIRED. (FOUNDATION PLAN TO BE REVIEWED IN CONJUNCTION WITH SITE PLAN)

TYPICAL PAD FOOTING

120 KPa NATIVE SOIL	90 KPa ENGINEERED FILL SOIL
F1 = 42"x42"x18 CONCRETE PAD	F1 = 48"x48"x20 CONCRETE PAD
F2 = 36"x36"x18 CONCRETE PAD	F2 = 40"x40"x18 CONCRETE PAD
F3 = 30"x30"x12 CONCRETE PAD	F3 = 34"x34"x14 CONCRETE PAD
F4 = 24"x24"x12 CONCRETE PAD	F4 = 28"x28"x12 CONCRETE PAD
F5 = 16"x16"x8 CONCRETE PAD	F5 = 18"x18"x8 CONCRETE PAD

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)

STRIP FOOTINGS - FOR 2 STOREY CHERRY SERIES TOWNHOUSES

REFER TO FOUNDATION PLAN FOR DIMENSIONS AND FOOTING DETAIL FOR REINFORCEMENT

FOOTINGS ON NATIVE SOIL (120kPa / 17.4 psi)

- 20"x8" CONCRETE STRIP FOOTINGS BELOW EXTERIOR WALLS AS NOTED ON PLANS
- 24"x8" CONCRETE STRIP FOOTINGS BELOW EXTERIOR WALLS (UNLESS OTHERWISE NOTED.)
- 24"x8" CONCRETE STRIP FOOTINGS (WITH REINF.) BELOW PARTY WALLS
- 32"x8" CONCRETE STRIP FOOTINGS (WITH REINF.) BELOW FIRE WALL

FOOTINGS ON ENGINEERED FILL (90kPa / 13.0 psi)

- 24"x8" CONCRETE STRIP FOOTINGS - WITH REINF., AS NOTED ON PLANS
- 32"x8" CONCRETE STRIP FTGS BELOW EXT. WALLS - WITH REINF. (UNLESS OTHERWISE NOTED.)
- 32"x8" CONCRETE STRIP FOOTINGS - WITH REINF., BELOW PARTY WALLS
- 44"x8" CONCRETE STRIP FOOTINGS - WITH REINF., BELOW FIRE WALL

ASSUMED 120kPa / 17.4psi BEARING CAPACITY FOR NATIVE SOIL OR 90 kPa / 13.0psi FOR ENGINEERED FILL TO BE VERIFIED ON SITE

WATER METER TO BE INSTALLED WITHIN 2m (6'-6") FROM THE POINT THE WATER SERVICE PIPE MEETS THE BUILDING LINE

ENERGY PERFORMANCE LABELS FOR ALL GLAZING PRODUCTS IDENTIFYING THE CERTIFIED VALUES SHALL REMAIN ON FOR REVIEW DURING CONSTRUCTION

ALL NEW WINDOWS AND SLIDING GLASS DOORS TO COMPLY WITH THE THERMAL REQUIREMENTS OF SB-12, MAX U-1.6, ER-25

MAX. HOT WATER TEMP. SHALL NOT EXCEED 49°C (120°F) EXCEPT FOR DISHWASHERS AND CLOTHES WASHERS

SIDING MATERIALS SHALL CONFORM TO SECTION 9.27 OF DIVISION B OR HAVE A CMC OR BMEC APPROVAL, OR A MINISTERS RULING

FLOORING IN KITCHENS, WASHROOMS, LAUNDRY, AND STORAGE AREAS, SHALL CONSIST OF FELTED-SYNTHETIC-FIBRE FLOOR COVERING, CONCRETE, TILE, OR OTHER FLOORING PROVIDING A SIMILAR WATER RESISTANCE.

1) FLOOR JOIST LAYOUTS & INSTALLATION MANUAL SHALL BE AVAILABLE AT FRAMING INSPECTION.

2) BLOCKING REQUIRED UNDER ALL POINT LOADS MUST BE TO SUITABLE BEARING.

3) SEE ATTACHED REQUIREMENTS FOR FIELD GLUED FLOORS WHERE REQUIRED.

NO MODIFICATIONS TO FLOOR FRAMING DESIGN SHALL BE MADE UNLESS A REVISION HAS BEEN SUBMITTED FOR REVIEW AND APPROVED BY BUILDING DEPT. PRIOR TO FRAMING INSPECTION

REINFORCING REQUIRED IN FOUNDATION WALL OR PORCH SLAB SHALL BE REVIEWED PRIOR TO POURING CONCRETE (see inspector)

PROVIDE P ENG APPROVED TRUSS & FLOOR DRAWINGS AND SPECIFICATIONS TO BUILDING INSPECTOR AT FRAMING INSPECTION

MAIN BATHROOM TO HAVE STUD BLOCKING FOR FUTURE INSTALLATION OF GRAB BARS ADJACENT TO SHOWER/TUB AND TOILET

TIGHTLY FIT ELECTRICAL BOXES WHERE BOXES ARE LOCATED ON BOTH SIDES OF A WALL PROVIDING A F.R.R., OFFSET BOXES AT LEAST ONE STUD SPACE TO MAINTAIN INTEGRITY OF FIRE SEPARATION

THE ONTARIO BUILDING CODE REQUIRES THAT A SMOKE ALARM BE INSTALLED ON EACH FLOOR LEVEL AND WITHIN EACH SLEEPING ROOM. ALL SMOKE ALARMS SHALL BE INTERCONNECTED. EACH DEVICE SHALL HAVE A VISUAL SIGNALING COMPONENT IN ADDITION TO THE TEMPORAL PATTERN IN CONFORMANCE WITH 18.5.3. OF LIGHT, COLOUR AND PULSE CHARACTERISTICS OF NFPA 72

A CARBON MONOXIDE DETECTOR SHALL BE LOCATED ADJACENT TO SLEEPING AREAS

FIRESTOPPING IN FIRE SEPARATION SHALL BE OF THE BATT INSULATION TYPE TO MAINTAIN REQUIRED STC RATING

UNPROTECTED COMBUSTIBLE PIPING NOT ALLOWED TO PENETRATE A FIRE SEPARATION OR A MEMBRANE FORMING PART OF AN ASSEMBLY REQUIRED TO PROVIDE A FIRE-RESISTANCE RATING

SINGLES - WEAVING TILE REQ'D AROUND EACH UNIT CONNECTED TO SEPARATE SUMPS/DRYWELLS

TOWNHOUSES - WEAVING TILE MAY CIRCLE ENTIRE BUILDING AND BE CONNECTED TO 1 SUMP/DRYWELL

A SEPARATE PERMIT IS REQUIRED FOR THE FINISHING OF ALL ROUGH-IN PLUMBING FIXTURES

STRUDET INC.

REGISTERED PROFESSIONAL ENGINEER

B. MARINKOVIC

January 25, 2023

PROVINCE OF ONTARIO

FOR STRUCTURE ONLY

ALL CONSTRUCTION IS ALL CLOCK AND/OR TALL. ALL SIZES AND CONDITIONS ON SITE BEFORE CONSTRUCTION WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, SHOWN ON THESE PLANS, UNLESS INDICATED OTHERWISE. THESE PLANS ARE FOR INFORMATION ONLY AND NOT TO BE USED FOR CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE SURVEY AND FOR THE LOCATION OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UTILITIES.

THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS THE PROPERTY OF JARDIN DESIGN GROUP INC. AND IS NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF JARDIN DESIGN GROUP INC.

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8		
7	JAN. 23, 2023	REV. AS PER CITY COMMENTS
6	JAN. 5, 2023	REV. AS PER CITY COMMENTS
5	AUG. 31, 2022	ISSUED FOR BUILDING PERMIT
4	AUG. 29, 2022	COORDINATED FLOOR, ROOF AND ENGINEER COMMENTS
3	JUN. 20, 2022	PREPARED TO PRE-COORDINATION STAGE & ISSUED TO CLIENT
2	MAR. 28, 2022	ISSUED TO CLIENT FOR BROCHURE
1	MAR. 8, 2022	PREPARED AND ISSUED TO CLIENT FOR A.C. PRELIMINARY REVIEW
No.	DATE:	WORK DESCRIPTION:

jardin
DESIGN GROUP INC

84 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.3 of the Building Code

Walter Botter 21031
NAME SIGNATURE BCN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the Building Code

Jardin design group inc. 27763
FIRM NAME BCN

BASEMENT PLAN ELEV-2

BARLASSINA CONSTRUCTION
CAMBRIDGE, ONTARIO

BILD

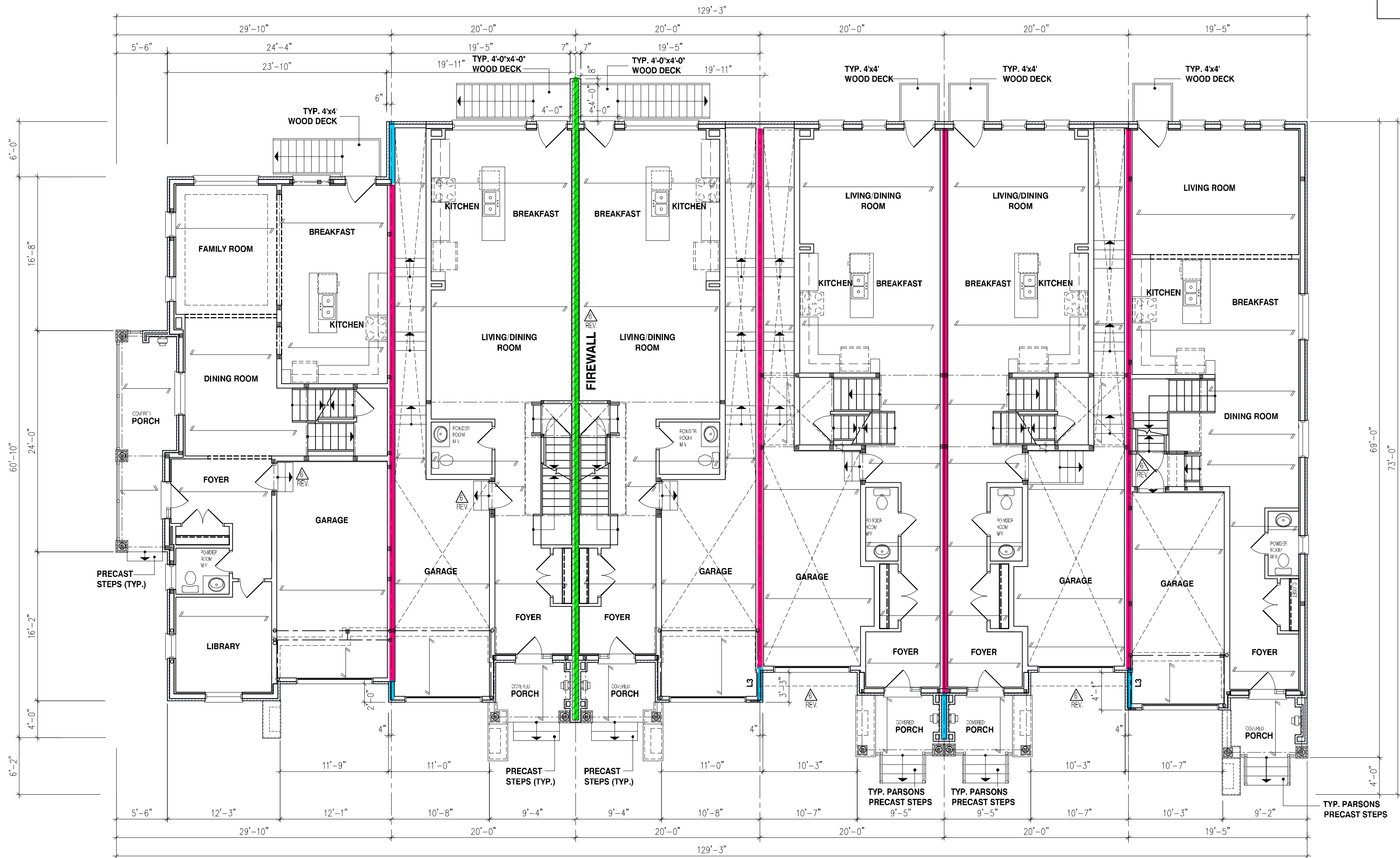
TYPE T AREA ----

SCALE: 1/8" = 1'-0"

FLOOR NO. 21-35 DWG. NO. 1

This is the designer's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable laws, codes and regulations. The designer is not responsible in any way for any errors or omissions in these drawings or for any damage or loss of any kind resulting from the use of these drawings. The designer is not responsible for any damage or loss of any kind resulting from the use of these drawings. The designer is not responsible for any damage or loss of any kind resulting from the use of these drawings.

6.10m TOWNS CHERRY MODELS TH-1 TO TH-6



TH-1
CHERRY 12
EL-2

TH-2
CHERRY 1
EL-2

TH-3
CHERRY 1
EL-2

REFER TO INDIVIDUAL UNIT
DRAWINGS FOR
CONSTRUCTION INFORMATION.

TH-4
CHERRY 2
EL-2

TH-5
CHERRY 2
EL-2

TH-6
CHERRY 3E
EL-2

BLOCK 121

NOT THE GRANTING OF A PERMIT NOR REVIEWING OF SPECS & DRAWINGS NOR INSPECTIONS MADE DURING INSTALLATION BY THE OFFICIAL HAVING JURISDICTION SHALL RELIEVE THE OWNER FROM REQUIREMENTS OF THE ONTARIO BUILDING CODE AND ANY OTHER REFERENCED REQUIREMENTS.

BUILDING AREA
IN ACCORDANCE WITH OBC, DIV. A.1.4.1.2.
BLOCK 121 EL-2 TH-1 TO TH-2
BUILDING AREA = 2580 SQ.FT.
= 239.69 m²

BUILDING AREA
IN ACCORDANCE WITH OBC, DIV. A.1.4.1.2.
BLOCK 121 EL-2 TH-3 TO TH-6
BUILDING AREA = 4890 SQ.FT.
= 454.30 m²

NOTE:
REFER TO INDIVIDUAL PLANS FOR
STANDARD WOOD, STEEL BEAMS AND
LINTELS OVER WINDOWS

NOTE:
THESE DRAWINGS ARE TO BE READ IN
CONJUNCTION WITH ENGINEER
APPROVED ROOF TRUSS DRAWINGS BY
MANUFACTURER

STEEL LINTELS:
L1 = 3 1/2" x 3 1/2" x 1/4" (90x90x6) + 2-2" x 8" SPR.
L2 = 4" x 3 1/2" x 5/16" (100x90x8) - 2-2" x 8" SPR.
L3 = 5" x 3 1/2" x 5/16" (125x90x8) - 2-2" x 10" SPR.
L4 = 6" x 3 1/2" x 3/8" (150x90x10) - 2-2" x 12" SPR.
L5 = 6" x 4" x 3/8" (150x100x10) - 2-2" x 12" SPR.
L6 = 7" x 4" x 3/8" (180x100x10) - 2-2" x 12" SPR.

BRICK VENEER LINTELS:
WL1 = 3 1/2" x 3 1/2" x 1/4" (90x90x6) + 2-2" x 8" SPR.
WL2 = 4" x 3 1/2" x 5/16" (100x90x8) - 2-2" x 8" SPR.
WL3 = 5" x 3 1/2" x 5/16" (125x90x8) - 2-2" x 10" SPR.
WL4 = 6" x 3 1/2" x 3/8" (150x90x10) - 2-2" x 12" SPR.
WL5 = 6" x 4" x 3/8" (150x100x10) - 2-2" x 12" SPR.
WL6 = 7" x 4" x 3/8" (180x100x10) - 2-2" x 12" SPR.
WL7 = 8" x 3 1/2" x 5/16" (125x90x8) - 3-2" x 10" SPR.
WL8 = 8" x 3 1/2" x 5/16" (125x90x8) - 3-2" x 12" SPR.
WL9 = 8" x 4" x 3/8" (150x100x10) - 3-2" x 12" SPR.

WOOD LINTELS:
WB1 = 2-2" x 8" SPRUCE BEAM
WB2 = 3-2" x 8" SPRUCE BEAM
WB3 = 2-2" x 10" SPRUCE BEAM
WB4 = 3-2" x 10" SPRUCE BEAM
WB5 = 2-2" x 12" SPRUCE BEAM
WB6 = 3-2" x 12" SPRUCE BEAM
WB7 = 5-2" x 12" SPRUCE BEAM
WB8 = 4-2" x 8" SPRUCE BEAM
WB9 = 4-2" x 10" SPRUCE BEAM
WB10 = 4-2" x 10" SPRUCE BEAM
WB11 = 4-2" x 12" SPRUCE BEAM
WB12 = 4-2" x 12" SPRUCE BEAM
LSL = TIMBERSTRAND BOARD

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.
Walter Botter 21031
NAME SIGNATURE BCN
REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.
Jardin design group inc. 27763
FIRM NAME BCN

FIRST FLOOR PLAN ELEV-2

BARLASSINA CONSTRUCTION
CAMBRIDGE, ONTARIO

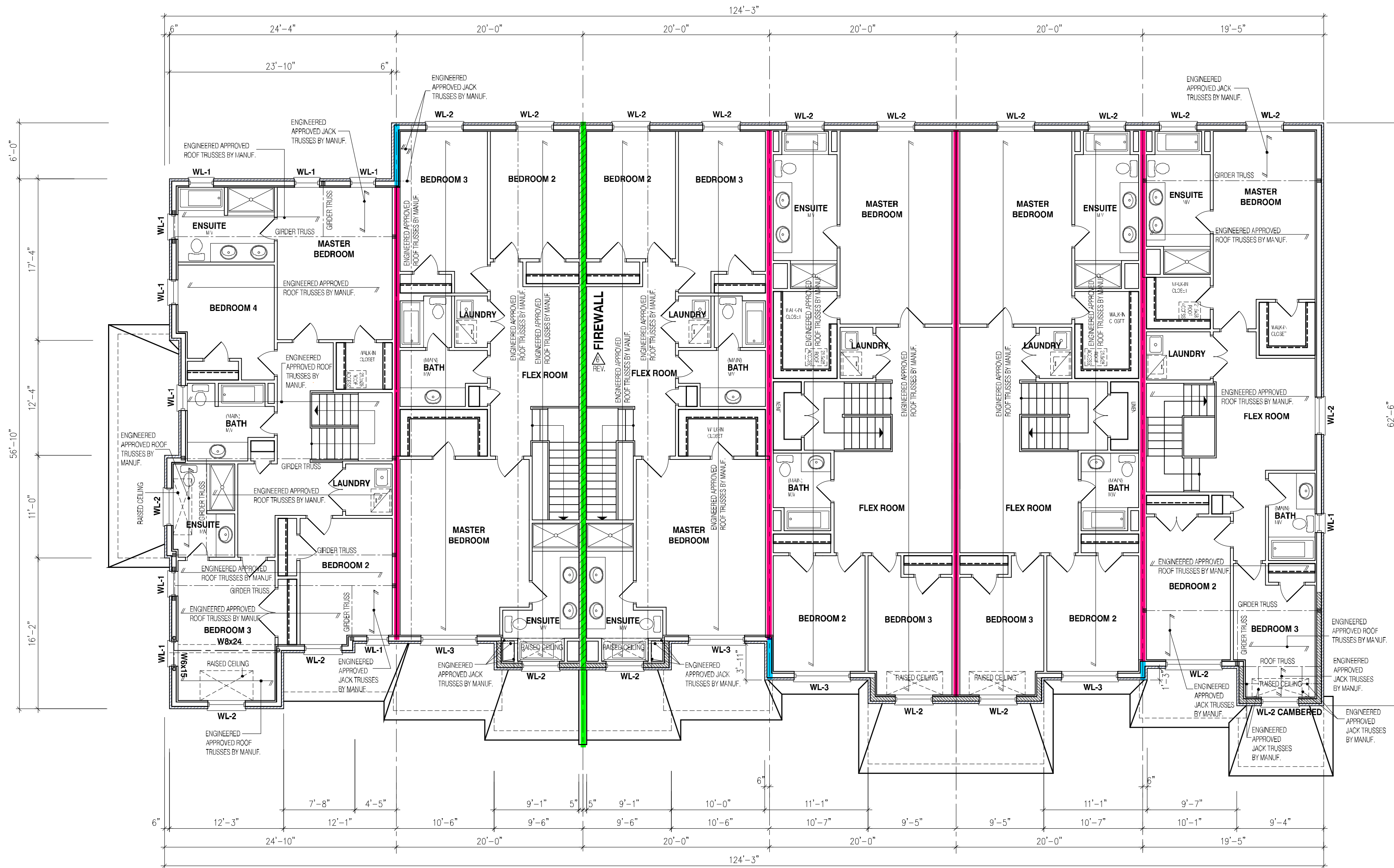


TYPE	T	AREA	----
SCALE:	1/8" = 1'-0"		
PROJ. NO.	21-35	DWG. NO.	2

6.10m TOWNS
CHERRY
MODELS
TH-1 TO TH-6

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements. The Council is not responsible for any errors or omissions in the drawings or specifications. The Council is not responsible for any errors or omissions in the drawings or specifications. The Council is not responsible for any errors or omissions in the drawings or specifications.

This is to certify that these plans comply with the applicable Architectural Guidelines approved by the City of Cambridge.



TH-1
CHERRY 12
EL-2

TH-2
CHERRY 1
EL-2

TH-3
CHERRY 1
EL-2

TH-4
CHERRY 2
EL-2

TH-5
CHERRY 2
EL-2

TH-6
CHERRY 3E
EL-2

BLOCK 121

REFER TO INDIVIDUAL UNIT
DRAWINGS FOR
CONSTRUCTION INFORMATION.

NOTE:

REFER TO INDIVIDUAL PLANS FOR
STANDARD WOOD, STEEL BEAMS AND
LINTELS OVER WINDOWS

NOTE:

THESE DRAWINGS ARE TO BE READ IN
CONJUNCTION WITH ENGINEER
APPROVED ROOF TRUSS DRAWINGS BY
MANUFACTURER

STEEL LINTELS:

L1 = 3 1/2" x 3 1/2" x 1/4" (90x90x6)
L2 = 4" x 3 1/2" x 5/16" (100x90x8)
L3 = 5" x 3 1/2" x 5/16" (125x90x8)
L4 = 6" x 3 1/2" x 3/8" (150x90x10)
L5 = 6" x 4" x 3/8" (150x100x10)
L6 = 7" x 4" x 3/8" (180x100x10)

BRICK VENEER LINTELS:

WL1 = 2" x 3 1/2" x 3 1/2" x 1/4" (90x90x6) + 2" x 8" SPR.
WL2 = 4" x 3 1/2" x 5/16" (100x90x8) - 2" x 8" SPR.
WL3 = 5" x 3 1/2" x 5/16" (125x90x8) - 2" x 10" SPR.
WL4 = 6" x 3 1/2" x 3/8" (150x90x10) - 2" x 12" SPR.
WL5 = 6" x 4" x 3/8" (150x100x10) - 2" x 12" SPR.
WL6 = 6" x 3 1/2" x 5/16" (125x90x8) - 2" x 12" SPR.
WL7 = 5" x 3 1/2" x 5/16" (125x90x8) - 3" x 10" SPR.
WL8 = 5" x 3 1/2" x 5/16" (125x90x8) + 3" x 12" SPR.
WL9 = 8" x 4" x 3/8" (150x100x10) - 3" x 12" SPR.

WOOD LINTELS:

WB1 = 2" x 8" SPRUCE BEAM
WB2 = 3" x 8" SPRUCE BEAM
WB3 = 3" x 10" SPRUCE BEAM
WB4 = 3" x 10" SPRUCE BEAM
WB5 = 2" x 12" SPRUCE BEAM
WB6 = 3" x 12" SPRUCE BEAM
WB7 = 5" x 12" SPRUCE BEAM
WB10 = 4" x 8" SPRUCE BEAM
WB11 = 4" x 10" SPRUCE BEAM
WB12 = 4" x 12" SPRUCE BEAM
LSL = TIMBERSTRAND BOARD

SECOND FLOOR PLAN ELEV-2

BARLASSINA CONSTRUCTION
CAMBRIDGE, ONTARIO

TYPE	T	AREA	----
SCALE	1/8" = 1'-0"		
PROJ. NO.	21-35	DWG. NO.	3



jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT, L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

Walter Botter 21031
NAME SIGNATURE BCN

Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

jardin design group inc. 27763
FIRM NAME BCN

CHERRY MODELS TH-1 TO TH-6

It is the builder's complete responsibility to ensure that all plans submitted for approval comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or rendering drawings with respect to any zoning or building code or planning matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of CAMBRIDGE.

11. CONTRACTOR HAS ALL CHECK AND MEASURE ALL JAIL, SITES AND CONDITIONS SHALL
REFER TO "CONTRACT AND WITH CONSTRUCTION." ALL DISCREPANCIES MUST BE REPORTED TO
JAIL DESIGN GROUP INC. PRIOR TO COMMENCING ANY WORK.

12. JAIL DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ADVISORY OF SURVEY,
ENGINEERING AND ARCHITECTURAL DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR
CONSTRUCTION PRIOR TO THE ISSUING OF A BUILDING PERMIT. REFER TO THE
"CONTRACT AND WITH CONSTRUCTION" DRAWINGS AND "CONTRACT AND WITH WORK."

13. AS CONSTRUCTION PERMITS MUST BE AFFIRMED PRIOR TO BEGINNING FOOTINGS.

14. JAIL DESIGN GROUP INC. HAS NOT BEEN REFINED TO "GARY OUT GENERAL REVIEW OF
THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR
SURVEYING TO "GARY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT."
REMARKS.

15. THE DRAWING IS A PART OF THE CONTRACT. IT SHOULD BE USED AS A GUIDE TO
JAIL DESIGN GROUP INC. THE DRAWING MUST BE REFINED.

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7	FEB. 8, 2023	REV. FIREWALL CORRELLING TO FRONT & REAR ELEV. & ROOF PLAN, RESSUED FOR PERMIT
6		
5	AUG. 31, 2022	ISSUED FOR BUILDING PERMIT
4	AUG. 29, 2022	COORDINATED FLOOR, ROOF AND ENGINEER COMMENTS
3	JUN. 20, 2022	PREPARED TO PRE-COORDINATION STAGE & ISSUED TO CLIENT
2	MAR. 28, 2022	ISSUED TO CLIENT FOR BROCHURE
1	MAR. 8, 2022	PREPARED AND ISSUED TO CLIENT FOR A.C. PRELIMINARY REVIEW
No. DATE:		WORK DESCRIPTION:

DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
EL: 905 660-3377 FAX: 905 660-371
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION

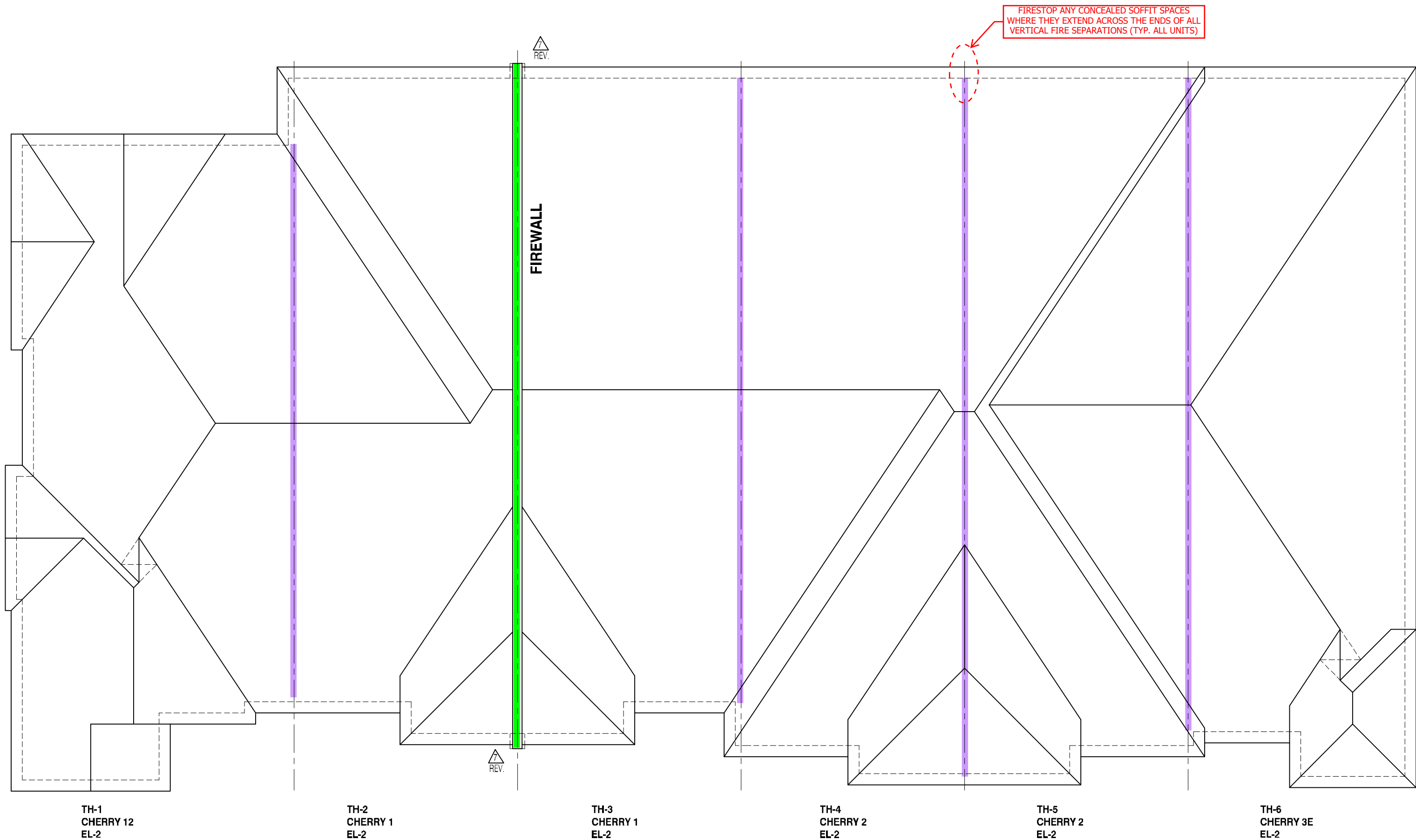
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

Walter Botter	<i>Walter Botter</i>	21031
NAME	SIGNATURE	BCIN
REGISTRATION INFORMATION		
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code		
jardin design group inc.		27763
FIRM NAME		BCIN

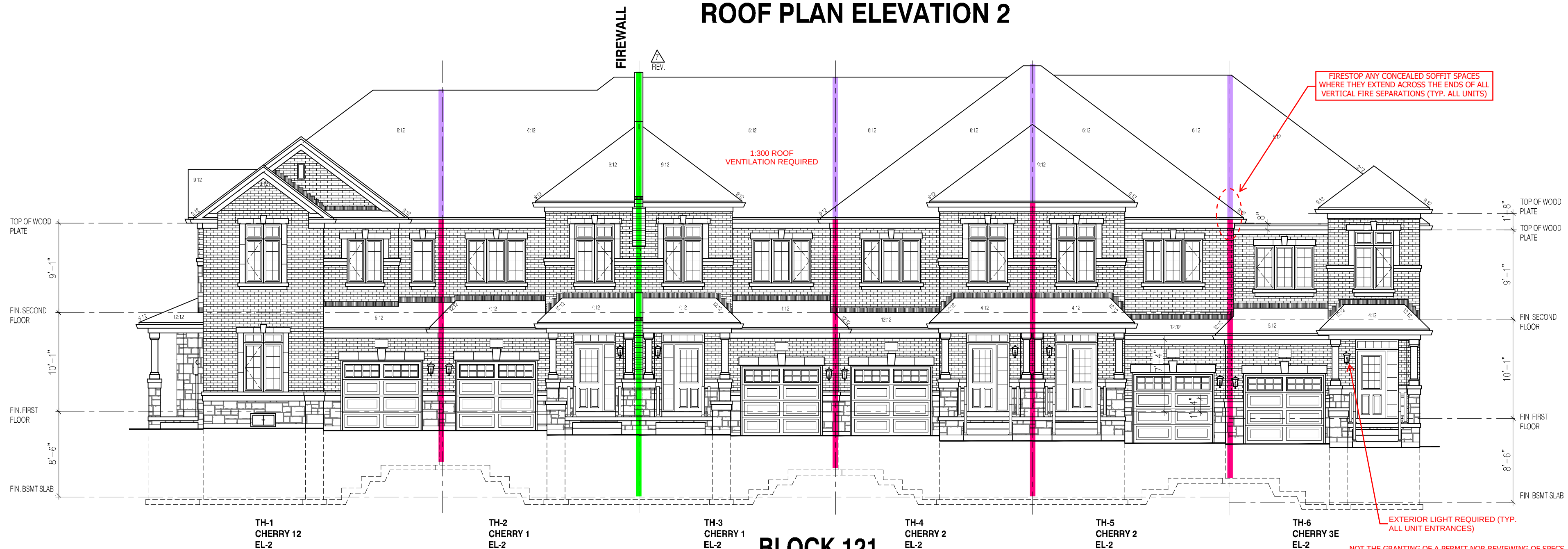
FRONT & ROOF PLAN ELEV-2



TYPE T	AREA --
SCALE: $1/8" = 1'-0"$	
PROJ. No. 21-35	DWG. No. 4



ROOF PLAN ELEVATION 2



ENSURE P.ENG STAMPED RAILING
DOCUMENTATION AND ATTACHMENT DETAILS
ARE AVAILABLE FOR REVIEW BY THE INSPECTOR

EXTERIOR CONCRETE STAIRS w/ MORE
THAN 2 RISERS TO MEET THE
REQUIREMENTS OF 9.8.9.2.(1)

CHERRY 1
EL-2

BLOCK 121

CHERRY 2
EL-2

FRONT ELEVATION 2

NOT THE GRANTING OF A PERMIT NOR REVIEWING OF SPECS
& DRAWINGS NOR INSPECTIONS MADE DURING INSTALLATION
BY THE OFFICIAL HAVING JURISDICTION SHALL RELIEVE THE
OWNER FROM REQUIREMENTS OF THE ONTARIO BUILDING
CODE AND ANY OTHER REFERENCED REQUIREMENTS.

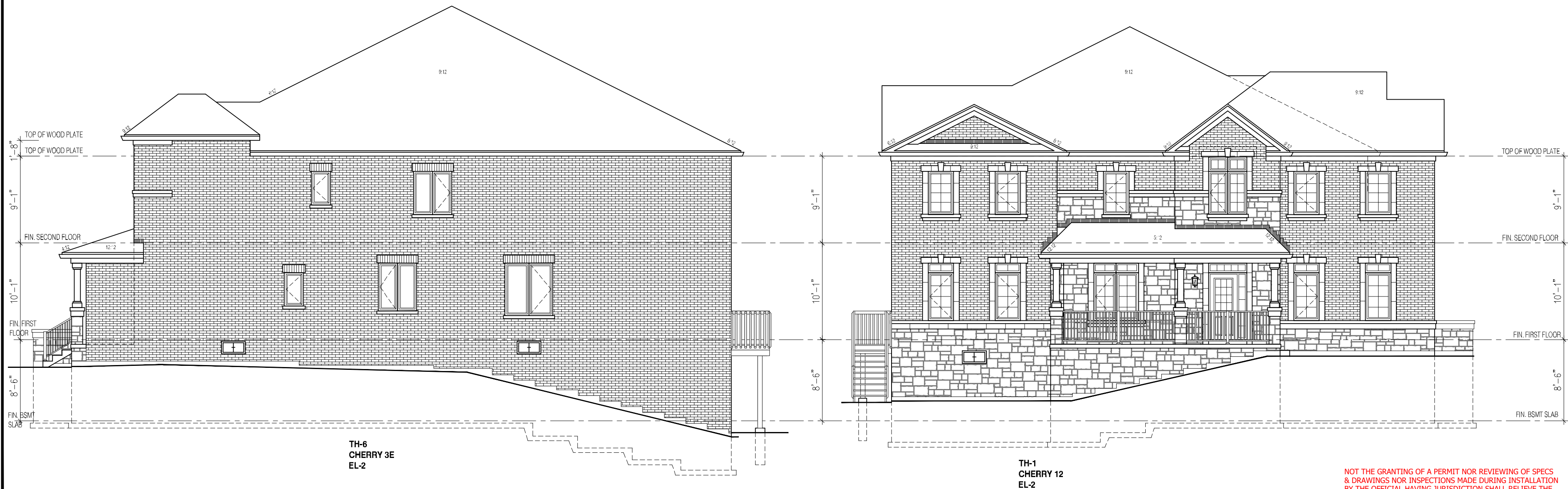
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations. The Council is not responsible for any errors, omissions or omissions of any kind. Please call or properly call or look on as to.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Cambridge.

6.10m TOWNS CHERRY MODELS TH-1 TO TH-6



REAR ELEVATION 2



NOT THE GRANTING OF A PERMIT NOR REVIEWING OF SPECS & DRAWINGS NOR INSPECTIONS MADE DURING INSTALLATION BY THE OFFICIAL HAVING JURISDICTION SHALL RELIEVE THE OWNER FROM REQUIREMENTS OF THE ONTARIO BUILDING CODE AND ANY OTHER REFERENCED REQUIREMENTS.

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL, OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION OF THE SAME PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS FOR THE PROPOSED WORK.

NO CONSTRUCTION OF THE PROJECT SHALL BE PERMITTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. THE CONTRACTOR SHALL CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

JARDIN DESIGN GROUP INC. HAS A LOT OF EXPERIENCE TO CARRY OUT. ORIGINAL REVIEW OF THE WORK AND ASSUMPTIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

THIS DRAWING IS AN INSTRUMENT OF SERVICE. IS PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED.

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DATE	WORK DESCRIPTION
FEB 8, 2023	REV. FIREWALL CORRELLING TO FRONT & REAR ELEV. & ROOF PLAN. REISSUED FOR PERMIT
JAN 5, 2023	REV. AS PER CITY COMMENTS REISSUED FOR PERMIT
AUG 31, 2022	ISSUED FOR BUILDING PERMIT
AUG 29, 2022	COORDINATED FLOOR, ROOF AND ENGINEER COMMENTS
JUN 20, 2022	PREPARED TO PRE-COORDINATION STAGE & ISSUED TO CLIENT
MAR 28, 2022	ISSUED TO CLIENT FOR BROCHURE
MAR 8, 2022	PREPARED AND ISSUED TO CLIENT FOR A.C. PRELIMINARY REVIEW

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

Walter Botter 21031
NAME SIGNATURE BCIN

Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

Jardin design group inc. 27763
FIRM NAME BCIN

SIDES & REAR ELEV-2	
BARLASSINA CONSTRUCTION CAMBRIDGE, ONTARIO	
TYPE	AREA
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SCALE	1/8" = 1'-0"
PROJ. NO.	DWG. NO.
21-35	5