

PRELIMINARY

CONSTRUCTION SUMMARY		RECEIVED	
Red Oaks - Roundel Homes Inc.		DEC 19 2022	
PURCHASER: Samuel TRAN		TEL:	
LOT / PHASE	REG. PLAN #	HOUSE TYPE	
170 / 1	65M-4737	Terracotta 3 (5 Bedroom) Elev 3A	

CONSTRUCTION

1 - PROVISION FOR SHAMPOO NICHE APPROX. 14" WIDE X 20" HIGH AS PER SKETCH – IF CONSTRUCTION PERMITS MASTER ENSUITE 07Dec22 Note:	
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COUNTER TOP

1 - SHAMPOO NICHE 14" WIDE X 20" HIGH AS PER SKETCH – MARBLE, GRANITE OR QUARTZ – IF CONSTRUCTION PERMITS - REQUIRES PROVISION FROM CONSTRUCTION MASTER ENSUITE 07Dec22 Note: SUPPLY & INSTALL	
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ELECTRICAL

1 - FAN - BATHROOM EXHAUST FAN - ENERGY STAR 80 CFM - IN LIEU OF STANDARD FAN MASTER ENSUITE 07Dec22 Note:	
1 - PLUG - ELECTRICAL PLUG - TO BE INSTALLED OVER FIREPLACE 07Dec22 Note:	
1 - RELOCATE STANDARD KITCHEN LIGHT TO BE CENTERED OVER ISLAND 07Dec22 Note:	

FIREPLACE AND ACCESSORIES

1 - GAS LINE ROUGH-IN FOR STOVE (INCLUDES ELECTRICAL OUTLET) - FIRST FLOOR 07Dec22 Note:	
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HEATING AND AIR CONDITIONING

1 - HUMIDIFER 07Dec22 Note:	
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MIRRORS AND GLASS

1 - SHOWER DOOR HANDLE - CHROME D-RING/TOWEL BAR COMBO MASTER ENSUITE 07Dec22 Note:	
1 - FRAMELESS GLASS SHOWER DOOR - INCLUDES CHROME HINGES MASTER ENSUITE 07Dec22 Note:	

PLUMBING

1 - MASTER ENSUITE SHOWER- ADD ADDITIONAL STANDARD LINE SHOWER HEAD INSTALLED FROM CEILING ON 6" ARM WITH DIVERTER- CHROME #U361 / GLYDE- UT2721 07Dec22 Note:	
1 - TUB TO SHOWER CONVERSION - 5 FOOT SHOWER WITH SLIDING GLASS CHROME DOORS IN LIEU OF TUB SHARED ENSUITE 2/3 07Dec22 Note:	

PROMOTIONAL

1 - LESS BALANCE OF CREDIT FROM PURCHASER EXTRA SHEET IN OFFER 07Dec22 Note:	
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CONSTRUCTION SUMMARY
Red Oaks - Roundel Homes Inc.

PURCHASER: Samuel TRAN TEL:

LOT / PHASE 170 / 1	REG. PLAN # 65M-4737	HOUSE TYPE Terracotta 3 (5 Bedroom) Elev 3A		
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EXTRAS AS PER OFFER

The Vendor agrees that notwithstanding any other term or provision in this Agreement included in the Purchase Price and in addition to those items detailed in Schedule GP to the Agreement of Purchase and Sale, the Purchaser is entitled to a credit of Ten <i>Worksheet</i> Note:	
PORCH REDUCED BY 12 INCHES ON LEFT, 4 INCHES FROM FRONT. <i>Worksheet</i> Note:	
FOYER SUNKEN 2 RISERS WITH LOW HEADROOM BELOW BASEMENT. <i>Worksheet</i> Note:	
COLD STORAGE REMOVED FROM BASEMENT. <i>Worksheet</i> Note:	
INSET STEP ADDED TO PORCH. <i>Worksheet</i> Note:	

This Document is Extremely Time Sensitive - Printed 19 Dec 22 at 16:17

AMENDMENT TO AGREEMENT OF PURCHASE AND SALE
General

It is hereby understood and agreed between the Vendor and the Purchaser that the following changes(s) shall be made to the below-mentioned Agreement of Purchase and Sale (the "Agreement"), and except for such changes(s) noted below, all other terms and conditions of the Agreement shall remain as stated therein, and time shall continue to be of the essence.

The undersigned Purchaser hereby agrees to and with the undersigned Vendor to the following amendments to the Agreement of Purchase and Sale. All other terms are confirmed and time shall continue to be of the essence.

Purchaser: **Samuel TRAN**
Vendor: **Roundel Homes Inc. c.o.b. Greenpark**
Lot #: **170** Phase: **1** Plan No.: **65M-4737**
Street: **Klinck Drive**
in the : **City of Richmond Hill**
Date of Offer: **Thursday September 29, 2022**

DELETE:
N/A

INSERT:
To the Agreement of Purchase and Sale:

PURCHASER ALTERATION FORM, dated April 29, 2022

REVISIONS:

TO ACCOMMODATE GRADING CONDITIONS

- PORCH REDUCED BY 12 INCHES ON LEFT, 4 INCHES FROM FRONT.

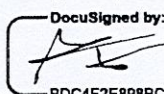
- FOYER SUNKEN 2 RISERS WITH LOW HEADROOM BELOW BASEMENT.

- COLD STORAGE REMOVED FROM BASEMENT.

- INSET STEP ADDED TO PORCH.

Dated at Richmond Hill, Ontario this 29th day of September, 2022.

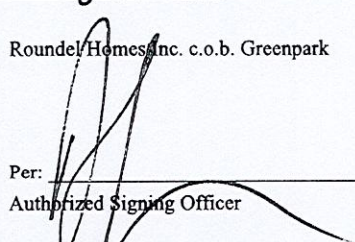
Witness (Sign & Print Name)

DocuSigned by:

BDC4E2E898BC444
29-Sep-22

Purchaser - Samuel TRAN

Accepted at Vaughan, Ontario this 30 day of September, 2022

Roundel Homes Inc. c.o.b. Greenpark

Per: 

Authorized Signing Officer

LOT 170 ROUNDEL

RED OAKS ON BAYVIEW

TERRACOTTA 3 ELEVATION 3A

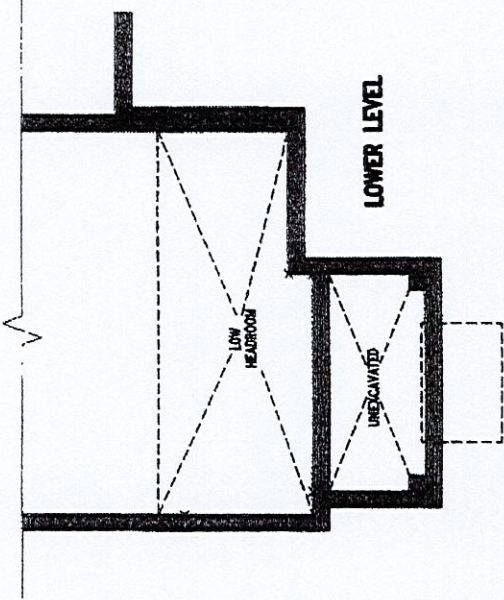
- REVISIONS:
TO ACCOMMODATE
GRADING CONDITIONS
- PORCH REDUCED BY 12" ON LEFT, 4" FROM FRONT
 - FOYER SUNKEN 2 RISERS WITH LOW HEADROOM BELOW IN BASEMENT
 - COLD STORAGE REMOVED FROM BASEMENT
 - INSET STEP ADDED TO PORCH

DocuSigned by:

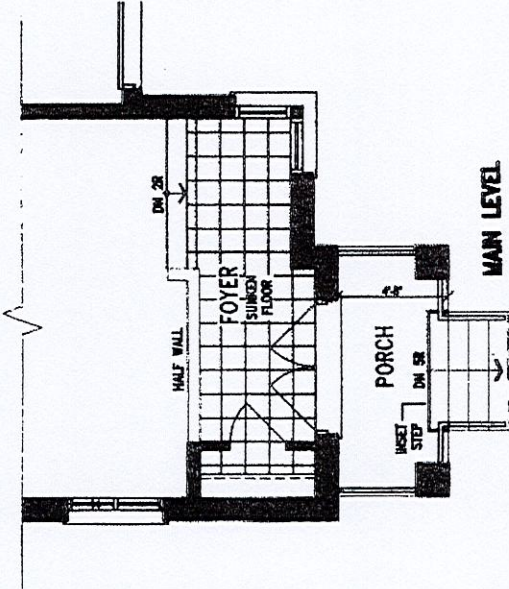
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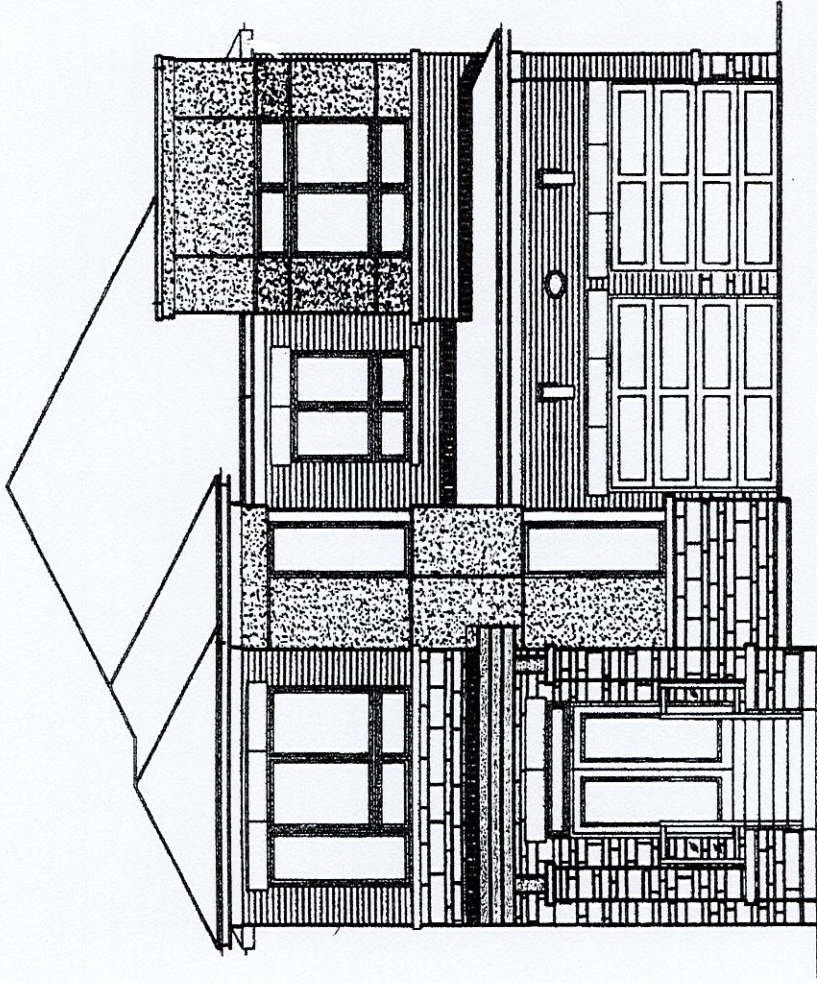
29-sep-22



LOWER LEVEL



MAIN LEVEL



FRONT ELEVATION

ACTUAL FINAL GRADING AND RISERS TO PORCH CAN VARY FROM ILLUSTRATION

DISCLAIMERS: SKETCH NOT TO SCALE. DIMENSIONS, SPECIFICATIONS AND ARCHITECTURAL DETAILS SUBJECT TO MODIFICATION BY THE VENDOR. SKETCH IS ONLY FOR THE PURPOSE OF ILLUSTRATING REVISIONS REQUESTED BY THE PURCHASER AND ALL REVISIONS ARE SUBJECT TO VENDOR'S FINAL APPROVAL. ONLY REVISIONS ACCEPTED IN WRITING BY THE PURCHASER AND VENDOR ON A PURCHASER'S EXTRA SHEET WILL BE INCORPORATED INTO THE PLANS FILED WITH THE MUNICIPALITY. E. & O.E.

DESIGN
INC.

SCALE

N.T.S.
BY VC
PAGE No.
1 OF 1

Greenpark.

Terracotta 3

ELEV. 2 • 3,483 sq.ft. | ELEV. 3 • 3,445 sq.ft.

Includes 10 sq.ft. of open area.

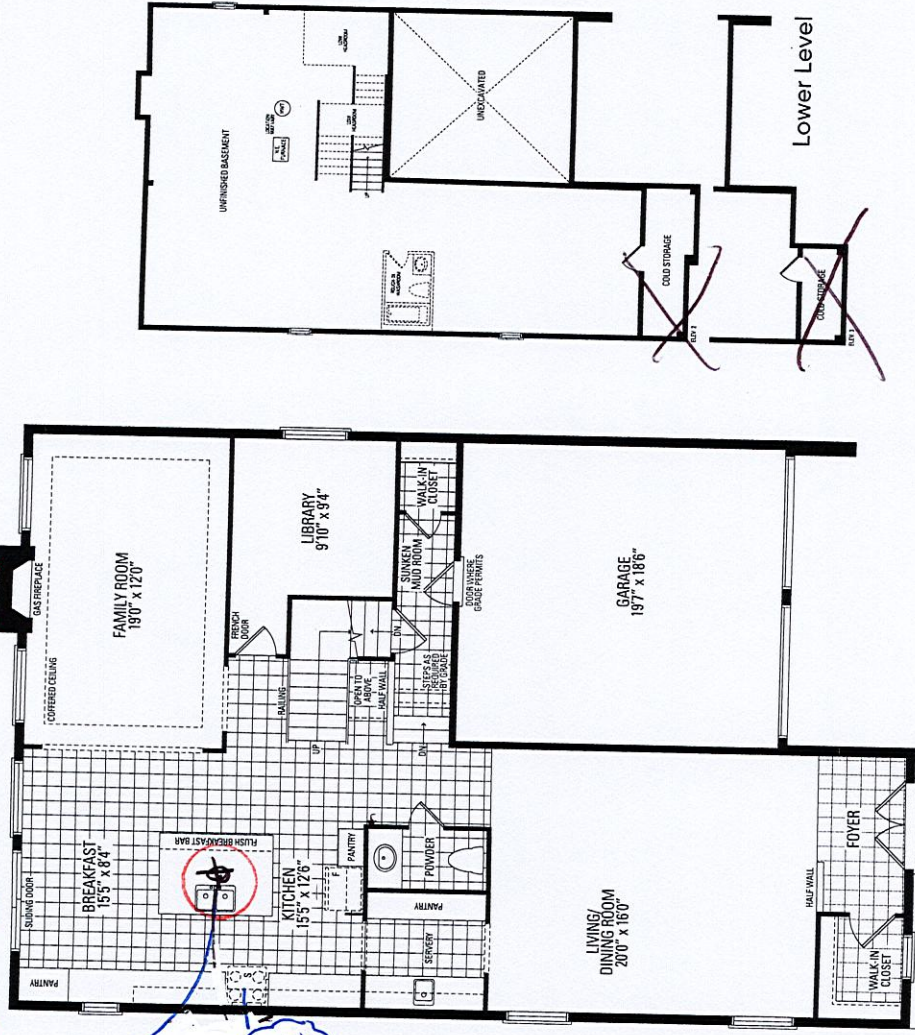
lot 170

*SEE PURCHASER ALTERATION

Relocate + center light above island.

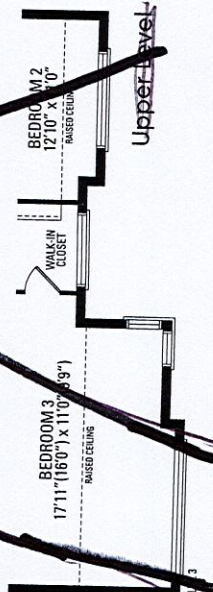
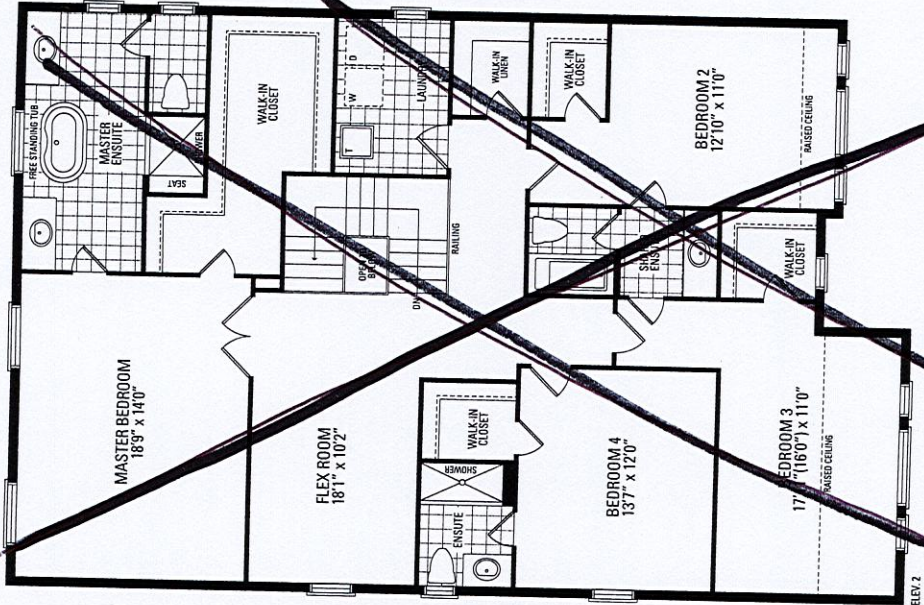
GAS LINE/LINE FOR STOVE

plug above fireplace

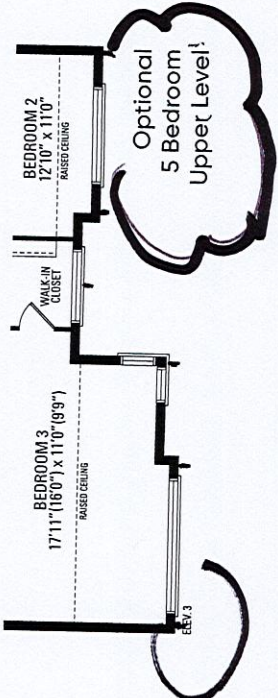


*SEE PURCHASER ALTERATION

Main Level



Upper Level



Optional 5 Bedroom Upper Level!