

STRIP FOOTINGS -

FOR SINGLES & SEMIS UP TO 2 STOREY

8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS
20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.

FOUNDATION WALLS WITH ENGINEERED JOISTS OVER 16' SPANS
24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.

FOOTINGS ON ENGINEERED FILL

24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING
BELOW EXTERIOR WALLS.
30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING
BELOW PARTY WALLS.

(REFER TO FOOTING DETAILS ON ENGINEERED FILL)

ASSUME THE LARGER FOOTING SIZE
WHEN TWO CONDITIONS APPLY

ASSUMED 120 KPa (18 p.s.i.) SOIL BEARING CAPACITY OR 90 KPa
ENGINEERED SOIL FILL, TO BE VERIFIED ON SITE.

PAD FOOTINGS

120 KPa NATIVE SOIL

90 KPa ENGINEERED FILL SOIL

F1 = 42"x42"x18" CONCRETE PAD F1 = 48"x48"x20" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD F2 = 40"x40"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD F3 = 34"x34"x14" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD
F5 = 16"x16"x8" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD
(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)

BRICK VENEER LINTELS

WL1 = 3-1/2"x3-1/2"x1/4" L (90x90x6.0L) + 2-2"x8" SPR. No.2
WL2 = 4"x3-1/2"x5/16" L (100x90x8.0L) + 2-2"x8" SPR. No.2
WL3 = 5"x3-1/2"x5/16" L (125x90x8.0L) + 2-2"x10" SPR. No.2
WL4 = 6"x3-1/2"x3/8" L (150x90x10.0L) + 2-2"x12" SPR. No.2
WL5 = 6"x4"x3/8" L (150x100x10.0L) + 2-2"x12" SPR. No.2
WL6 = 5"x3-1/2"x5/16" L (125x90x8.0L) + 2-2"x12" SPR. No.2
WL7 = 5"x3-1/2"x5/16" L (125x90x8.0L) + 3-2"x10" SPR. No.2
WL8 = 5"x3-1/2"x5/16" L (125x90x8.0L) + 3-2"x12" SPR. No.2
WL9 = 6"x4"x3/8" L (150x100x10.0L) + 3-2"x12" SPR. No.2

LINTELS AND BEAMS

WB1 = 2-2"x8" SPR. No.2 (2-38x184 SPR. No.2)
WB2 = 3-2"x8" SPR. No.2 (3-38x184 SPR. No.2)
WB3 = 2-2"x10" SPR. No.2 (2-38x235 SPR. No.2)
WB4 = 3-2"x10" SPR. No.2 (3-38x235 SPR. No.2)
WB5 = 2-2"x12" SPR. No.2 (2-38x286 SPR. No.2)
WB6 = 3-2"x12" SPR. No.2 (3-38x286 SPR. No.2)
WB7 = 5-2"x12" SPR. No.2 (5-38x286 SPR. No.2)
WB11 = 4-2"x10" SPR. No.2 (4-38x235 SPR. No.2)
WB12 = 4-2"x12" SPR. No.2 (4-38x286 SPR. No.2)

LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)
LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)
LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)
LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)
LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)
LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)
LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)
LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)
LVL6A = 1-1 3/4" x 11 7/8" (1-45x300)
LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)
LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)
LVL7A = 4-1 3/4" x 11 7/8" (4-45x300)
LVL8 = 2-1 3/4" x 14" (2-45x356)
LVL9 = 3-1 3/4" x 14" (3-45x356)
LVL10 = 2-1 3/4" x 18" (3-45x456)

LVL BEAMS SHALL BE VERSA-LAM 2.0E (Fb=2800psi MIN) OR
EQUIVALENT.

LOOSE STEEL LINTELS

L1 = 3-1/2"x3-1/2"x1/4" L (90x90x6.0L)
L2 = 4"x3-1/2"x5/16" L (100x90x8.0L)
L3 = 5"x3-1/2"x5/16" L (125x90x8.0L)
L4 = 6"x3-1/2"x3/8" L (150x90x10.0L)
L5 = 6"x4"x3/8" L (150x100x10.0L)
L6 = 7"x4"x3/8" L (175x100x10.0L)

DOOR SCHEDULE

| NOS. | WIDTH | HEIGHT 8'-9" CEILING | HEIGHT 10' OR MORE CEILING | TYPE |
|------|--------|----------------------------|----------------------------------|-------------------------|
| 1 | 2'-10" | 6'-8" | 8'-0" | INSULATED ENTRANCE DOOR |
| 1a | 2'-8" | 6'-8" | 8'-0" | INSULATED FRONT DOORS |
| 2 | 2'-8" | 6'-8" | 8'-0" | WOOD & GLASS DOOR |
| 3 | 2'-8" | 6'-8" | 8'-0" | EXTERIOR SLAB DOOR |
| 4 | 2'-8" | 6'-8" | 8'-0" | INTERIOR SLAB DOOR |
| 5 | 2'-6" | 6'-8" | 8'-0" | INTERIOR SLAB DOOR |
| 6 | 2'-2" | 6'-8" | 8'-0" | INTERIOR SLAB DOOR |
| 7 | 1'-6" | 6'-8" | 8'-0" | INTERIOR SLAB DOOR |

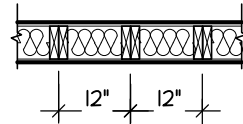
SPACE CONVENTIONAL FLOOR JOISTS @ 12"
O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF
5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

REFER TO ROOF TRUSS SHOP DRAWINGS FOR
ALL ROOF FRAMING INFORMATION

PLANS NOT DRAWN TO ACTUAL GRADE. REFER
TO FINAL GRADING PLAN.

REFER TO FLOOR FRAMING SHOP DRAWINGS
FOR ENGINEERED FRAMING LAYOUTS

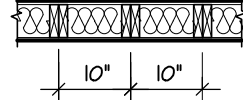
2-2"x6" STUD WALL NAILED TOGETHER AND
SPACED @12" O.C. FULL HT C/M SOLID
BLOCKING 4'-0" O.C. VERTICAL AND 7/16"
EXT. PLYWOOD SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL
FOR THIS DETAIL IS 18'-0"

TWO STORY HEIGHT WALL DETAIL

2 - 1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E
STUD WALL, GLUED AND NAILED TOGETHER
AND SPACED MAX. @10" O.C. FULL HT C/M
SOLID BLOCKING MAX. 8'-0" O.C. VERTICAL
AND 7/16" EXT. OSB SHEATHING.



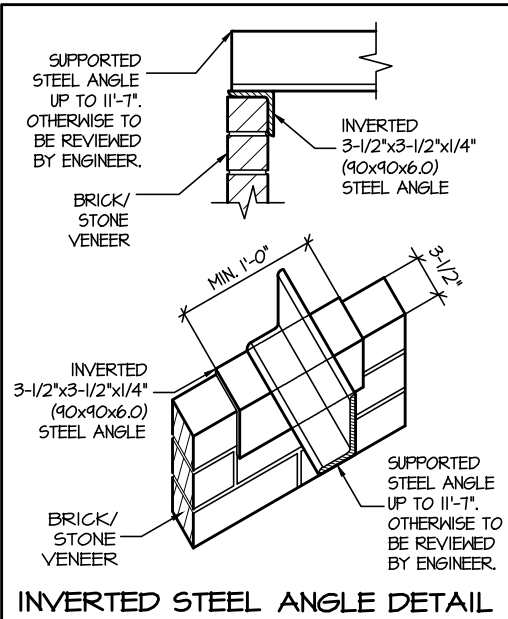
NOTE: MAXIMUM HEIGHT OF WALL FOR THIS
DETAIL IS 20'-2" AND MAXIMUM WIDTH
IS 40'-0"

TWO STORY HEIGHT WALL DETAIL

THE MINIMUM THERMAL PERFORMANCE OF BUILDING
ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE
FOLLOWING

COMPLIANCE PACKAGE "A1"

| COMPONENT | NOTE |
|---|------------------------------------|
| CEILING WITH ATTIC SPACE MINIMUM RSI (R) VALUE | 10.51 (R60) |
| CEILING WITHOUT ATTIC SPACE MINIMUM RSI (R) VALUE | 5.46 (R31) |
| EXPOSE FLOOR MINIMUM RSI (R) VALUE | 5.46 (R31) |
| WALLS ABOVE GRADE MINIMUM RSI (R) VALUE | 3.81 (R22) |
| BASEMENT WALLS MINIMUM RSI (R) VALUE | 3.52 (R20 BLANKET) |
| HEATED SLAB OR SLAB ≤ 600mm BELOW GRADE MINIMUM RSI (R) VALUE | 1.76 (R10) |
| WINDOWS & SLIDING GLASS DOORS MAXIMUM U-VALUE | ENERGY RATING = 25, MAX. U=0.28 |
| SPACE HEATING EQUIPMENT MINIMUM AFUE | 96% |
| HRV MINIMUM EFFICIENCY | 75% |
| HOT WATER TANK | MIN. EF 0.80 |



INVERTED STEEL ANGLE DETAIL

Lot 169 Construction Set

STRUDET INC.



FOR STRUCTURE ONLY

TERRACOTTA 2 - 169

COMPLIANCE PACKAGE "A1"

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

| AREA CALCULATIONS | | ELEV. 1 | |
|--------------------------|---|---------|---------|
| GROUND FLOOR AREA | = | 1493 | Sq. Ft. |
| SECOND FLOOR AREA | = | 1880 | Sq. Ft. |
| TOTAL FLOOR AREA | = | 3373 | Sq. Ft. |
| | | 313.36 | Sq. M. |
| 1ST FLOOR OPEN AREA | = | 0 | Sq. Ft. |
| 2ND FLOOR OPEN AREA | = | 0 | Sq. Ft. |
| ADD TOTAL OPEN AREAS | = | 0 | Sq. Ft. |
| ADD FIN. BASEMENT AREA | = | 0 | Sq. Ft. |
| GROSS FLOOR AREA | = | 3373 | Sq. Ft. |
| | | 313.36 | Sq. M. |
| GROUND FLOOR COVERAGE | = | 1493 | Sq. Ft. |
| GARAGE COVERAGE / AREA | = | 391 | Sq. Ft. |
| PORCH COVERAGE / AREA | = | 89 | Sq. Ft. |
| TOTAL COVERAGE W/ PORCH | = | 1973 | Sq. Ft. |
| | | 183.30 | Sq. m. |
| TOTAL COVERAGE W/O PORCH | = | 1884 | Sq. Ft. |
| | | 175.03 | Sq. m. |

| TERRACOTTA 2 - 169 | | ELEV.1 | | COMPLIANCE PACKAGE "A1" | |
|--------------------|----------|----------|-------------|-------------------------|------------|
| ELEVATION | WALL FT² | WALL MT² | OPENING FT² | OPENING MT² | PERCENTAGE |
| FRONT | 765.63 | 71.13 | 110.01 | 10.22 | 14.31 % |
| LEFT SIDE | 1152.78 | 107.10 | 90.00 | 8.36 | 7.81 % |
| RIGHT SIDE | 1152.78 | 107.10 | 47.33 | 4.40 | 4.11 % |
| REAR | 766.43 | 71.20 | 132.94 | 12.35 | 17.35 % |
| TOTAL | 3831.62 | 356.53 | 380.28 | 35.33 | 9.91 % |

| | | |
|-----------|---------------------|----------|
| 5. | | |
| 4. | | |
| 3. | | |
| 2. | UPDATED FOR LOT 169 | APR 2022 |
| 1. | ISSUED FOR REVIEW | FEB 2021 |
| REVISIONS | | |

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code
VIKAS GAJJAR
NAME
28770
SIGNATURE
BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0746

REGION
DESIGN
INC.

SHEET TITLE
AREA CHARTS

SCALE
3/16"=1'-0"
DATE
FEB 2021

BY
V.G.
TYPE

CONTRACTOR SHALL CHECK ALL
DIMENSIONS AND ELEVATIONS BEFORE
COMMENCING WITH WORK AND REPORT
ANY DISCREPANCIES TO THE DESIGNER.
PRINTS ARE NOT TO BE SCALED.
AREA
3,373
PAGE No.
0
PROJECT

Greenpark
PROJECT NAME
ROUNDEL HOMES INC.

Richmond Hill City of Richmond Hill Building Division

REVIEWED

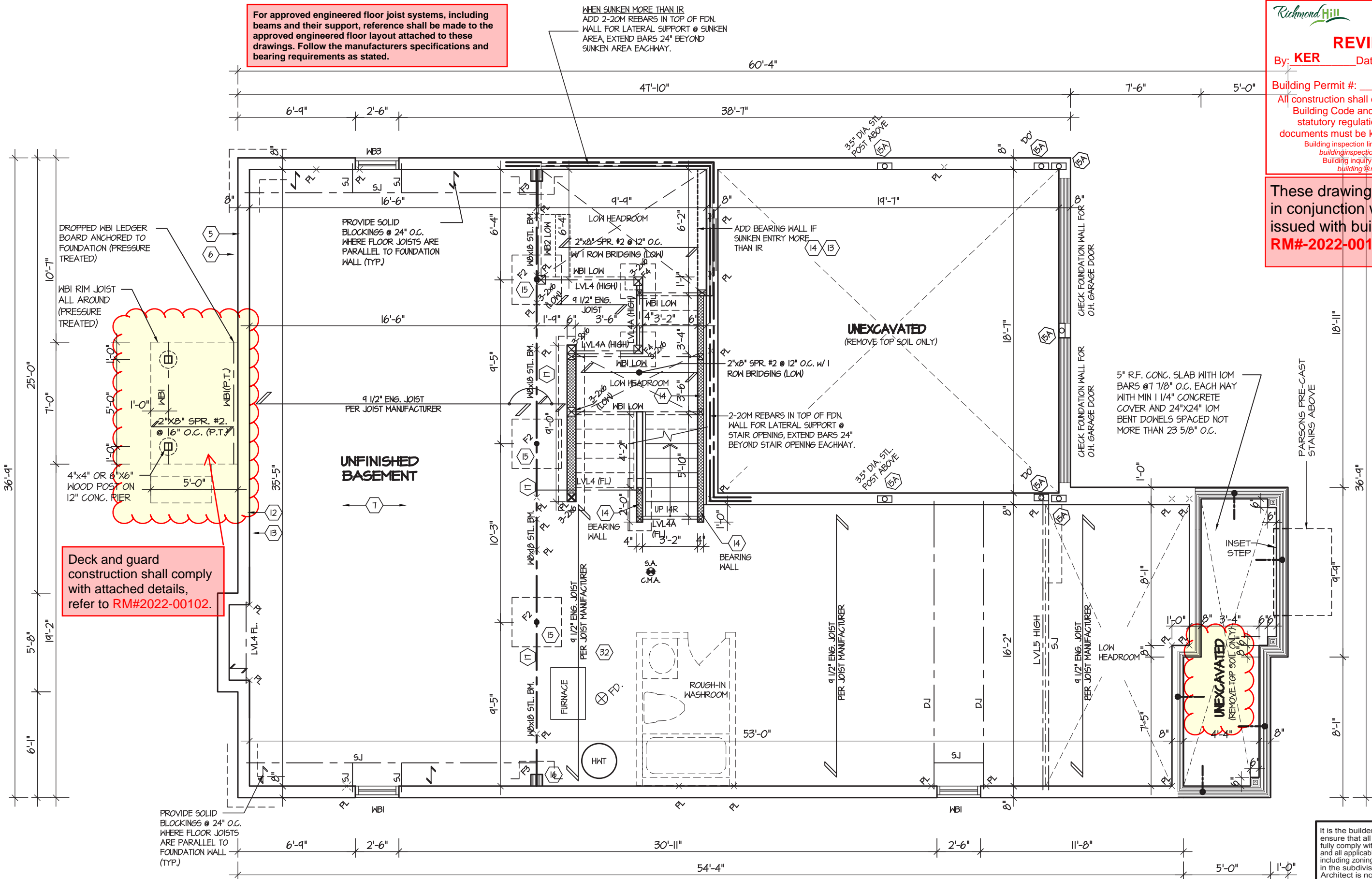
By: **KER** Date: **11/25/2022**

Building Permit #: **BP#-2022-01153**

All construction shall comply with the Ontario Building Code and all other applicable statutory regulations. The reviewed documents must be kept on site at all times.

Building inspection line: 905-771-5465 (24 hr)
buildinginspections@richmondhill.ca
Building inquiry line 905-771-8810
building@richmondhill.ca

These drawings shall be read in conjunction with drawings issued with building permit **RM#-2022-00102**



BASEMENT PLAN - ELEV. '1'

REFER TO SHEET NO. 0 FOR LINTEL, BEAMS AND DOOR SIZES

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7"; 2 ROWS FOR SPANS GREATER THAN 7'

REFER TO FLOOR FRAMING SHOP DRAWINGS FOR ENGINEERED FRAMING LAYOUTS

ALL SUBFLOORS TO BE 3/4" PLYWOOD AND TO BE GLUED AND NAILED ON THIS FLOOR.

THE ENGINEER OF RECORDED SHALL PROVIDE THE BUILDING INSPECTOR WITH A FIELD REVIEW REPORT



CITY OF RICHMOND HILL BUILDING DIVISION

09/22/2022

RECEIVED

Per: maddy.toalaalejandro

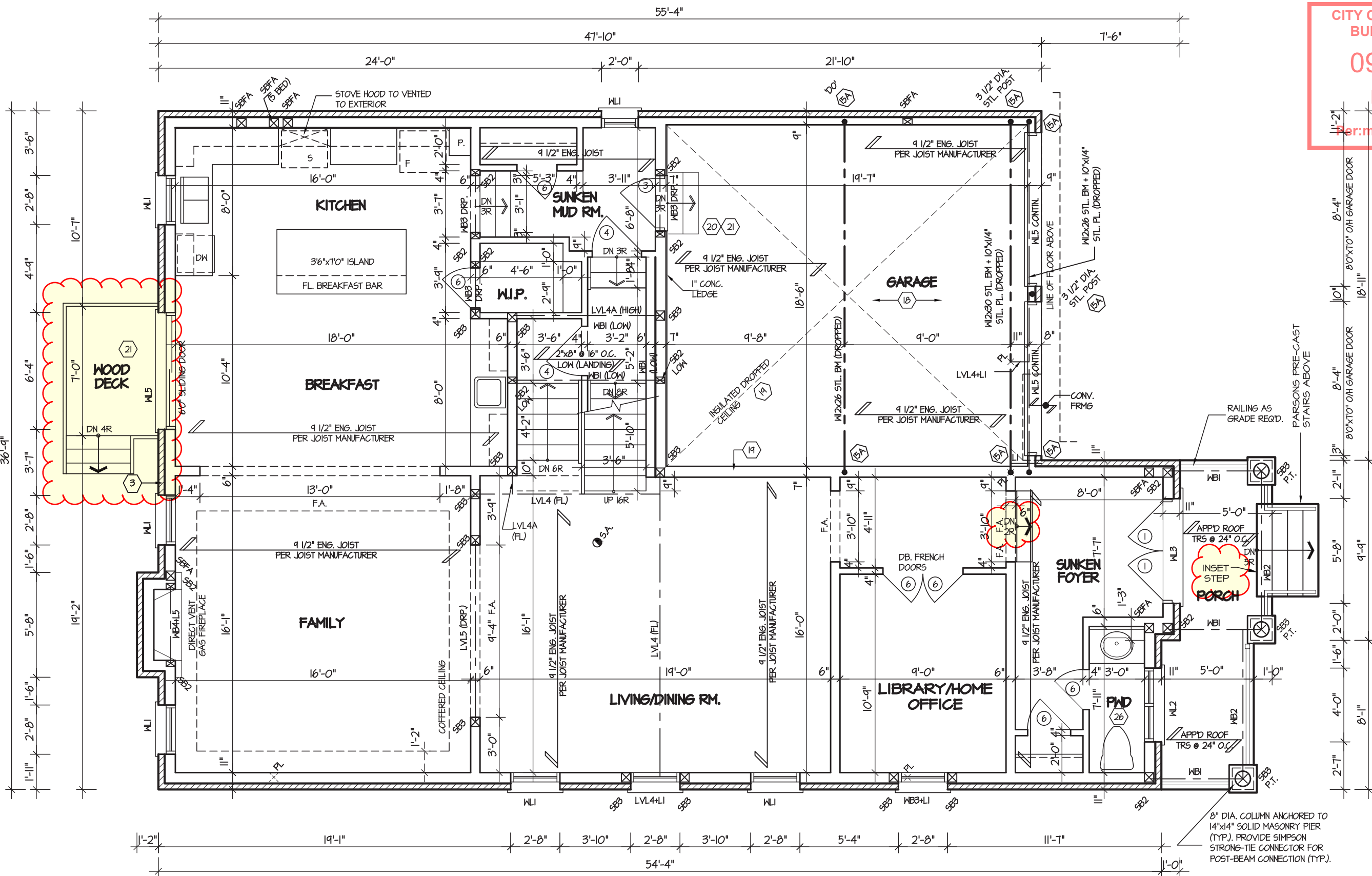
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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

TERRACOTTA 2 - 169

COMPLIANCE PACKAGE "A1"

| | | | | | | | | | | | | | | |
|-----------|---------------------|----------|--|---|-------------------------------|---------------|-------------|---|------|--|---------|-------|----------|---|
| 5. | | | <div>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</div> <div>QUALIFICATION INFORMATION</div> <div>Required unless design is exempt under Division C, Subsection 3.2.5 of the building code</div> <div>VIKAS GAJJAR</div> <div></div> <div>28770</div> <div>NAME</div> <div>SIGNATURE</div> <div>BCIN</div> | <div>REGION DESIGN INC.</div> <div>8700 DUFFERIN ST.</div> <div>CONCORD, ONTARIO</div> <div>L4K 4S6</div> <div>P (416) 736-4096</div> <div>F (905) 660-0746</div> | <div>REGION DESIGN INC.</div> | SHEET TITLE | | CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED. | | <div></div> <div>PROJECT NAME</div> <div>ROUNDEL HOMES INC.</div> | | | | |
| 4. | | | | | | BASEMENT PLAN | | ELEV. 1 | | | | | | |
| 3. | | | | | | SCALE | 3/16"=1'-0" | BY | V.G. | | AREA | 3,373 | PAGE No. | 1 |
| 2. | UPDATED FOR LOT 169 | APR 2022 | | | | DATE | FEB 2021 | TYPE | | | PROJECT | | | |
| 1. | ISSUED FOR REVIEW | FEB 2021 | | | | | | | | | | | | |
| REVISIONS | | | | | | | | | | | | | | |



CITY OF RICHMOND HILL
BUILDING DIVISION
09/22/2022
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Per: maddy.toalaalejandro

GROUND FLOOR PLAN - ELEV. 1" - LOT 169

REFER TO SHEET NO. 0 FOR LINTEL, BEAMS AND DOOR SIZES

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

For approved engineered floor joist systems, including beams and their support, reference shall be made to the approved engineered floor layout attached to these drawings. Follow the manufacturers specifications and bearing requirements as stated.

REFER TO FLOOR FRAMING SHOP DRAWINGS FOR ENGINEERED FRAMING LAYOUTS

ALL SUBFLOORS TO BE 5/8" PLYWOOD AND TO BE GLUED AND NAILED ON THIS FLOOR.

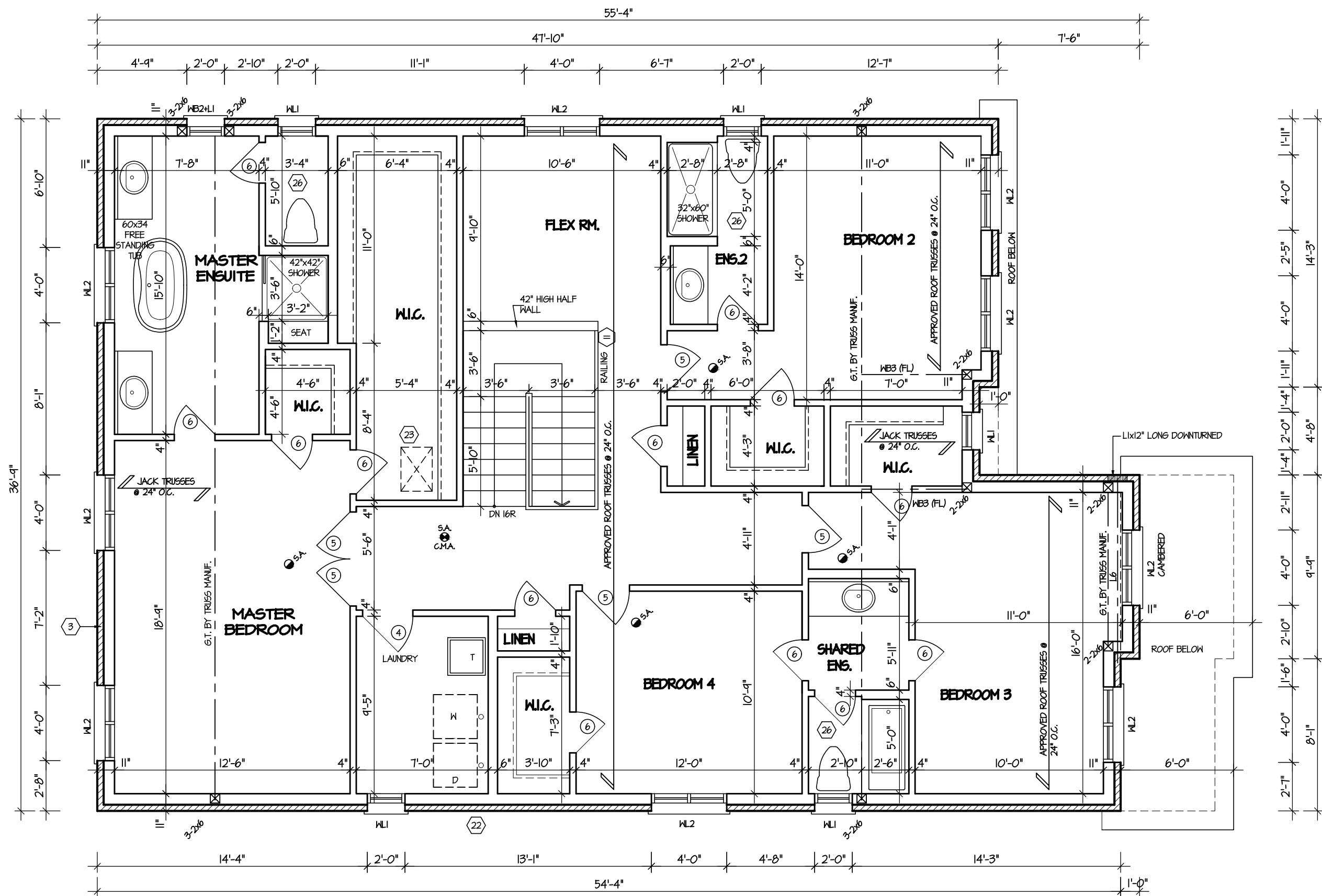


TERRACOTTA 2 - 169
COMPLIANCE PACKAGE "A1"

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

| | | | | | | | | | |
|------------------------|----------|--|--|--------------------------|--|------------|---|---------------|------------------------------------|
| 5. | | The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJJAR NAME 28770 SIGNATURE BCIN | REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4096 F (905) 660-0746 | REGION DESIGN INC. | SHEET TITLE FIRST FLOOR PLAN ELEV. 1 | | CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED. | | PROJECT NAME ROUNDEL HOMES INC. |
| 4. | | | | | SCALE 3/16"=1'-0" | BY V.G. | AREA 3,373 | PAGE No. 2 | |
| 3. | | | | | DATE FEB 2021 | TYPE | PROJECT | | |
| 2. UPDATED FOR LOT 169 | APR 2022 | | | | | | | | |
| 1. ISSUED FOR REVIEW | FEB 2021 | | | | | | | | |
| REVISIONS | | | | | | | | | |



SECOND FLOOR PLAN - ELEV. "1"

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TERRACOTTA 2 - 169

COMPLIANCE PACKAGE "A1"

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| 5. | | |
| 4. | | |
| 3. | | |
| 2. | UPDATED FOR LOT 169 | APR 2022 |
| 1. | ISSUED FOR REVIEW | FEB 2021 |
| REVISIONS | | |

| | | |
|---|--|-------|
| The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. | | |
| QUALIFICATION INFORMATION | | |
| Required unless design is exempt under Division C, Subsection 3.2.5 of the building code | | |
| VIKAS GAJJAR | | 28770 |
| NAME | | BCIN |

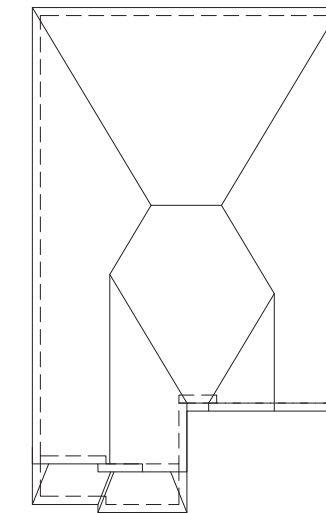
| |
|--------------------|
| REGION DESIGN INC. |
| 8700 DUFFERIN ST. |
| CONCORD, ONTARIO |
| L4K 4S6 |
| P (416) 736-4096 |
| F (905) 660-0746 |



| | |
|-------------------|-------------|
| SHEET TITLE | |
| SECOND FLOOR PLAN | |
| ELEV. 1 | |
| SCALE | 3/16"=1'-0" |
| DATE | FEB 2021 |

| | |
|---|----------|
| CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED. | |
| AREA | PAGE No. |
| 3,373 | 3 |
| PROJECT | |

| | |
|--------------------|--|
| | |
| PROJECT NAME | |
| ROUNDEL HOMES INC. | |



ROOF PLAN - ELEV. 'I'

Refer to approved truss drawings for roof framing layout and specifications for correct bearing, uplift and anchorage.

W Architect Inc.
DESIGN CONTROL REVIEW
MAY 03, 2022
FINAL BY: GGE
This stamp is only for the purposes of design control and carries no other professional obligations.

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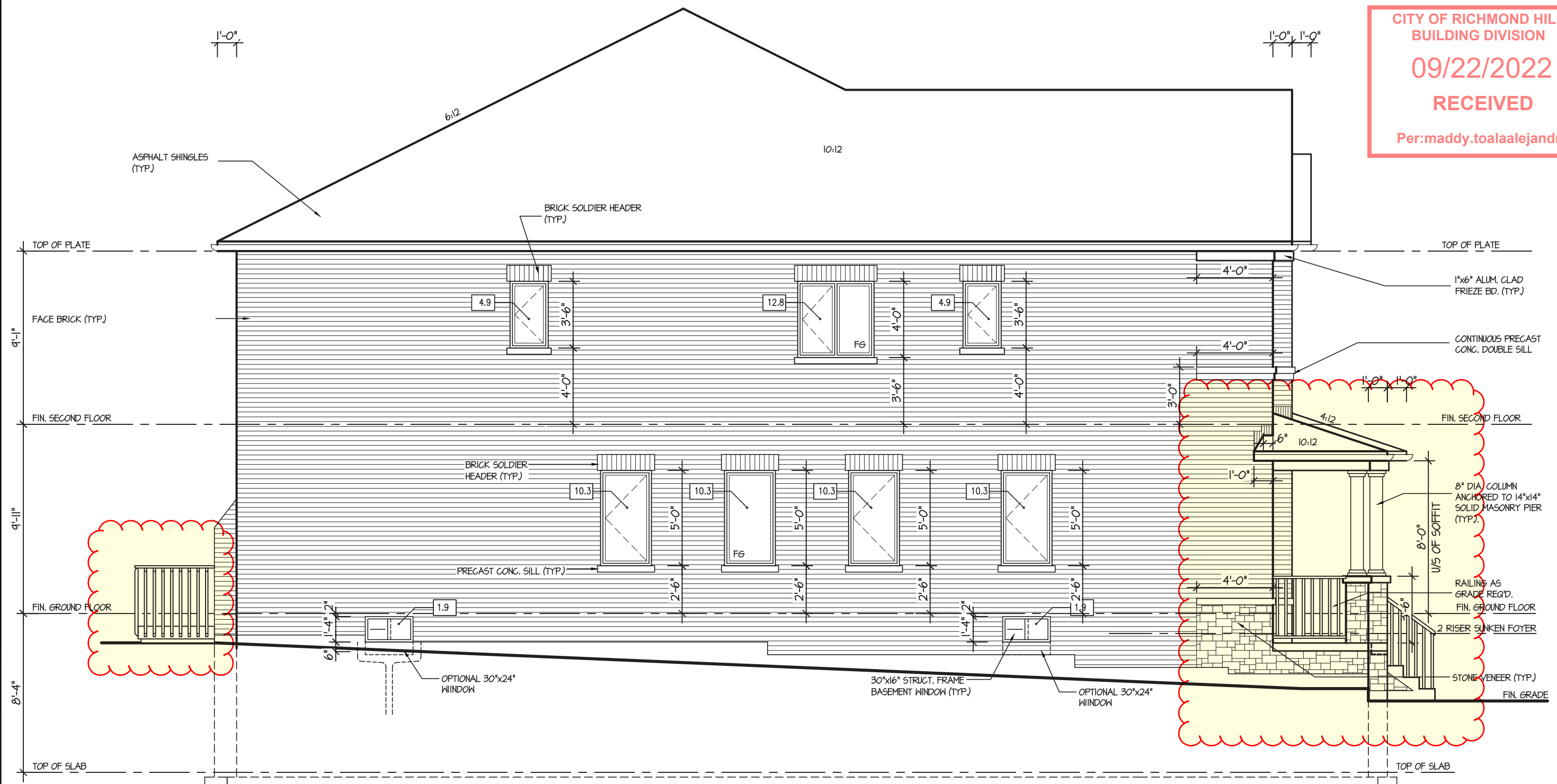
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

CITY OF RICHMOND HILL
BUILDING DIVISION
09/22/2022
RECEIVED
Per:maddy.toalaalejandro

TERRACOTTA 2 - 169
COMPLIANCE PACKAGE "A1"

| | | | | | | | | | | | | | |
|-----------|---------------------|---|---|---------------------------------------|-------------|-------------|-----------------|------|---------|-------|---|---|--|
| 5. | | <div>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</div> <div>QUALIFICATION INFORMATION</div> <div>Required unless design is exempt under Division C, Subsection 3.2.5 of the building code</div> <div>VIKAS GAJJAR NAME 28770 SIGNATURE BCIN</div> | <div>REGION DESIGN INC.</div> <div>8700 DUFFERIN ST.</div> <div>CONCORD, ONTARIO</div> <div>L4K 4S6</div> <div>P (416) 736-4096</div> <div>F (905) 660-0746</div> | <div>REGION DESIGN INC.</div> | SHEET TITLE | | FRONT ELEVATION | | ELEV. 1 | | CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED. | | <div></div> <div>PROJECT NAME</div> <div>ROUNDEL HOMES INC.</div> |
| 4. | | | | | SCALE | 3/16"=1'-0" | BY | V.G. | AREA | 3,373 | PAGE No. | 4 | |
| 3. | | | | | DATE | FEB 2021 | TYPE | | PROJECT | | | | |
| 2. | UPDATED FOR LOT 169 | | | | APR 2022 | | | | | | | | |
| 1. | ISSUED FOR REVIEW | | | | FEB 2021 | | | | | | | | |
| REVISIONS | | | | | | | | | | | | | |

CITY OF RICHMOND HILL
BUILDING DIVISION
09/22/2022
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LEFT SIDE ELEVATION - ELEV. 1'

No unprotected openings permitted within 1.2 metres of the lot line as per 9.10.14 of the Ontario Building Code.

ALLOWABLE GLAZING

WALL AREA

| | | |
|---|--|---------|
| WALL AREA | | 1131.94 |
| ALLOWABLE WINDOW AREA @ 7.00 % (2.0 M SIDEYARD) | | 79.24 |
| ACTUAL WINDOW AREA | | 67.60 |
| WITH OPTIONAL 30"x24" BASEMENT WINDOWS ACTUAL GLAZED AREA | | 70.40 |

W Architect Inc.
DESIGN CONTROL REVIEW
MAY 03, 2022
FINAL BY: GGE
This stamp is only for the purposes of design control and carries no other professional obligations.

TERRACOTTA 2 - 169

COMPLIANCE PACKAGE "A1"

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| | | |
|----|---------------------|----------|
| 5. | | |
| 4. | | |
| 3. | | |
| 2. | UPDATED FOR LOT 169 | APR 2022 |
| 1. | ISSUED FOR REVIEW | FEB 2021 |

REVISIONS

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR
NAME
28770
BCIN

SIGNATURE

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0746

REGION
DESIGN
INC.

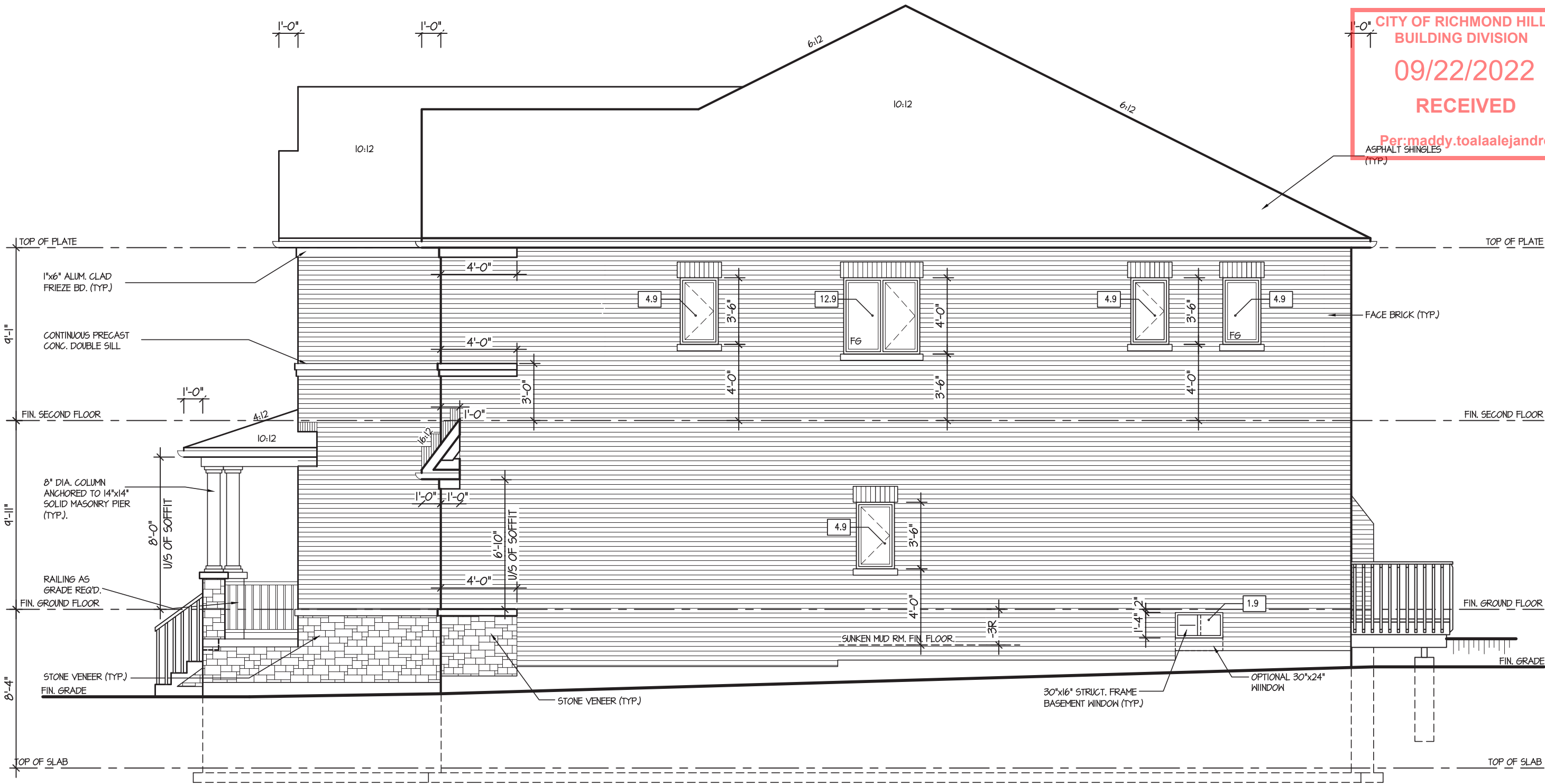
SHEET TITLE
LEFT SIDE ELEVATION
ELEV. 1
SCALE
3/16"=1'-0"
DATE
FEB 2021
BY
V.G.
TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

AREA
3,373
PAGE No.
5
PROJECT

PROJECT NAME
ROUNDEL HOMES INC.

Greenpark™



RIGHT SIDE ELEVATION - ELEV. 'I'

No unprotected openings permitted within 1.2 metres of the lot line as per 9.10.14 of the Ontario Building Code.

ALLOWABLE GLAZING

| | | | |
|--|------|--------------------|---------------|
| WALL AREA | | | |
| WALL AREA | | | 1131.94 |
| ALLOWABLE WINDOW AREA @ | 7.00 | % (2.0 M SIDEYARD) | 79.24 |
| ACTUAL WINDOW AREA [5 BED OPTION] | | | 34.4 [24.5] |
| WITH OPTIONAL 30"x24" BASEMENT WINDOWS ACTUAL GLAZED AREA [5 BED OPTION] | | | 35.8 [30.9] |

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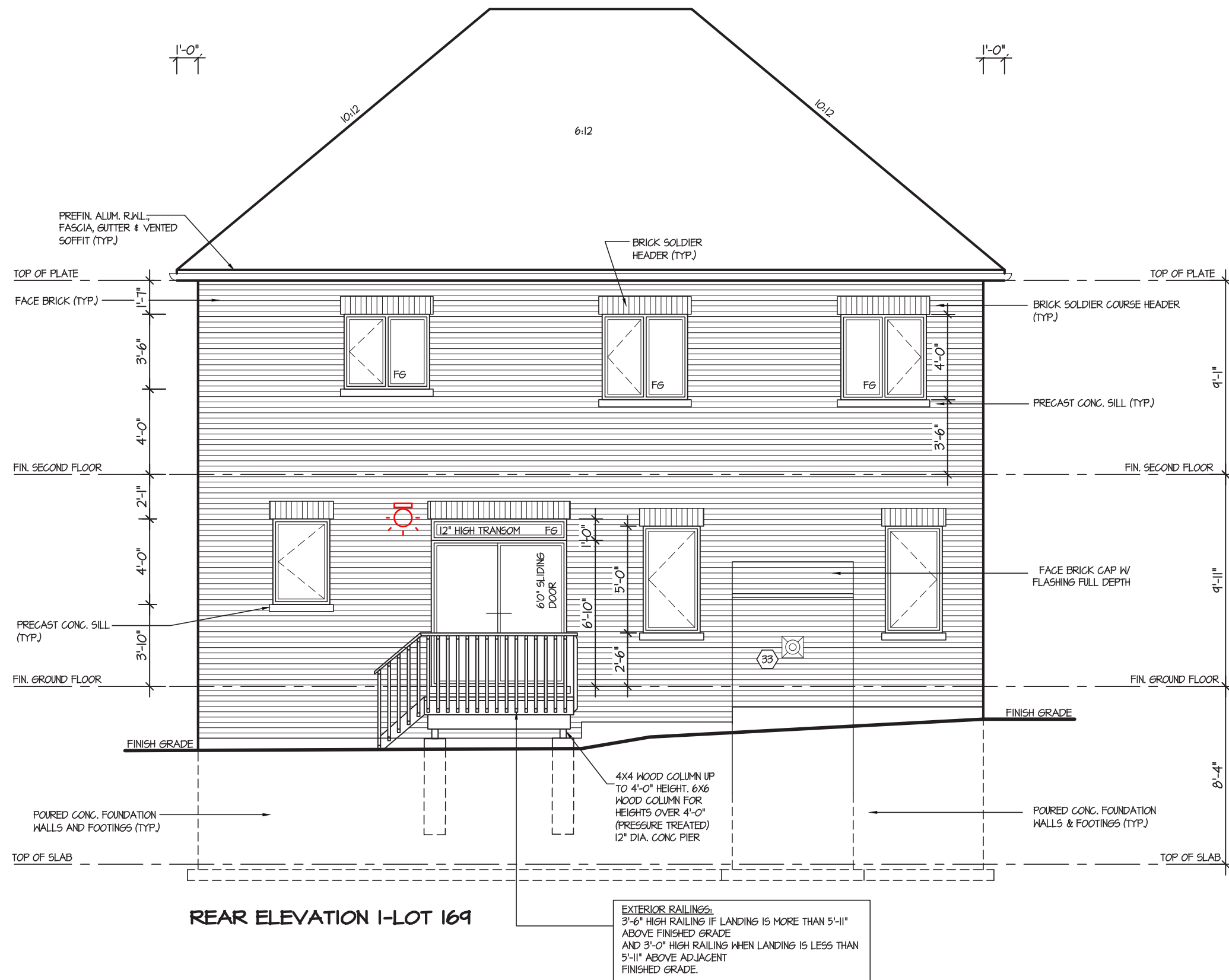
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

W Architect Inc.
DESIGN CONTROL REVIEW
MAY 03, 2022
FINAL BY: GGE
This stamp is only for the purposes of design control and carries no other professional obligations.

TERRACOTTA 2 - 169
COMPLIANCE PACKAGE "A1"

| | | | | | | | | | | | | | |
|-----------|---------------------|--|---|---------------------------------------|-------------|-------------|----------------------|------|---------|-------|---|---|--|
| 5. | | <div>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</div> <div>QUALIFICATION INFORMATION</div> <div>Required unless design is exempt under Division C, Subsection 3.2.5 of the building code</div> <div>VIKAS GAJJAR NAME</div> <div> SIGNATURE</div> <div>28770 BCIN</div> | <div>REGION DESIGN INC.</div> <div>8700 DUFFERIN ST.</div> <div>CONCORD, ONTARIO</div> <div>L4K 4S6</div> <div>P (416) 736-4096</div> <div>F (905) 660-0746</div> | <div>REGION DESIGN INC.</div> | SHEET TITLE | | RIGHT SIDE ELEVATION | | ELEV. 1 | | CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED. | | <div></div> <div>PROJECT NAME</div> <div>ROUNDEL HOMES INC.</div> |
| 4. | | | | | SCALE | 3/16"=1'-0" | BY | V.G. | AREA | 3,373 | PAGE No. | 6 | |
| 3. | | | | | DATE | FEB 2021 | TYPE | | PROJECT | | | | |
| 2. | UPDATED FOR LOT 169 | | | | APR 2022 | | | | | | | | |
| 1. | ISSUED FOR REVIEW | | | | FEB 2021 | | | | | | | | |
| REVISIONS | | | | | | | | | | | | | |

CITY OF RICHMOND HILL
BUILDING DIVISION
09/22/2022
RECEIVED
Per:maddy.toalaalejandro



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W Architect Inc.
DESIGN CONTROL REVIEW
MAY 03, 2022
FINAL BY: GGE
This stamp is only for the purposes of design control and carries no other professional obligations.

TERRACOTTA 2 - 169

COMPLIANCE PACKAGE "A1"

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| VIKAS GAJJAR | 28770 | BCIN |
| NAME | SIGNATURE | |

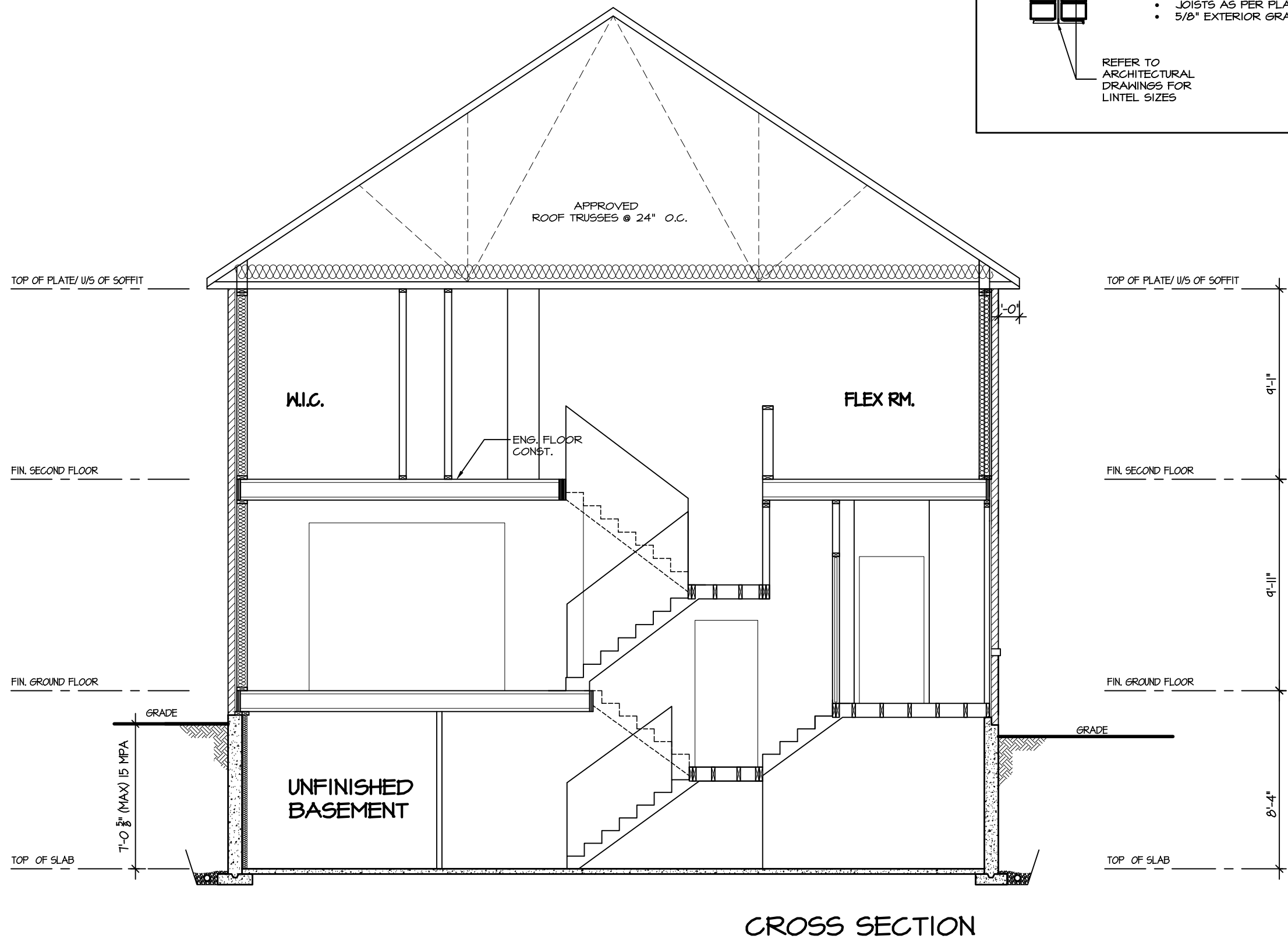
| |
|--------------------|
| REGION DESIGN INC. |
| 8700 DUFFERIN ST. |
| CONCORD, ONTARIO |
| L4K 4S6 |
| P (416) 736-4096 |
| F (905) 660-0746 |



| | |
|-----------------------------------|------------|
| SHEET TITLE | |
| REAR ELEVATION ELEV., 1, 2 & 3 | |
| SCALE 3/16"=1'-0" | BY V.G. |
| DATE FEB 2021 | TYPE |

| | |
|---|---------------|
| CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED. | |
| AREA 3,373 | PAGE No. 7 |
| PROJECT | |

| | |
|------------------------------------|--|
| | |
| PROJECT NAME ROUNDEL HOMES INC. | |



STRUDET INC FOR STRUCTURAL ONLY



MAY 2/2022

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TERRACOTTA 2 - 169

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| VIKAS GAJJAR | 28770 | BCIN |
| NAME | SIGNATURE | |

| |
|--------------------|
| REGION DESIGN INC. |
| 8700 DUFFERIN ST. |
| CONCORD, ONTARIO |
| L4K 4S6 |
| P (416) 736-4096 |
| F (905) 660-0746 |



| | |
|----------------------|------|
| SHEET TITLE | |
| CROSS SECTION ELEV.1 | |
| SCALE | BY |
| 3/16"=1'-0" | V.G. |
| DATE | TYPE |
| FEB 2021 | |

| | |
|---|----------|
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| AREA | PAGE No. |
| 3,373 | 8 |
| PROJECT | |

| | |
|--------------------|--|
| | |
| PROJECT NAME | |
| ROUNDEL HOMES INC. | |