

STRIP FOOTINGS -

FOR SINGLES & SEMIS UP TO 2 STOREY

8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS
20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.

FOUNDATION WALLS WITH ENGINEERED JOISTS OVER 16' SPANS
24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.

FOOTINGS ON ENGINEERED FILL

24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING
BELOW EXTERIOR WALLS.
30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING
BELOW PARTY WALLS.

(REFER TO FOOTING DETAILS ON ENGINEERED FILL)

ASSUME THE LARGER FOOTING SIZE
WHEN TWO CONDITIONS APPLY

ASSUMED 120 KPa (18 p.s.i.) SOIL BEARING CAPACITY OR 90 KPa
ENGINEERED SOIL FILL, TO BE VERIFIED ON SITE.

PAD FOOTINGS

120 KPa NATIVE SOIL

90 KPa ENGINEERED FILL SOIL

F1 = 42"x42"x18" CONCRETE PAD F1 = 48"x48"x20" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD F2 = 40"x40"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD F3 = 34"x34"x14" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD
F5 = 16"x16"x8" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD
(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)

BRICK VENEER LINTELS

WL1 = 3-1/2"x3-1/2"x1/4" (90x90x6.0L) + 2-2"x8" SPR. No.2
WL2 = 4"x3-1/2"x5/16" (100x90x8.0L) + 2-2"x8" SPR. No.2
WL3 = 5"x3-1/2"x5/16" (125x90x8.0L) + 2-2"x10" SPR. No.2
WL4 = 6"x3-1/2"x3/8" (150x90x10.0L) + 2-2"x12" SPR. No.2
WL5 = 6"x4"x3/8" (150x100x10.0L) + 2-2"x12" SPR. No.2
WL6 = 5"x3-1/2"x5/16" (125x90x8.0L) + 2-2"x12" SPR. No.2
WL7 = 5"x3-1/2"x5/16" (125x90x8.0L) + 3-2"x10" SPR. No.2
WL8 = 5"x3-1/2"x5/16" (125x90x8.0L) + 3-2"x12" SPR. No.2
WL9 = 6"x4"x3/8" (150x100x10.0L) + 3-2"x12" SPR. No.2

LINTELS AND BEAMS

WB1 = 2-2"x8" SPR. No.2 (2-38x184 SPR. No.2)
WB2 = 3-2"x8" SPR. No.2 (3-38x184 SPR. No.2)
WB3 = 2-2"x10" SPR. No.2 (2-38x235 SPR. No.2)
WB4 = 3-2"x10" SPR. No.2 (3-38x235 SPR. No.2)
WB5 = 2-2"x12" SPR. No.2 (2-38x286 SPR. No.2)
WB6 = 3-2"x12" SPR. No.2 (3-38x286 SPR. No.2)
WB7 = 5-2"x12" SPR. No.2 (5-38x286 SPR. No.2)
WB11 = 4-2"x10" SPR. No.2 (4-38x235 SPR. No.2)
WB12 = 4-2"x12" SPR. No.2 (4-38x286 SPR. No.2)

LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)
LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)
LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)
LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)
LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)
LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)
LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)
LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)
LVL6A = 1-1 3/4" x 11 7/8" (1-45x300)
LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)
LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)
LVL7A = 4-1 3/4" x 11 7/8" (4-45x300)
LVL8 = 2-1 3/4" x 14" (2-45x356)
LVL9 = 3-1 3/4" x 14" (3-45x356)
LVL10 = 2-1 3/4" x 18" (3-45x456)

LVL BEAMS SHALL BE VERSA-LAM 2.0E (Fb=2800psi MIN.) OR
EQUIVALENT.

LOOSE STEEL LINTELS

L1 = 3-1/2"x3-1/2"x1/4" (90x90x6.0L)
L2 = 4"x3-1/2"x5/16" (100x90x8.0L)
L3 = 5"x3-1/2"x5/16" (125x90x8.0L)
L4 = 6"x3-1/2"x3/8" (150x90x10.0L)
L5 = 6"x4"x3/8" (150x100x10.0L)
L6 = 7"x4"x3/8" (175x100x10.0L)

DOOR SCHEDULE

NOS.	WIDTH	HEIGHT 8'-0" CEILING	HEIGHT 10' OR MORE CEILING	TYPE
1	2'-10"	6'-8"	8'-0"	INSULATED ENTRANCE DOOR
1a	2'-8"	6'-8"	8'-0"	INSULATED FRONT DOORS
2	2'-8"	6'-8"	8'-0"	WOOD & GLASS DOOR
3	2'-8"	6'-8"	8'-0"	EXTERIOR SLAB DOOR
4	2'-8"	6'-8"	8'-0"	INTERIOR SLAB DOOR
5	2'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR
6	2'-2"	6'-8"	8'-0"	INTERIOR SLAB DOOR
7	1'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR

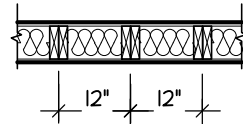
SPACE CONVENTIONAL FLOOR JOISTS @ 12"
O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF
5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

REFER TO ROOF TRUSS SHOP DRAWINGS FOR
ALL ROOF FRAMING INFORMATION

PLANS NOT DRAWN TO ACTUAL GRADE. REFER
TO FINAL GRADING PLAN.

REFER TO FLOOR FRAMING SHOP DRAWINGS
FOR ENGINEERED FRAMING LAYOUTS

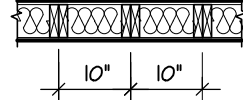
2-2"x6" STUD WALL NAILED TOGETHER AND
SPACED @12" O.C. FULL HT C/M SOLID
BLOCKING 4'-0" O.C. VERTICAL AND 7/16"
EXT. PLYWOOD SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL
FOR THIS DETAIL IS 18'-0"

TWO STORY HEIGHT WALL DETAIL

2 - 1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E
STUD WALL, GLUED AND NAILED TOGETHER
AND SPACED MAX. @10" O.C. FULL HT C/M
SOLID BLOCKING MAX. 8'-0" O.C. VERTICAL
AND 7/16" EXT. OSB SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS
DETAIL IS 20'-2" AND MAXIMUM WIDTH
IS 40'-0"

TWO STORY HEIGHT WALL DETAIL

THE MINIMUM THERMAL PERFORMANCE OF BUILDING
ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE
FOLLOWING

COMPLIANCE PACKAGE "A1"

COMPONENT	NOTE
CEILING WITH ATTIC SPACE MINIMUM RSI (R) VALUE	10.51 (R60)
CEILING WITHOUT ATTIC SPACE MINIMUM RSI (R) VALUE	5.46 (R31)
EXPOSE FLOOR MINIMUM RSI (R) VALUE	5.46 (R31)
WALLS ABOVE GRADE MINIMUM RSI (R) VALUE	3.87 (R22)
BASEMENT WALLS MINIMUM RSI (R) VALUE	3.52 (R20 BLANKET)
HEATED SLAB OR SLAB ≤ 600mm BELOW GRADE MINIMUM RSI (R) VALUE	1.76 (R10)
WINDOWS & SLIDING GLASS DOORS MAXIMUM U-VALUE	ENERGY RATING = 25, MAX. U=0.28
SPACE HEATING EQUIPMENT MINIMUM AFUE	96%
HRV MINIMUM EFFICIENCY	75%
HOT WATER TANK	MIN. EF 0.80

AREA CALCULATIONS

ELEV. 3A	
GROUND FLOOR AREA	= 1493 Sq. Ft.
SECOND FLOOR AREA	= 1889 Sq. Ft.
TOTAL FLOOR AREA	= 3382 Sq. Ft.
	314.20 Sq. M.
1ST FLOOR OPEN AREA	= 0 Sq. Ft.
2ND FLOOR OPEN AREA	= 0 Sq. Ft.
ADD TOTAL OPEN AREAS	= 0 Sq. Ft.
ADD FIN. BASEMENT AREA	= 0 Sq. Ft.
GROSS FLOOR AREA	= 3382 Sq. Ft.
	314.20 Sq. M.
GROUND FLOOR COVERAGE	= 1493 Sq. Ft.
GARAGE COVERAGE / AREA	= 391 Sq. Ft.
PORCH COVERAGE / AREA	= 89 Sq. Ft.
TOTAL COVERAGE W/ PORCH	= 1973 Sq. Ft.
	183.30 Sq. m.
TOTAL COVERAGE W/O PORCH	= 1884 Sq. Ft.
	175.03 Sq. m.

Lot 167 Construction Set



FOR STRUCTURE ONLY

TERRACOTTA 2-167 COMPLIANCE PACKAGE "A1"



PROJECT NAME
ROUNDEL HOMES INC.

5.		
4.		
3.		
2.	LOT SPECIFIC FOR LOT 167	April 2022
1.	ISSUED FOR REVIEW	FEB 2021
REVISIONS		

The undersigned has reviewed and takes responsibility for this
design, and has the qualifications and meets the requirements set
out in the Ontario Building Code to be a designer.
QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code
VIKAS GAJJAR
NAME
28770
SIGNATURE
BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0746

REGION
DESIGN
INC.

SHEET TITLE

AREA CHARTS

SCALE
3/16"=1'-0"
DATE
FEB 2021

BY
M.B.
TYPE

CONTRACTOR SHALL CHECK ALL
DIMENSIONS AND ELEVATIONS BEFORE
COMMENCING WITH WORK AND REPORT
ANY DISCREPANCIES TO THE DESIGNER.
PRINTS ARE NOT TO BE SCALED.

AREA
3,373
PROJECT

PAGE No.
0

It is the builder's complete responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The Control
Architect is not responsible in any way for
examining or approving site (lotting) plans or
working drawings with respect to any zoning or
building code or permit matter or that any
house can be properly built or located on its lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the City of
HAMILTON.



City of Richmond Hill
Building Division

REVIEWED

By: **KER** Date: **11/25/2022**

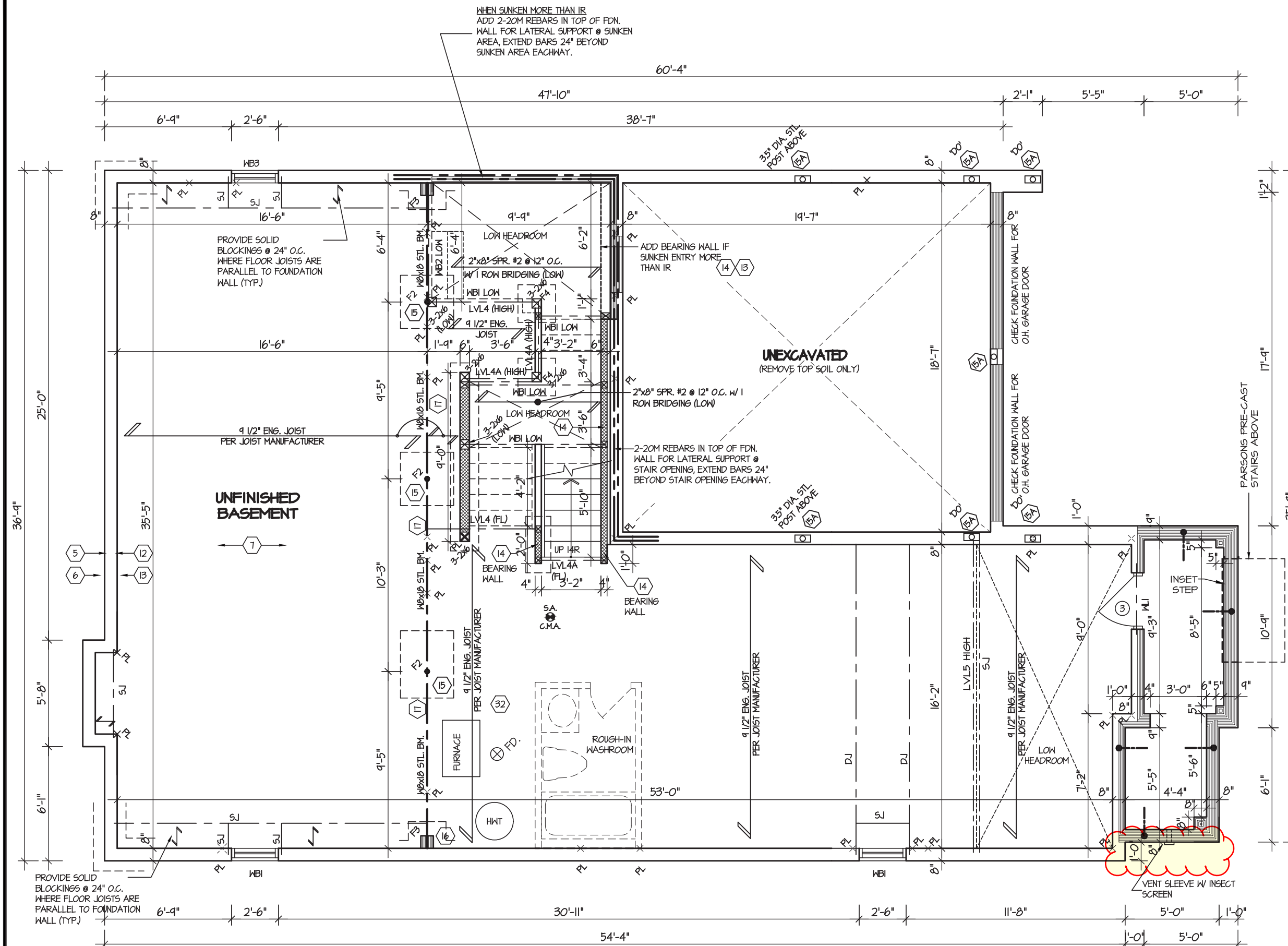
Building Permit #: **BP#-2022-01151**

All construction shall comply with the Ontario Building Code and all other applicable statutory regulations. The reviewed documents must be kept on site at all times.

Building inspection line: 905-771-5465 (24 hr)
buildinginspections@richmondhill.ca
Building inquiry line 905-771-8810
building@richmondhill.ca

These drawings shall be read in conjunction with drawings issued with building permit:

RM#-2022-00102



BASEMENT PLAN - ELEV. '3A'

REFER TO SHEET NO. 0 FOR LINTEL, BEAMS AND DOOR SIZES

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

REFER TO FLOOR FRAMING SHOP DRAWINGS FOR ENGINEERED FRAMING LAYOUTS

ALL SUBFLOORS TO BE 3/4" PLYWOOD AND TO BE GLUED AND NAILED ON THIS FLOOR.

THE ENGINEER OF RECORD SHALL PROVIDE THE BUILDING INSPECTOR WITH A FIELD REVIEW REPORT

STRUDET INC.



CITY OF RICHMOND HILL
BUILDING DIVISION

09/22/2022

RECEIVED

Per: maddy.toalaalejandro

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TERRACOTTA 2-167

COMPLIANCE PACKAGE "A1"

REVISIONS	
5.	
4.	
3.	
2. LOT SPECIFIC FOR LOT 167	April 2022
1. ISSUED FOR REVIEW	FEB 2021

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.	
QUALIFICATION INFORMATION	
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code	
VIKAS GAJJAR	28770
NAME	BCIN
SIGNATURE	

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
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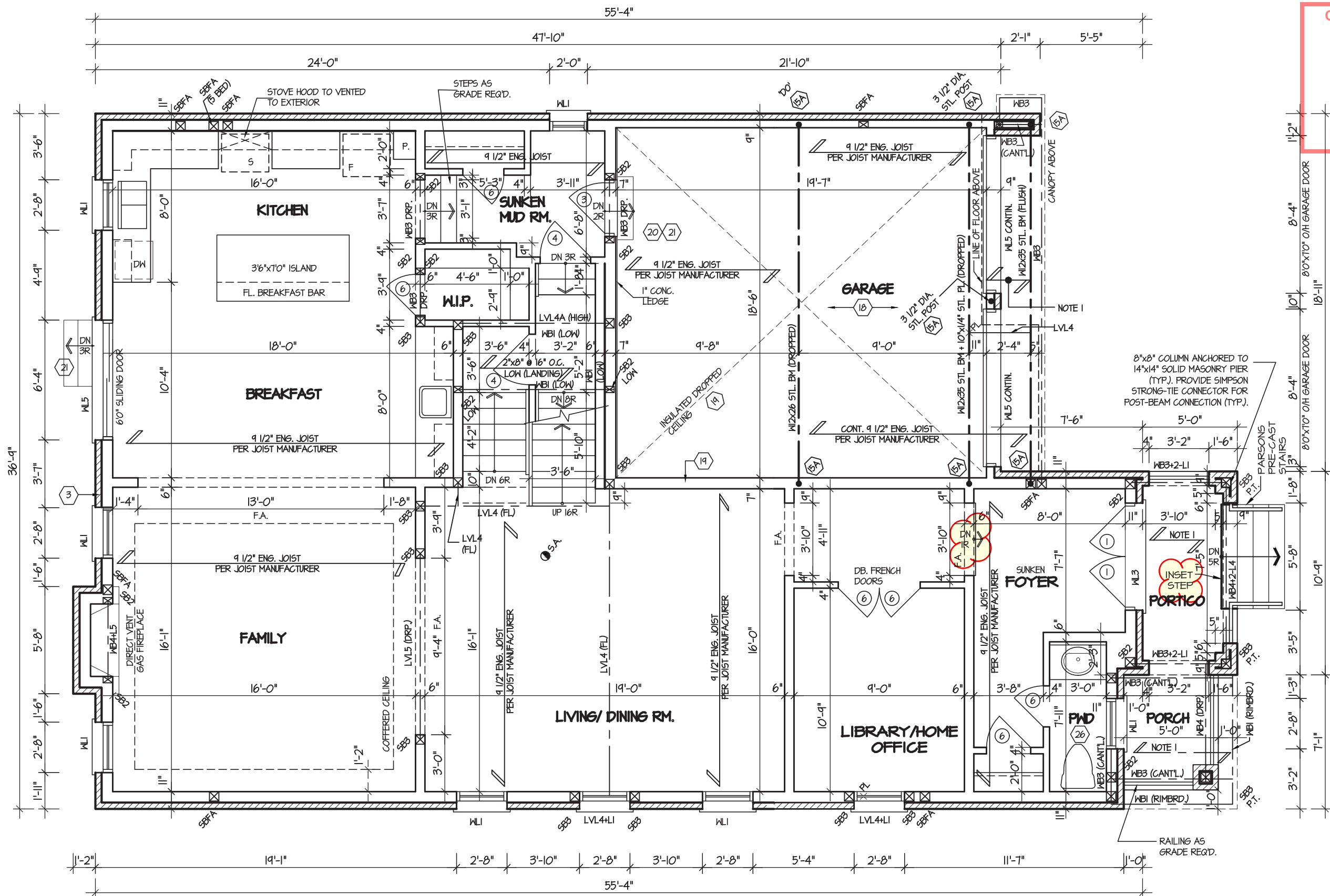


SHEET TITLE	
BASEMENT PLAN ELEV. 2	
SCALE	3/16"=1'-0"
DATE	FEB 2021
BY	M.B.
TYPE	

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.	
AREA	3,373
PROJECT	
PAGE No.	1-3

PROJECT NAME	
ROUNDEL HOMES INC.	

CITY OF RICHMOND HILL
BUILDING DIVISION
09/22/2022
RECEIVED
Per:maddy.toalaalejandro



GROUND FLOOR PLAN - ELEV. '3A'

REFER TO SHEET NO. 0 FOR LINTEL, BEAMS AND DOOR SIZES

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

REFER TO FLOOR FRAMING SHOP DRAWINGS FOR ENGINEERED FRAMING LAYOUTS

ALL SUBFLOORS TO BE 5/8" PLYWOOD AND TO BE GLUED AND NAILED ON THIS FLOOR.

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TERRACOTTA 2-167
COMPLIANCE PACKAGE "A1"

5.		
4.		
3.		
2.	LOT SPECIFIC FOR LOT 167	April 2022
1.	ISSUED FOR REVIEW	FEB 2021
REVISIONS		

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VIKAS GAJJAR	28770	
NAME	SIGNATURE	BCIN

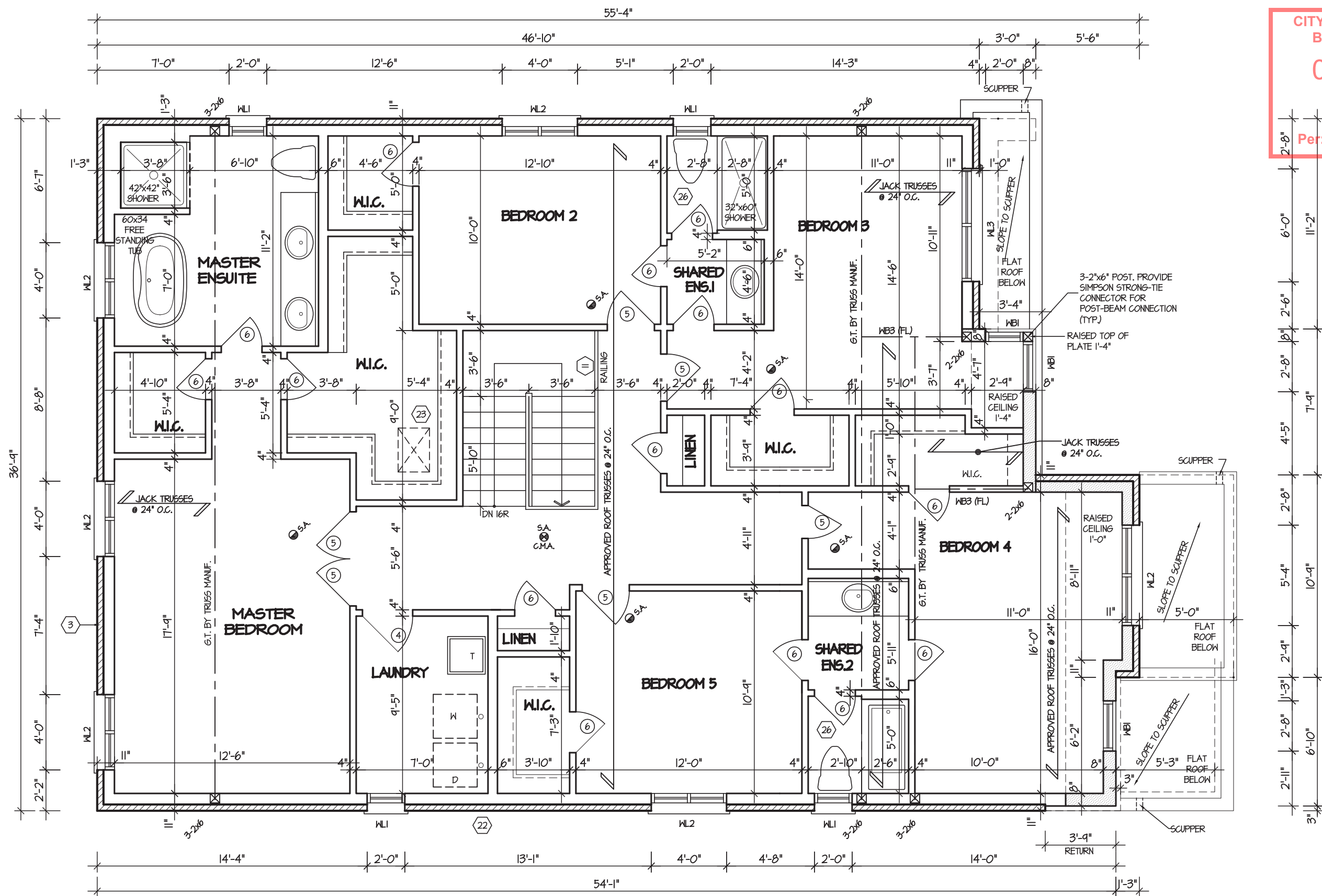
REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0746



SHEET TITLE FIRST FLOOR PLAN ELEV. 3	
SCALE 3/16"=1'-0"	BY M.B.
DATE FEB 2021	TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.	
AREA 3,373	PAGE No. 2-3
PROJECT	

PROJECT NAME ROUNDEL HOMES INC.	

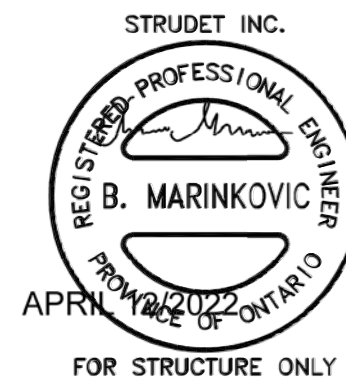


OPT. SECOND FLOOR PLAN (5 BDRM) - ELEV. '3A'

CITY OF RICHMOND HILL
BUILDING DIVISION
09/22/2022
RECEIVED
Per: maddy.toalaalejandro

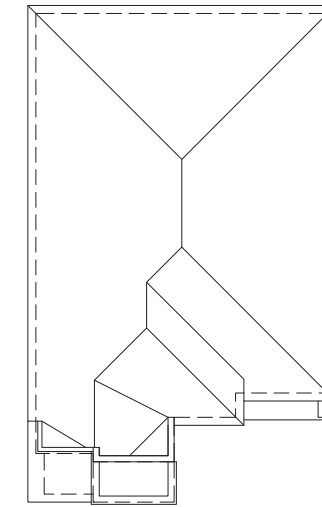
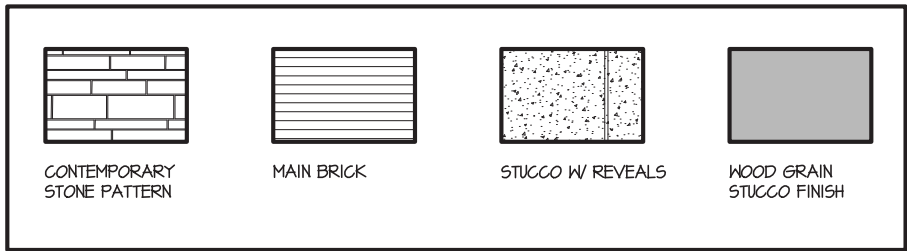
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TERRACOTTA 2-167
COMPLIANCE PACKAGE "A1"

5.		The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4096 F (905) 660-0746	REGION DESIGN INC.	SHEET TITLE SECOND FLOOR PLAN ELEV. 3	CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.	AREA 3,373	PAGE No. 3-3	PROJECT NAME ROUNDEL HOMES INC.
4.		QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code			SCALE 3/16"=1'-0"	BY M.B.			
3.		VIKAS GAJJAR NAME	28770 BCIN		DATE FEB 2021	TYPE			
2.	LOT SPECIFIC FOR LOT 167	April 2022							
1.	ISSUED FOR REVIEW	FEB 2021							
REVISIONS									



Refer to approved truss drawings for roof framing layout and specifications for correct bearing, uplift and anchorage.

ROOF PLAN - ELEV. '3A'



FRONT ELEVATION - ELEV. '3A'



INSIDE PORTICO ELEVATION '3A'

W Architect Inc.
DESIGN CONTROL REVIEW
MAY 03, 2022
FINAL BY: GGE
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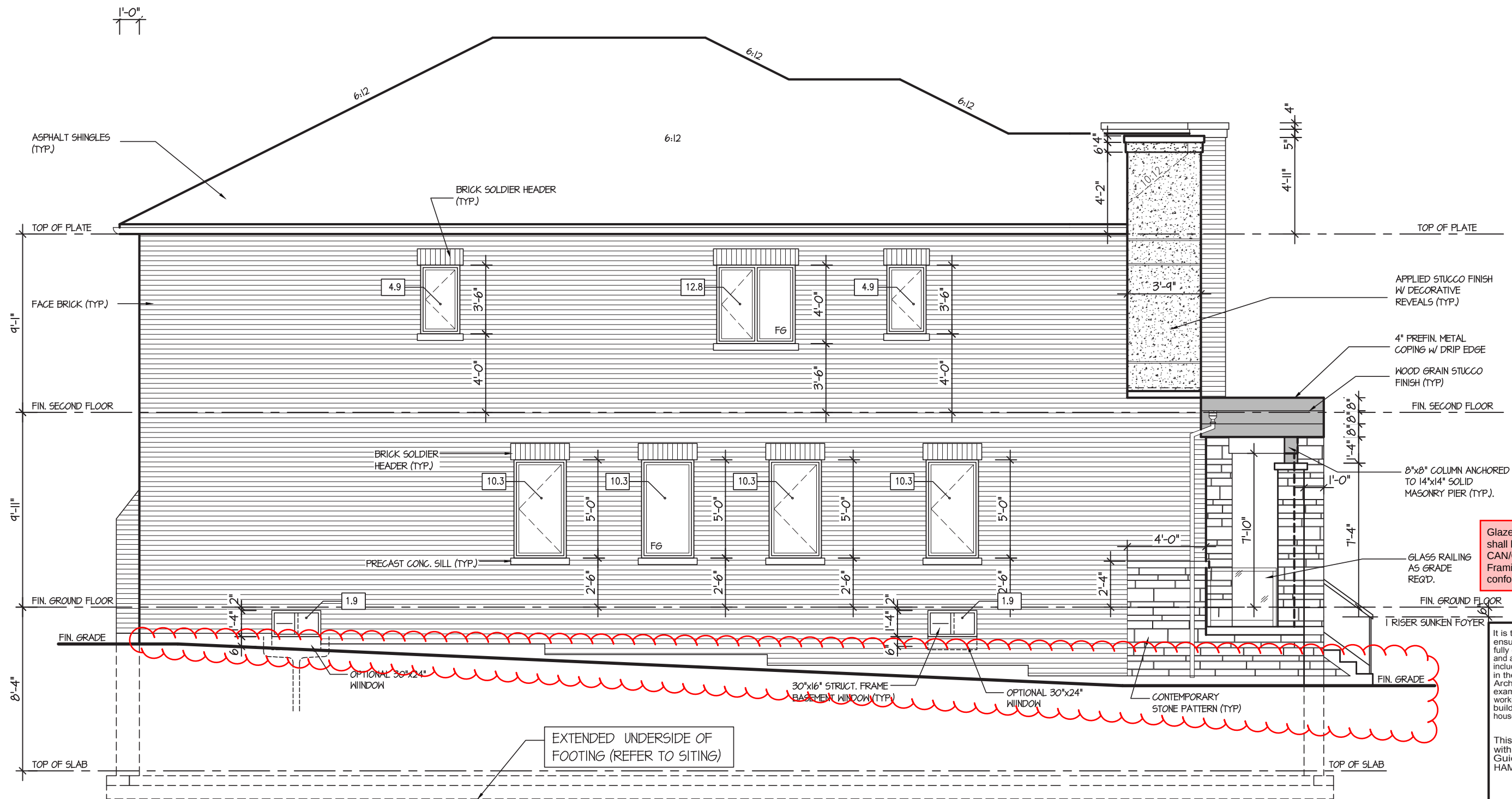
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CITY OF RICHMOND HILL
BUILDING DIVISION
09/22/2022
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Per:maddy.toalaalejandro

TERRACOTTA 2-167
COMPLIANCE PACKAGE "A1"

5.		The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJJAR NAME SIGNATURE BCIN 28770	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4096 F (905) 660-0746	REGION DESIGN INC.	SHEET TITLE		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.		 PROJECT NAME ROUNDEL HOMES INC.	
4.					FRONT ELEVATION					
3.					ELEV. 3					
2.	LOT SPECIFIC FOR LOT 167				April 2022	SCALE	BY	AREA		PAGE No.
1.	ISSUED FOR REVIEW				FEB 2021	3/16"=1'-0"	M.B.	3,373		4A-3
REVISIONS					DATE	TYPE	PROJECT			
			FEB 2021							

CITY OF RICHMOND HILL
BUILDING DIVISION
09/22/2022
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Per:maddy.toalaalejandro



Glazed enclosure acting as guards shall be in conformance with CAN/CGSB-12.1-M, OBC 2012 SB-13, Framing Elements shall be in conformance with OBC 2012 SB-7

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LEFT SIDE ELEVATION - ELEV. '3A'

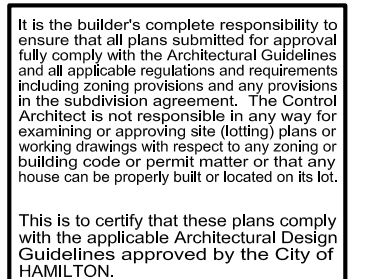
ALLOWABLE GLAZING

WALL AREA		1131.94
WALL AREA		79.24
ALLOWABLE WINDOW AREA @ 1.00 % (2.0 M SIDEYARD)		67.60
ACTUAL WINDOW AREA		10.40
WITH OPTIONAL 30"x24" BASEMENT WINDOWS ACTUAL GLAZED AREA		

W Architect Inc.
DESIGN CONTROL REVIEW
MAY 03, 2022
FINAL BY: GGE
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TERRACOTTA 2-167
COMPLIANCE PACKAGE "A1"

5.			The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJJAR NAME 28770 SIGNATURE BCIN	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4096 F (905) 660-0746	REGION DESIGN INC.	SHEET TITLE LEFT SIDE ELEVATION ELEV. 3		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.		PROJECT NAME ROUNDEL HOMES INC.
4.						SCALE 3/16"=1'-0"	BY M.B.	AREA 3,373	PAGE No. 5-3	
3.						DATE FEB 2021	TYPE	PROJECT		
2. LOT SPECIFIC FOR LOT 167	April 2022									
1. ISSUED FOR REVIEW	FEB 2021									
REVISIONS										

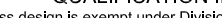


WALL AREA		1152.78
ALLOWABLE WINDOW AREA @	7.00 % (2.0 M SIDEYARD)	80.69
ACTUAL WINDOW AREA [5 BED OPTION]		44.0 [39.1]
WITH OPTIONAL 30"x24" BASEMENT WINDOWS ACTUAL GLAZED AREA [5 BED OPTION]		45.4 [40.5]

W Architect Inc.
DESIGN CONTROL REVIEW
MAY 03, 2022
FINAL BY: GGE
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TERRACOTTA 2-167

COMPLIANCE PACKAGE "A1"

5.		The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJJAR  28770 NAME SIGNATURE BCIN	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4096 F (905) 660-0746	REGION DESIGN INC.	SHEET TITLE		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.			
4.					RIGHT SIDE ELEVATION					ELEV. 3
3.					SCALE	BY	AREA	PAGE No.		
2.	LOT SPECIFIC FOR LOT 167				APRIL 2022	3/16"=1'-0"	M.B.	3,373		6-3
1.	ISSUED FOR REVIEW				FEB 2021	DATE	TYPE	PROJECT		
REVISIONS			PROJECT NAME						ROUNDEL HOMES INC.	

Per:maddy.toalaalejandro



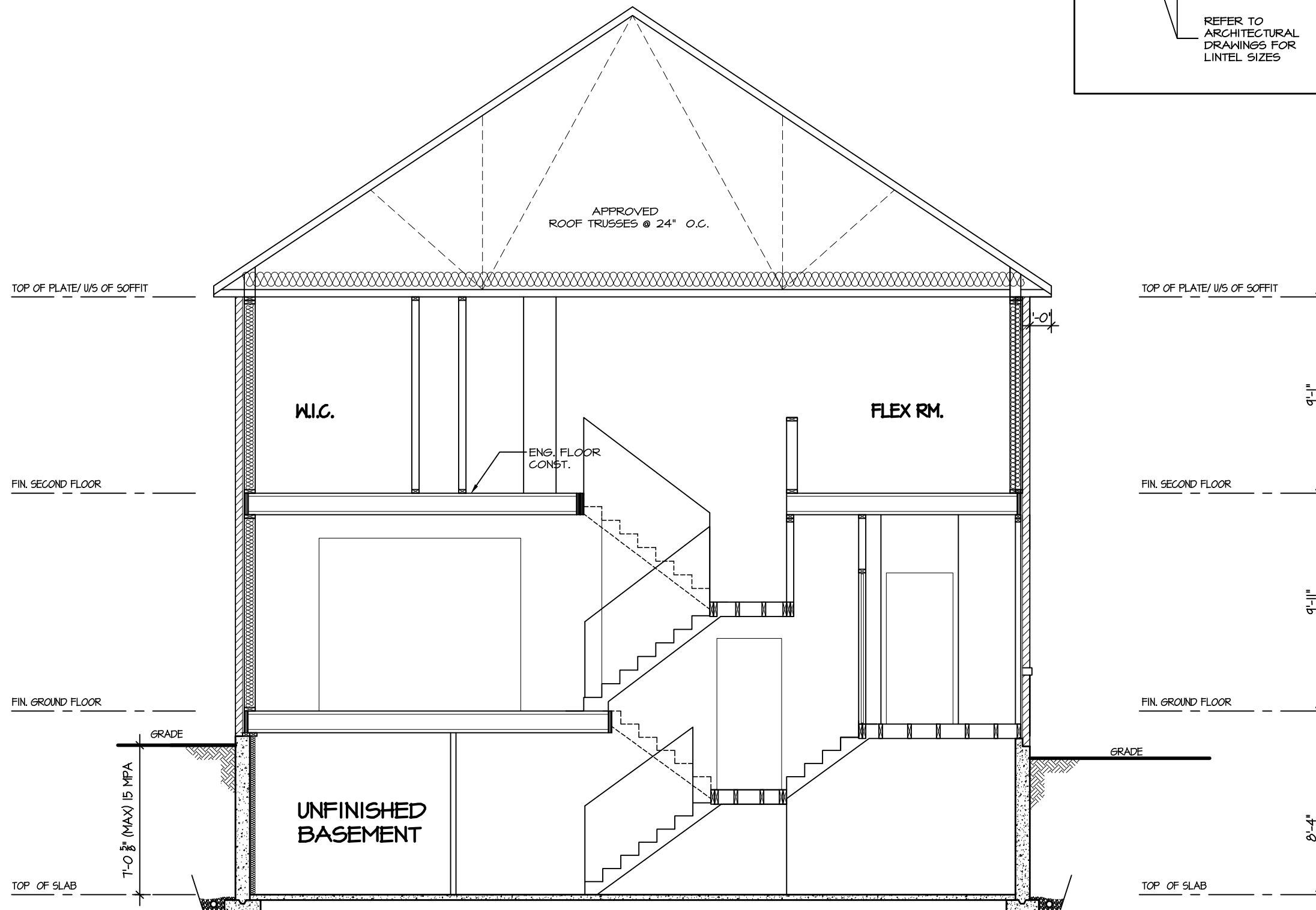
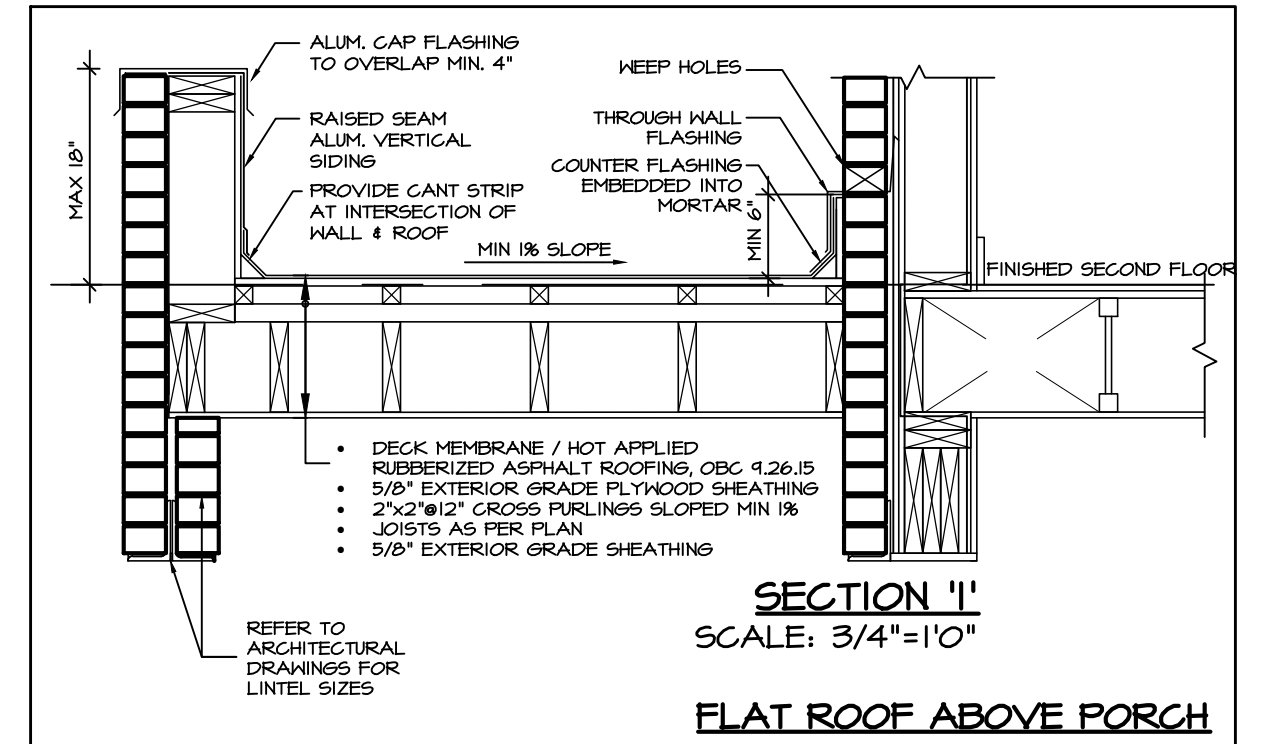
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

This stamp is only for the purposes of design control and carries no other professional obligations.

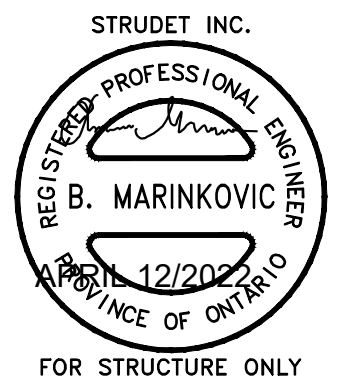
TERRACOTTA 2-167

COMPLIANCE PACKAGE "A1"

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4.						REAR ELEVATION					
3.						ELEV., 1,2 & 3					
2.	LOT SPECIFIC FOR LOT 167	April 2022				SCALE	BY	AREA	PAGE No.		
1.	ISSUED FOR REVIEW	FEB 2021				3/16"=1'-0"	M.B.	3,373	7		
REVISIONS			DATE	TYPE	PROJECT						
			FEB 2021								



CROSS SECTION



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

TERRACOTTA 2-167
COMPLIANCE PACKAGE "A1"

5.			The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJJAR NAME SIGNATURE BCIN 28770	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4096 F (905) 660-0746	REGION DESIGN INC.	SHEET TITLE		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.		 PROJECT NAME ROUNDEL HOMES INC.
4.						CROSS SECTION				
3.						SCALE	BY	AREA	PAGE No.	
2.	LOT SPECIFIC FOR LOT 167	April 2022				3/16"=1'-0"	M.B.	3,373	8	
1.	ISSUED FOR REVIEW	FEB 2021				DATE	TYPE	PROJECT		
REVISIONS										